

TULSA METROPOLITAN AREA PLANNING COMMISSION

175 East 2nd St, Suite 480 - Tulsa, OK 74103 - (918) 596-7526 - tulsaplanning.org

Submit applications to planning@cityoftulsa.org**[] SUBDIVISION PLAT****[] MINOR SUBDIVISION PLAT****APPLICATION INFORMATION**RECEIVED BY: AC DATE FILED: 2/25/2025 PLAT NAME: Project Positive

SUBDIVISION PLAT SCHEDULE		REFERENCE CASES	
PUBLIC AGENCY REVIEW:	<u>3/20/2025</u>	ZONING/PUD/CO CASE:	
		TMAPC DATE:	
TMAPC:	<u>4/2/2025</u>	BOA CASE:	
		BOA DATE:	

SUBJECT PROPERTY INFORMATIONADDRESS OR DESCRIPTIVE LOCATION: Southeast Corner of East 36 Street North TRACT SIZE: 35.67 ± acresLEGAL DESCRIPTION: Southeast Quarter (SE/4) of Section Seventeen (17), Township 20 North, Range Fourteen East of the Indian Base and Meridian City, City of Tulsa, Tulsa County, State of OklahomaPRESENT USE: Vacant PRESENT ZONING: IH T-R-S: 17-20N-14E COUNCIL DISTRICT: 1WATER SUPPLY: City of Tulsa SANITARY SEWER: City of TulsaELECTRIC: AEP GAS: ONG PHONE: AT&T TV: COX SCHOOL DISTRICT: T-1A**INFORMATION ABOUT YOUR PROPOSAL**PROPOSED USE: WarehousePROPOSED ZONING: _____ LOTS PROPOSED: 1 BLOCKS PROPOSED: 1

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
NAME <u>John Droz, Route 66 Engineering, LLC</u>	NAME <u>Blue Road Investments LLC</u>
ADDRESS <u>5 S. Main Street</u>	ADDRESS <u>5910 N. Central Expy, Suite 1425</u>
CITY, ST, ZIP <u>Sapulpa, OK 74066</u>	CITY, ST, ZIP <u>Dallas, TX 75206</u>
DAYTIME PHONE <u>918-520-9976</u>	DAYTIME PHONE <u>901-484-5575</u>
EMAIL <u>Sapulpa, OK 74066</u>	EMAIL <u>jhackmeyer@blueroadinvestments.com</u>

I, THE UNDERSIGNED APPLICANT, CERTIFY THAT THE INFORMATION ON THIS APPLICATION IS TRUE AND CORRECT.

SIGNATURE & DATE:

DOES OWNER CONSENT TO THIS APPLICATION YES NOWHAT IS APPLICANT'S RELATIONSHIP TO OWNER? Agent

APPLICATION FEES (Make checks payable to City of Tulsa)		PRELIMINARY PLAT DISPOSITION
PRELIMINARY PLAT FEE:	<u>\$1,200</u>	TMAPC ACTION: <input type="checkbox"/> APPROVED <input type="checkbox"/> DENIED
FINAL PLAT FEE:	<u>\$950 (Includes 1 Revision, Additional Revisions + \$200)</u>	DATE/VOTE:
MINOR PLAT FEE:	<u>\$1,000</u>	CONDITIONS:
TOTAL AMOUNT DUE:	<u>\$ 1,200</u>	
RECEIPT NUMBER:		

Application fees in whole or part will not be refunded after notification has been given.

SUBMITTAL REQUIREMENTS:Checklists for all submittals are available at tulsaplanning.org.**Preliminary Plats** – Application, Checklist, 4 folded full-size copies & PDF of plat, deed of dedication, and Conceptual Improvement Plan**Draft Final Plats** – 4 folded full-size copies & PDF**Final Plats for Signatures** – 8-10 rolled full-size copies, fully executed by owner, surveyor, and engineer

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SUBDIVISION PRE-APPLICATION REVIEW

PROJECT INFORMATION

Subdivision Location: Southeast Corner of East 36 Street North
Acreage: 35.67 Number of Lots: 1 Project Name: Project Positive
Owner of Property: Blue Road Investments LLC
Person Requesting Review: John Droz, Route 66 Engineering, LLC Date: 2/20/2025

COMPREHENSIVE PLAN STATUS

LAND USE DESIGNATION: Employment

The property [] CONFORMS [] DOES NOT CONFORM to the Major Street and Highway Plan.

ZONING AND PLATTING

The property is currently zoned IH - Industrial
The proposed use of Warehouse [x] WOULD or [] WOULD NOT conform to the zoning district classification.
Minimum lot size required: 35.67
Is the property is located within an approved development plan? [x] YES [] NO
If yes, does the project conform to all development standards? [x] YES [] NO
Is there a Rezoning or Board of Adjustment case pending on the site? [] YES [x] NO Case number: _____
When are the anticipated TMAPC and City Council, or Board of Adjustment meeting dates? _____

INFRASTRUCTURE NEEDS

A brief summary of major infrastructure to be provided and by whom:

Streets N/A
Water Water Line provided by developer
Sewer Private Utilities provided by developer
Storm Water/Drainage Detention and Storm Pipes Provider by Developer
Park and Trail Dedications N/A

Please consider the items in this Pre-Application Review carefully.

This conceptual pre-development review is not intended to be all-inclusive, but rather to address the major development criteria, which should be thoroughly studied as development plans progress. Relevant Federal and State Statutes, as well as TMAPC Subdivision Regulations, Design Criteria, Zoning Codes, and other relevant local codes and policies should be reviewed and incorporated into future plans.

Contact the Tulsa Planning Office if you have questions about the development process in the City Tulsa:
918-596-5726, planning@cityoftulsa.org.

SUBDIVISION PLAT PROCESS

MEETING SCHEDULE

Public Agency Review (PAR) Date (Preliminary plats): Thursday, _____ 1:30 p.m.

City of Tulsa 4th Floor

Tulsa Metropolitan Area Planning Commission (TMAPC) Date (Preliminary plats): Wednesday, _____ 1:30 p.m.

Tulsa City Council Room, 2nd Level, One Technology Center, 175 East 2nd Street

PRELIMINARY PLAT PROCESS

1. Applicant submits preliminary plat/covenants, conceptual improvements plan, completed application, and fees. Plat is scheduled for PAR meeting and TMAPC public hearing.
2. Staff distributes preliminary plat to PAR members for review.
3. Applicant, staff, and PAR members meet to review requirements for approval of preliminary plat.
4. TMAPC holds public hearing to consider approval of preliminary plat. Approval of a preliminary plat expires after one year.

FINAL PLAT PROCESS

1. Applicant prepares "draft final" plat in accordance with all TMAPC and PAR requirements of preliminary plat approval. Staff will review and stamp "Draft Final" and digitally stamp "Draft Final" PDF submittal.
2. If revisions are made after the first "draft final" plat submittal, new plats shall be submitted and clearly identify all revisions on the face of the plat and in the covenants by either clouding or shading. There shall be a clear identifying mark (usually a small triangle) containing a revision number attached to each clouded or shaded item and a table of revision numbers and revision dates. In addition, a brief description of the nature of the revision should be included in the table.
3. Applicant distributes "draft final" for release as follows: 1 copy - TMAPC staff; 2 copies - Development Services; PDF – Utility Providers
4. Release letters are required from the following: City of Tulsa Development Services OR County Engineer, water and sanitary sewer service providers; City Legal Department (if property is within the city limits of Tulsa); electric, gas, telephone and TV utility service providers. Release letters shall indicate the latest revision date for which the plat is being released.
5. Revisions submitted subsequent to being released shall be reviewed and released again. TMAPC staff must have the latest final plat incorporating all of the revisions before placing on the agenda for approval by the Planning Commission.
6. Staff will schedule "draft final" plat for TMAPC approval after we receive all release letters and have confirmed that the release letters pertain to the latest revised version of the plat. Submittals required per Section 3.6.5 of the Subdivision Regulations must be received before the Final Plat is considered by TMAPC.
7. TMAPC considers approval of final plat.
8. Applicant submits final recordable documents with original notarized signatures to TMAPC staff.
9. Staff obtains signatures from TMAPC, City Attorney, City Engineering, Mayor and City Council.
10. Staff returns final signed documents to applicant for filing with the County Clerk. Final documents must be filed within one year of TMAPC final plat approval. One filed paper copy and the 2 required electronic discs are delivered to staff.

PLAT NO.

OWNER / DEVELOPER

BLUE ROAD INVESTMENTS, LLC
JEFF HACKMEYER
5910 N. CENTRAL EXPY, SUITE 1425
DALLAS, TX 75206
PH (901) 484-5575
E-MAIL: jhackmeyer@blueroadinvestments.com

SURVEYOR

FRITZ LAND SURVEYING, LLC
524 E. MAIN ST., JENKS
OKLAHOMA 74037
PH (918) 584-5858
E-mail: fritzlandsurveying@gmail.com
CA No. 5848 Renewal: June 30, 2024

ENGINEER

ROUTE 66 ENGINEERING, LLC
5 SOUTH MAIN STREET
SAPULPA, OK 74066
PH (918) 248-1129
E-mail: bcox@66eng.com
CA No. 8853 Renewal: June 30, 2025

ADDRESSES

ADDRESSES SHOWN ON THIS PLAT ARE ACCURATE AT THE TIME THE PLAT WAS FILED. ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF THE LEGAL DESCRIPTION.

SUBDIVISION CONTAINS 1 LOT IN 1 BLOCK
SUBDIVISION CONTAINS 35.67 TOTAL ACRES

THIS PLAT MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

FINAL PLAT ENDORSEMENT OF APPROVAL	
Tulsa Metropolitan Planning Commission	Approval Date _____
_____	_____
_____	_____
CITY ENGINEER	_____
_____	_____
COUNTY ENGINEER	_____
Council of the City of Tulsa, Oklahoma	Approval Date _____
_____	_____
CHAIRMAN	_____
_____	_____
MAYOR	_____
_____	_____
ATTEST: CITY CLERK	_____
_____	_____
CITY ATTORNEY	_____

The approval of the Final Plat will expire one year from the date of City Council approval, if not filed in the Office of the County Clerk before that date.

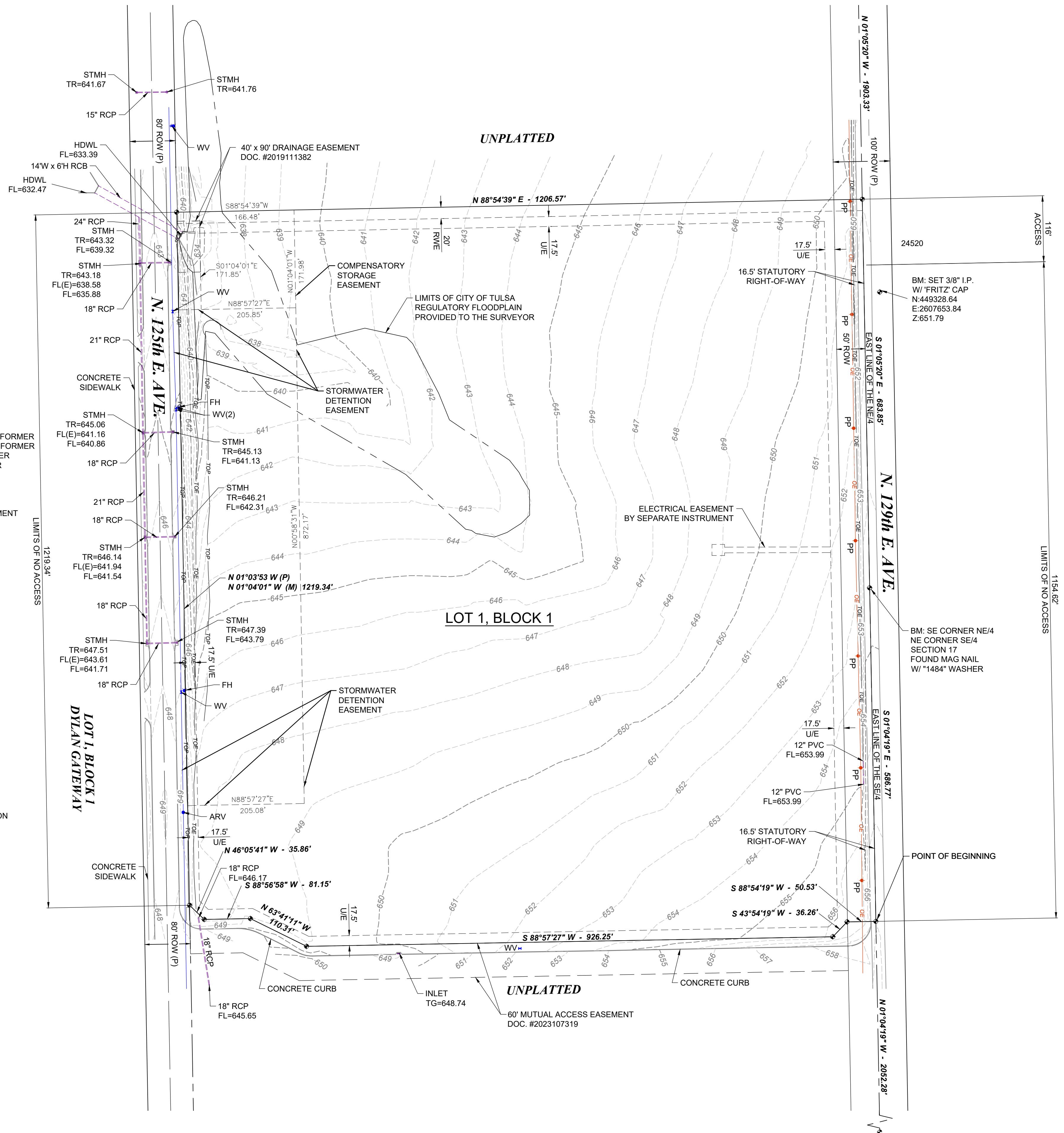
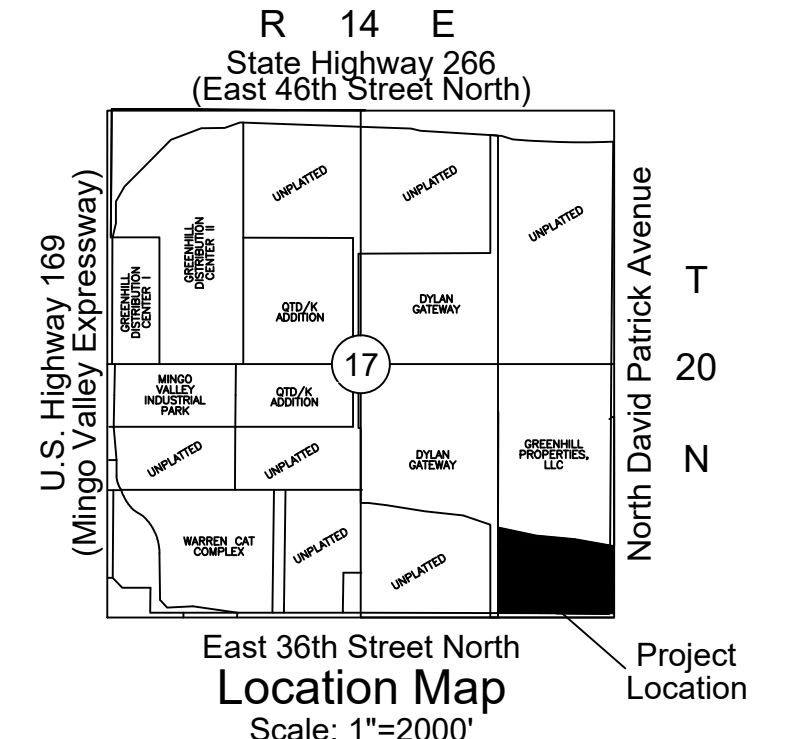
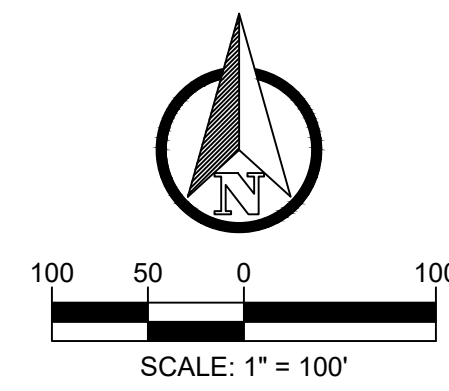
LEGEND

- AD = AREA INLET
- ARV = AIR RELIEF PLAT
- B/L = BUILDING LINE
- BM = BENCHMARK
- BWF = BARBED WIRE FENCE
- CL = CENTERLINE
- CLF = CHAIN LINK FENCE
- CO = CLEAN OUT
- CMP = CORRUGATED METAL PIPE
- CPP = CORRUGATED PLASTIC PIPE
- DGDI = DOUBLE GRATE DROP INLET
- DIP = DUCTILE IRON PIPE
- EM = ELECTRIC METER
- EPED = ELECTRIC PEDESTAL
- ET = ELECTRIC TRANSFORMER
- FF = FINISH FLOOR
- FG = FINISH GRADE
- FH = FIRE HYDRANT
- FL = FLOWLINE
- GM = GAS METER
- GR = GAS REGULATOR
- GV = GAS VALVE
- GP = GUARD POST
- GUY = GUY ANCHOR
- HDWL = HEADWALL
- HPP = HIGH POWER POLE
- A.A. = IRON PIN
- (L) = PER LEGAL DESCRIPTION
- LP = LIGHT POLE
- (M) = MEASURED DATA
- MB = MAILBOX
- MRK = UTILITY MARKER
- (P) = PER PLAT
- PM = PARKING METER
- PP = POWER POLE
- PPD = POWER POLE W/ DROP SERVICE
- PPDT = POWER POLE W/ DROP & TRANSFORMER
- PPLT = POWER POLE W/ LIGHT & TRANSFORMER
- PPM = POWER POLE W/ ELECTRIC METER
- PPT = POWER POLE W/ TRANSFORMER
- RCB = REINFORCED CONCRETE BOX
- RCP = REINFORCED CONCRETE PIPE
- RD = ROOF DRAIN
- ROW = RIGHT-OF-WAY
- RWE = RESTRICTED WATERLINE EASEMENT
- SSLH = SANITARY SEWER LAMP HOLE
- SSMH = SANITARY SEWER MANHOLE
- S/B = SETBACK
- SGDI = SINGLE GRATE DROP INLET
- SP = SIGN POST
- STMH = STORM SEWER MANHOLE
- STJB = STORM SEWER JUNCTION BOX
- TG = TOP OF GRATE
- TR = TOP OF RIM
- TS = TRAFFIC SIGN
- TVLT = TELEPHONE VAULT
- TW = TOP OF WALL
- U/E = UTILITY EASEMENT
- UM = UTILITY MARKER
- VP = VENT PIPE
- WF = WATER FAUCET
- WM = WATER METER
- WV = WATER VALVE
- (Q) = ZONING

- X— = CENTERLINE
- O— = FENCE LINE
- OE— = OVERHEAD ELECTRIC
- SS— = SANITARY SEWER
- ST— = STORM SEWER
- TOP/TOE— = TOP/TOE OF GROUND SLOPE
- UC— = UNDERGROUND COMMUNICATION
- UE— = UNDERGROUND ELECTRIC
- UG— = UNDERGROUND GAS
- UT— = UNDERGROUND TELEPHONE
- WL— = WATERLINE

PRELIMINARY PLAT PROJECT POSITIVE

SOUTHEAST QUARTER OF SECTION SEVENTEEN (17), TOWNSHIP 20 NORTH, RANGE FOURTEEN
EAST OF THE INDIAN BASE AND MERIDIAN, CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA



BASIS OF BEARING
HORIZONTAL DATUM BASED UPON NAD 83 (1993) OKLAHOMA STATE PLANE COORDINATE SYSTEM NORTH ZONE 3501. VERTICAL DATUM BASED UPON NAVD 88 USING N01°05'10"W AS THE EAST LINE OF THE SE/4, SE/4, SE/4 OF SECTION 17, TOWNSHIP 20 NORTH, RANGE 14 EAST OF THE INDIAN BSE AND MERIDIAN WAS USED AS THE BEARING FOR THIS SURVEY.

LEGAL DESCRIPTION
A TRACT OF LAND THAT IS PART OF THE EAST HALF (E/2) OF SECTION SEVENTEEN (17), TOWNSHIP TWENTY (20) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER (SE/4) OF SAID SECTION 17; THENCE NORTH 01°04'19" WEST ALONG THE EAST LINE THEREOF 2052.28 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 88°54'19" WEST 50.53 FEET; THENCE SOUTH 43°54'19" WEST 36.26 FEET; THENCE SOUTH 88°56'58" WEST 81.15 FEET; THENCE NORTH 63°41'11" WEST 110.31 FEET; THENCE SOUTH 88°56'58" WEST 81.15 FEET; THENCE NORTH 46°05'41" WEST 35.86 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF NORTH 125th EAST AVENUE; THENCE NORTH 01°04'01" WEST ALONG SAID RIGHT-OF-WAY LINE 1219.34 FEET; THENCE NORTH 88°54'39" EAST AND DEPARTING SAID EASTERLY RIGHT-OF-WAY LINE 1206.57 FEET TO THE EAST LINE OF THE NORTHEAST QUARTER (NE/4) OF SAID SECTION 17;

THENCE SOUTH 01°05'20" EAST ALONG SAID EAST LINE 683.85 FEET TO THE NORTHEAST CORNER OF THE SE/4 OF SAID SECTION 17;

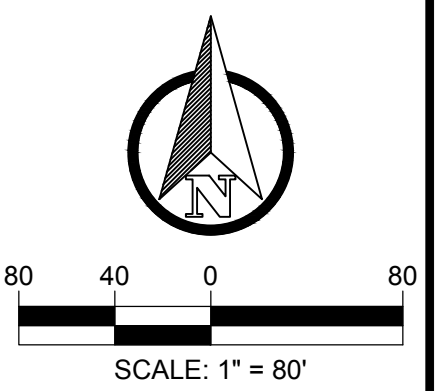
THENCE SOUTH 01°04'19" EAST ALONG THE EAST LINE THEREOF 586.77 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS 1,553,961.1 SQ. FEET OR 35.67 ACRES.
BEARINGS ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, (3501 OK N), NORTH AMERICAN DATUM 1983 (NAD83).

BENCHMARK
Benchmark SET 3/8" IRON PIN ELEV=651.79 N=449328.64 E=2607653.84
Benchmark SE CORNER NE/4 CORNER SE/4 SECTION 17 FOUND MAG NAIL W/ "1484" WASHER ELEV=654.62 N=448908.26 E=2607635.96

SURVEY DATE:
DECEMBER 04, 2024

PLAT DATE:
FEBRUARY 14, 2025



DATE	REVISION	BY

AT66
ENGINEERING
5 SOUTH MAIN STREET,
SAPULPA, OK 74066

OVERALL SITE PLAN
PROJECT POSITIVE
XXXXX NORTH 125TH EAST AVENUE
TULSA, OKLAHOMA 74116

DRAWN BY: BD
APPV. BY: BC
DATE: 02/19/2025
CS101
SHEET

SITE PLAN NOTES

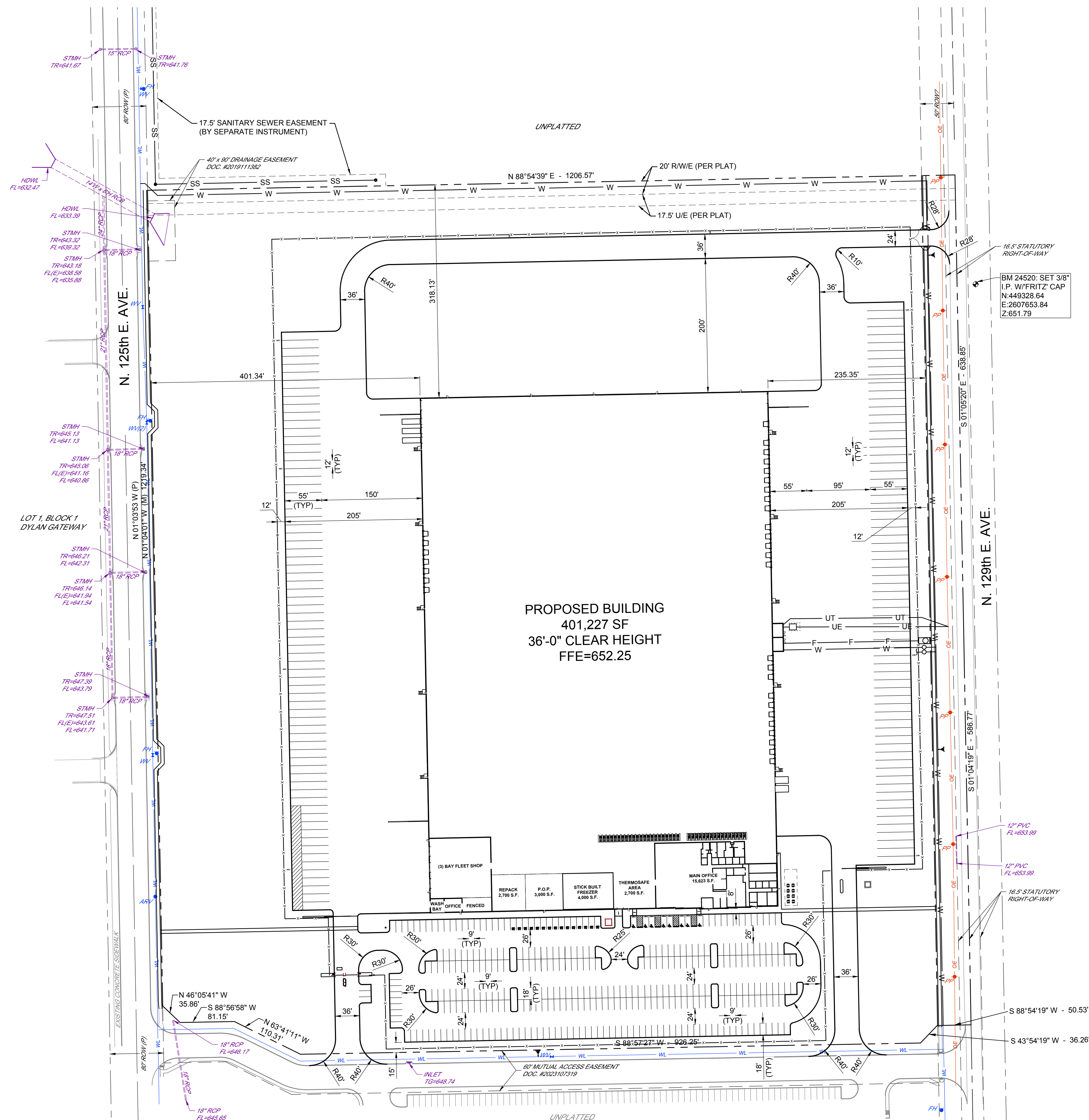
- THE CONTRACTOR SHALL CONTACT "OKIE" AT 811 OF 800-522-6543, THREE (3) WORKING DAYS BEFORE BEGINNING ANY WORK, SO EXISTING UNDERGROUND UTILITIES CAN BE LOCATED AND MARKED.
- EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- SIDEWALK EXPANSION JOINTS SHALL BE PLACED IN ACCORDANCE WITH DETAIL.
- EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH STRUCTURAL BUILDING PLANS AND SPECIFICATIONS AND THE GEOTECHNICAL REPORT FOR THIS PROJECT, REPORT PREPARED BY: GFAC ENGINEERING PROJECT #G2022091, DATED AUGUST 30, 2022
- ALL CONSTRUCTION AND METHODS TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF TULSA STANDARD SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. MAINTAIN ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH ALL O.S.H.A. REGULATIONS AND SAFETY REQUIREMENTS.
- THIS SET OF CONSTRUCTION DOCUMENTS SHALL BE CONSIDERED AS A WHOLE IN THAT THE GENERAL CONTRACTOR AND ALL SUB-CRONTACTORS ARE RESPONSIBLE FOR INFORMATION PRESENTED ON ALL SHEETS OF THIS SET OF DRAWINGS.
- CONTRACTOR IS TO BE RESPONSIBLE FOR OBTAINING ANY REQUIRED STATE OR LOCAL PERMITS. CONSTRUCTION MEANS AND METHODS SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE, AS NECESSARY, TO RETURN IT TO THE EXISTING CONDITION OR BETTER. CONTRACTOR SHALL REPAIR AND RESTORE ANY AREAS DAMAGED DURING CONSTRUCTION AT HIS OWN EXPENSE.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL MEASURES PER THE EROSION CONTROL PLAN (GE02 & GE03).
- THE CONTRACTOR SHALL PERFORM THE WORK ACCORDING TO ALL CITY, COUNTY, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS. IN PARTICULAR THE "TRENCHING" AND "OPEN EXCAVATION" OPERATIONS SHALL COMPLY WITH ALL CURRENT O.S.H.A. REGULATORY REQUIREMENTS.
- ALL PAVEMENT MARKING OF STRIPES TO BE 4" WIDE, WHITE AND APPLIED IN TWO COATS, UNLESS OTHERWISE NOTED, RE: SPECIFICATIONS.
- PARKING LOT STRIPING AND REQUIRED ADA ACCESSIBLE AISLES SHOWN ON PLAN SHALL BE MARKED IN ACCORDANCE WITH CURRENT ADA GUIDELINES.
- ALL NEW SIDEWALKS, IF ANY, NOT ADJACENT TO THE BUILDING, SHALL BE 4" THICK AND A MINIMUM OF FOUR (4) FEET WIDE. SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH WITH A MAXIMUM CROSS SLOPE OF TWO PERCENT. TRANSVERSE CONTRACTION JOINTS SHALL MAINTAIN AN EQUAL SPACING WITH THE SIDEWALK WIDTH. SIDEWALK EXPANSION JOINTS SHALL NOT EXCEED 40 FOOT SPACING UNLESS OTHERWISE NOTED.

ADA NOTES

- ANY REQUEST BY THE GOVERNING AUTHORITY OR INSPECTOR TO ALTER ADA COMPLIANCE DETAILS OR REQUIREMENTS DEPICTED ON AND IN THESE PLANS AND SPECIFICATIONS MUST BE DIRECTED TO THE OWNER'S CONSTRUCTION MANAGER FOR AUTHORIZATION. ANY CHANGES MADE WITHOUT PROPER AUTHORIZATION AND LATER FOUND TO BE NON-COMPLIANT WITH THE DETAILS AS SHOWN ON AND IN THESE PLANS AND SPECIFICATIONS WILL BE REMOVED AND REPLACED TO BE MADE FULLY COMPLIANT, REGARDLESS OF MAGNITUDE. AT THE CONTRACTOR AND/OR SUB-CRONTACTOR'S EXPENSE, THE CONTRACTOR MUST FOLLOW THE "REQUEST FOR INFORMATION" (RFI) PROCESS IN ACQUIRING THE APPROVAL OF CHANGES TO ADA RELATED ITEMS.
- ALL NEW SIDEWALKS OR ADA PATHS (SIDEWALKS TO BE REMOVED & REPLACED OR STRIPED ADA PATHS) SHALL NOT EXCEED 2% CROSS SLOPE & 5% RUNNING SLOPE. FOR SIDEWALKS CONTAINED WITHIN THE PUBLIC R/W AND WHEN ADJACENT STREET GRADES EXCEED 5%, THEN SIDEWALK RUNNING SLOPES MAY MATCH STREET GRADES.
- 1/8" MAXIMUM DEPTH TO TOP OF SEALANT AND 1/8" MAXIMUM PROTRUSION TO TOP OF SEALANT ALONG ADA ACCESS ROUTES.
- PRIVATE PROPERTY RAMPS SHALL HAVE THE FACE OF THE CURB TRANSITIONS PAINTED YELLOW.
- ALL ADA PARKING AREAS SHALL BE 2% MAXIMUM IN ALL DIRECTIONS.

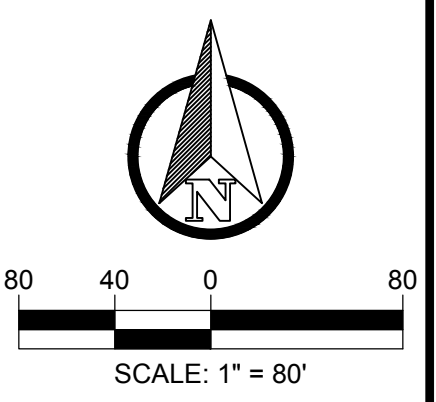
PAVING NOTES

- TRAFFIC CONTROL MEASURES SHALL BE IN-ACCORDANCE WITH CITY OF TULSA AND THE LATEST VERSION OF THE MUTCD.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND ANY NEW PAVEMENT.
- CONTRACTOR SHALL PROVIDE AND INSTALL 4 INCH PVC SLEEVES FOR FUTURE UTILITY CROSSINGS AND/OR IRRIGATION SLEEVES UNDER NEW PAVEMENT. THE LOCATION AND NUMBER OF CONDUITS APPEAR ON THE SITE UTILITY PLAN. VERIFY CONDUIT LOCATIONS WITH ALL UTILITY COMPANIES, AGENCIES OR ENGINEER SUPPLYING FUTURE SERVICES.
- ALL TRENCH BACKFILL FOR OPEN CUT PAVEMENT AREAS SHALL BE BACKFILLED FULL DEPTH WITH AGGREGATE BASE MATERIAL AND COMPACTED IN 9 INCH LIFTS TO 95% STANDARD PROCTOR DENSITY TO THE BOTTOM OF SURFACE PAVEMENT.



SITE DATA:

SITE AREA	35.67 ACRES
BUILDING AREA	401,227 SF
PARKING SUMMARY	
CAR PARKS	REQ'D PROV'D
	343
CODE PARKING REQUIRED	
0.18/1,000 SF WAREHOUSE +	
2.8/1,000 SF OFFICE	
ZONING CLASSIFICATION	
JURISDICTION	CITY OF TULSA
EXISTING ZONING	"IH" INDUSTRIAL



DATE	REVISION	BY

AT66
ENGINEERING
5 SOUTH MAIN STREET,
SAPULPA, OK 74066

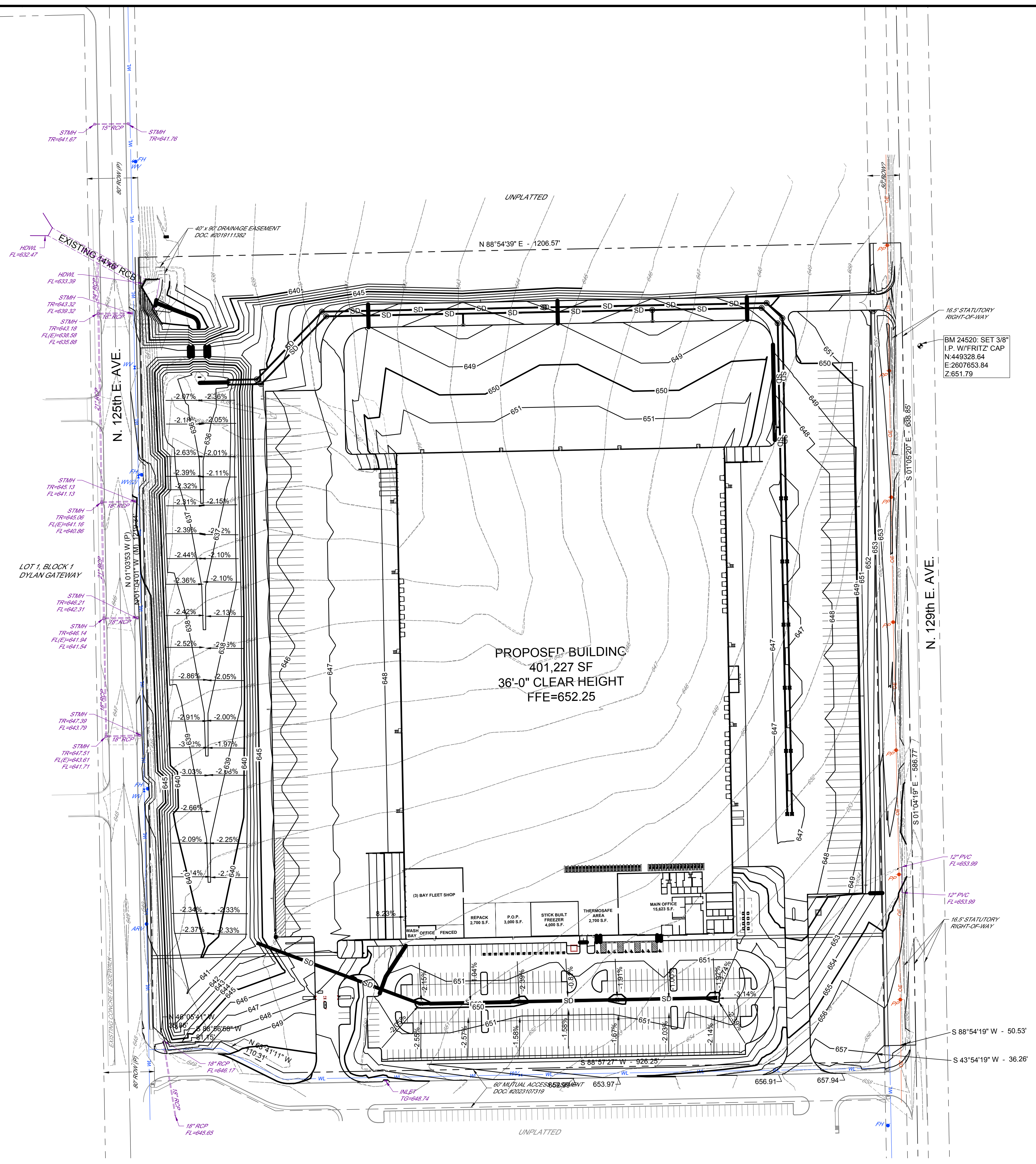
OVERALL GRADING PLAN
PROJECT POSITIVE
XXXXX NORTH 125TH EAST AVENUE
TULSA, OKLAHOMA 74116

DRAWN BY:	BD
APPV. BY:	BC
DATE:	02/19/2025

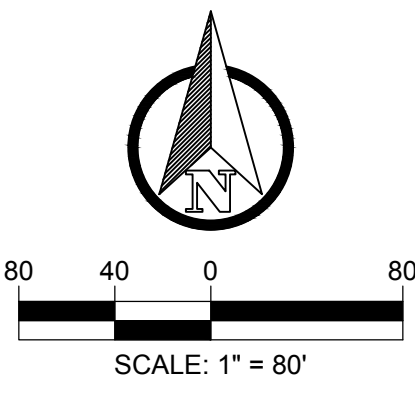
SHEET **CG101**

GRADING PLAN NOTES

1. THE CONTRACTOR SHALL CONTACT "OKIE" AT 811 OR 800-522-6543, ONE CALL SERVICE, THREE (3) WORKING DAYS BEFORE BEGINNING ANY WORK, SO EXISTING UNDERGROUND UTILITIES MAY BE LOCATED AND MARKED.
2. EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH STRUCTURAL BUILDING PLANS AND SPECIFICATIONS.
3. THE MAXIMUM CROSS SLOPE ON ANY SIDEWALK OR RAMP SHALL BE TWO PERCENT.
4. EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
5. UNLESS OTHERWISE SHOWN, NEW PAVING SHALL BE CONSTRUCTED TO ALLOW FOR POSITIVE DRAINAGE TO CATCH BASIN, CURB, GUTTER, AND OTHER RUNOFF COLLECTION DEVICES. NEW PAVEMENT SLOPE SHALL BE MINIMUM 0.50% FOR CONCRETE AND 1.5% FOR ASPHALT UNLESS OTHERWISE INDICATED OR DIRECTED BY THE ARCHITECT/ENGINEER.
6. ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED SHALL BE SODDED UNLESS NOTED OTHERWISE. ENSURE ALL DISTURBED AREAS HAVE TOPSOIL TO A DEPTH OF FOUR TO SIX INCHES (4"-6").
7. THE CONTRACTOR SHALL KEEP THE SITE CLEAN AT ALL TIMES AND CONTROL DUST RESULTING FROM THE EARTHWORK OPERATIONS. THE CONTRACTOR SHALL NOT TRACK MUD ON THE PUBLIC STREETS.
8. NEW CONTOURS DENOTE TOP OF FINISHED PAVING AND GRADED AREA AS INDICATED. ALL PROPOSED ELEVATIONS ARE TOP OF CURB, GUTTER OR FINISH GRADE AS INDICATED ON THE PLANS, UNLESS NOTED OTHERWISE.
9. PUBLIC STORM DRAIN SYSTEMS AND STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH COUNTY/CITY STANDARD DRAWINGS AND SPECIFICATIONS.
10. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SHALL NOT DAMAGE OR DISTURB ANY SERVICE. THE CONTRACTOR SHALL REPAIR, AT CONTRACTOR'S OWN EXPENSE, ANY DAMAGED UTILITIES CAUSED BY CONSTRUCTION OPERATIONS.
11. ALL PIPES, SHALL HAVE A MINIMUM COVER OF (1) FEET TO TOP OF PIPE, UNLESS NOTED OTHERWISE. MIN. COVER FOR WATER LINES IS 30".
12. ADJUST ALL VALVE BOXES AND MANHOLE COVERS TO FINISHED GRADE WHEN APPLICABLE.
13. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
14. MANHOLE LIDS AND SLEEVES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.
15. IF, AT ANY TIME THE CONTRACTOR FINDS ERROR AND/OR CONFLICTS IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER FOR CLARIFICATION PRIOR TO CONSTRUCTION.
16. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS. ANY DISCREPANCY FOUND SHALL BE DISCUSSED WITH THE ENGINEER OF RECORD PRIOR TO ANY CONSTRUCTION WORK.
17. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES ON SITE OR IN RIGHT-OF-WAY. ALL UTILITIES MUST BE LOCATED PRIOR TO GRADING START.
18. ALL CUT OR FILL SLOPES SHALL BE A MAX 3:1 SLOPE OR FLATTER UNLESS OTHERWISE NOTED.
19. ALL STORM SEWER PIPE CONNECTIONS TO STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT. ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
20. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING RINGS AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 3" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
21. SITE GRADING SHALL NOT PROCEED UNTIL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AND OUTLINED IN THE GENERAL NPDES PERMIT AND THE SWPPP FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
22. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR TO SIX INCHES (4"-6") OF TOPSOIL TO FINAL GRADE. REFER TO THE LANDSCAPE PLAN.
23. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS THROUGHOUT ALL PHASES OF CONSTRUCTION.
24. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
25. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE, AS NECESSARY, TO RETURN IT TO THE EXISTING CONDITION OR BETTER. CONTRACTOR SHALL REPAIR AND RESTORE ANY AREAS DAMAGED DURING CONSTRUCTION AS HIS OWN EXPENSE.
26. NO HAZARDOUS MATERIALS SHALL BE BROUGHT ON SITE OR GENERATED AT THE SITE.



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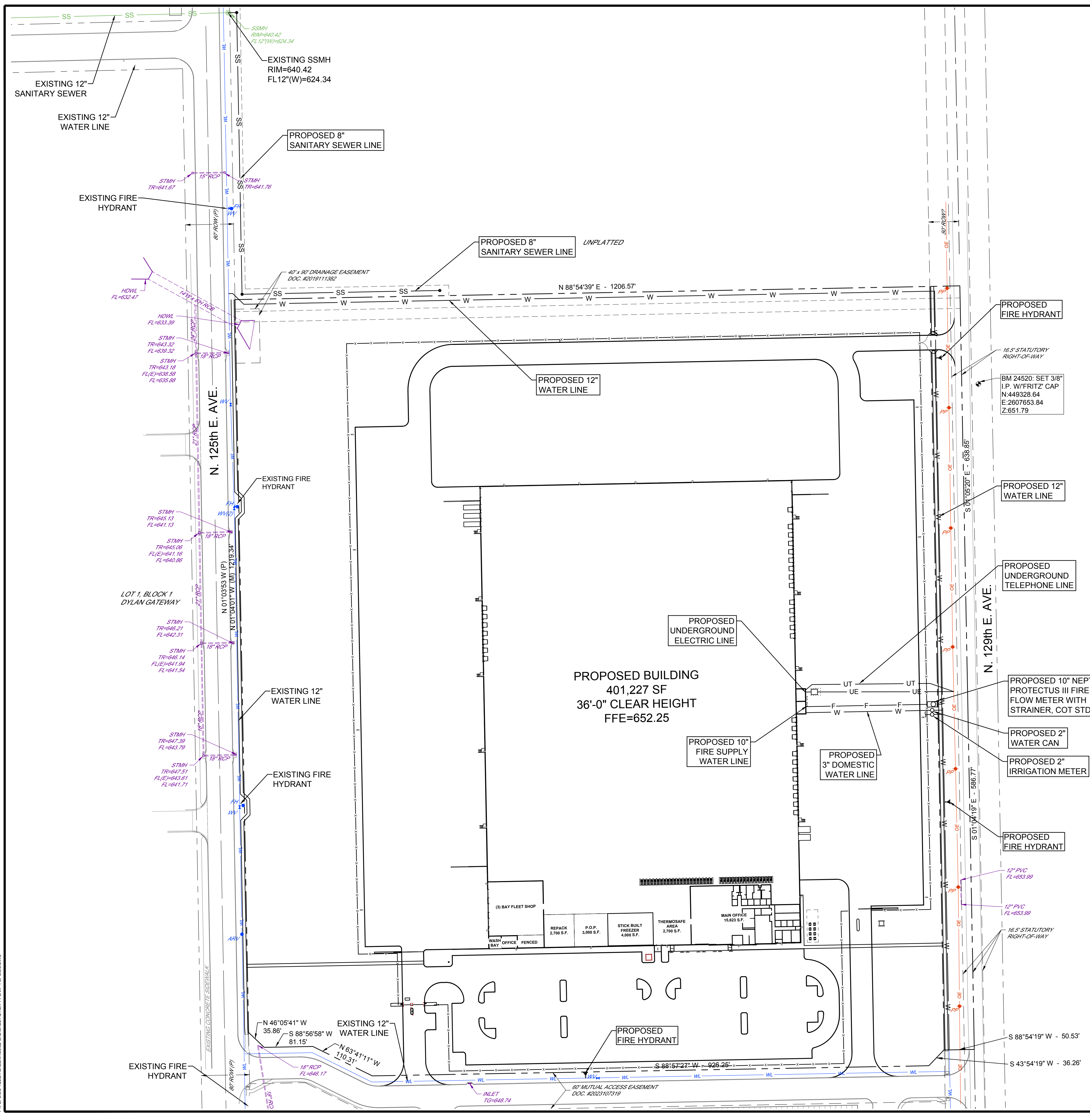
DATE	REVISION	BY

AT66
ENGINEERING
5 SOUTH MAIN STREET,
SAPULPA, OK 74066

UTILITY PLAN
PROJECT POSITIVE
XXXXX NORTH 125TH EAST AVENUE
TULSA, OKLAHOMA 74116

UTILITY NOTES

1. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINES. CONTRACTOR SHALL COORDINATE AND SCHEDULE TIE-INS, CONNECTIONS, ADJUSTMENTS AND RELOCATION WITH ALL UTILITY COMPANIES.
3. ALL UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO BACKFILLING.
4. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
5. THRUST BLOCKING SHALL BE PROVIDED AT ALL BENDS, TEES AND FIRE HYDRANTS, (UNLESS OTHERWISE NOTED).
6. ALL DIMENSIONS ARE TO THE CENTERLINE OF PIPE OR FITTING, UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL INCLUDE IN THE BID PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES REQUIRED BY THE LOCAL AND/OR STATE AGENCIES.
8. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND MANHOLES IN UNPAVED AREAS TO BE 6" ABOVE FINISHED GROUND ELEVATION. IF LOCATED WITHIN THE FLOOD PLAIN, USE WATER TIGHT LID.
9. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
10. REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
11. ALL MATERIALS, CONSTRUCTION AND INSPECTION FOR WATER AND SANITARY SEWER LINES SHALL BE PER CITY STANDARD SPECIFICATION.
12. THE CONTRACTOR SHALL COORDINATE WATERMAIN WORK WITH THE FIRE DEPARTMENT AND THE CITY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATERMAIN SHUT-OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATERMAIN SHUT-OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
13. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF UTILITY ENTRANCE LOCATIONS.
14. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COSTS OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
15. GENERAL CONTRACTOR SHALL PROVIDE ALL CONDUITS NECESSARY AS SHOWN ON THE PLAN, VERIFY LOCATION OF UTILITY TIE-IN AND PROVIDE NYLON PULL CORDS INSIDE THE CONDUIT.
16. THE CONTRACTOR SHALL INCLUDE IN BID PRICE, THE DAILY RECORD KEEPING OF THE AS-BUILT CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION STAKING ASSOCIATED WITH THE PROJECT, PREPARATION OF THE NECESSARY/REQUIRED AS-BUILT WATER AND SEWER PLANS TO BE SUBMITTED AND ALL OTHER INFORMATION REQUIRED FOR OBTAINING PERMITS AND RELEASE OF BOND.
17. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, MEASUREMENTS AND LOCATIONS OF EXISTING FACILITIES, UTILITIES, EQUIPMENT AND OTHER EXISTING ITEMS WHICH MAY AFFECT CONSTRUCTION AND NEW UTILITY DESIGN.
18. THE CONTRACTOR SHALL CONTACT "OKIE" AT 811 OR 800-522-6543, ONE CALL SERVICE, THREE (3) WORKING DAYS BEFORE BEGINNING ANY WORK, SO EXISTING UNDERGROUND UTILITIES MAY BE LOCATED AND MARKED.
19. DURING CONSTRUCTION, TEMPORARY PLUGS SHALL BE INSTALLED AT ALL OPENINGS WHENEVER ANY PIPELINE IS LEFT UNATTENDED.
20. ADEQUATE EMERGENCY VEHICLE AND PEDESTRIAN ACCESS SHALL BE MAINTAINED AT ALL TIMES TO ROADWAYS, DRIVEWAYS AND BUILDING ENTRANCES.
21. WATER LINES SHALL BE INSTALLED PER LOCAL AUTHORITIES HAVING JURISDICTION OR AS SPECIFIED ON PLANS.
22. THE CONTRACTOR SHALL FURNISH ALL BONDS AND INSPECTION FEES AS REQUIRED BY THE JURISDICTION HAVING AUTHORITY.
23. EXISTING UTILITY LOCATIONS ARE SHOWN APPROXIMATELY AND FOR GENERAL INFORMATION PURPOSES ONLY. THE CONTRACTOR IS TO VERIFY THE LOCATION, DEPTH AND INVERT OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO THE START OF CONSTRUCTION.
24. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE, AS NECESSARY, TO RETURN IT TO THE EXISTING CONDITION OR BETTER. CONTRACTOR SHALL REPAIR AND RESTORE ANY AREAS DAMAGED DURING CONSTRUCTION AT HIS OWN EXPENSE.
25. PRIOR TO THE CONSTRUCTION OF, OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, OR ANY OTHER ELEVATION SENSITIVE UTILITY, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTIONS AND ALL UTILITY CROSSINGS. THE CONTRACTOR SHALL INFORM THE ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. THE ENGINEER AND OWNER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER AND OWNER ARE NOT NOTIFIED OF A DESIGN CONFLICT.
26. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY FOR TRENCH EXCAVATIONS. THE USE OF A TRENCH BOX WILL PROVIDE A SAFER INSTALLATION OF UTILITIES EXCAVATION AREAS THAT EXCEED A DEPTH OF FIVE FEET.
27. CONTRACTOR SHALL PROVIDE A COPY OF ALL TEST RESULTS TO THE OWNER AND ENGINEER.
28. CONTRACTOR SHALL PROVIDE TEMPORARY ORANGE SAFETY FENCING AROUND ALL EXCAVATION, INCLUDING TRENCHES, PITS, VAULTS, ETC., TO MAINTAIN SECURITY AND SAFETY FOR ANIMALS, CHILDREN, OR ANY BYSTANDERS. THE COST FOR THE ORANGE SAFETY FENCE SHALL BE INCLUDED IN OTHER PAY ITEMS.
29. ALL UNSUITABLE MATERIALS REMOVED DURING TRENCHING OR EXCAVATION SHALL BE DISPOSED OF AT A SITE APPROVED BY THE OWNER AND ENGINEER. PRIOR TO TRENCHING OR EXCAVATION, THE CONTRACTOR SHALL SUBMIT THE PROPOSED DISPOSAL SITE TO THE OWNER AND ENGINEER FOR THEIR REVIEW. MAINTENANCE OF STOCKPILE SITES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR MUST MAINTAIN STOCKPILE SITES IN A SAFE, POLLUTION FREE CONDITION THROUGHOUT THE PROJECT.



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P:\PERIOD TULSA GREENBELT\02 CAD\SET\UTILITY PLAN - PRE RECORDING



City of Tulsa, OK
TULSA PLANNING
175 E 2nd Street
Tulsa, OK 74103
(918) 596-7659
Welcome

02/25/2025 10:19AM Austin C.
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MISCELLANEOUS

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Payment Id: 512564	

	\$1,200.00
Subtotal	\$1,200.00
Total	\$1,200.00
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Change due	\$0.00

Paid by: Route 66 Engineering LLC



Thank you for your payment

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DUPLICATE RECEIPT