

# TULSA METROPOLITAN AREA PLANNING COMMISSION

INCOG - 2 West 2nd Street, Suite 800 - Tulsa, Oklahoma 74103 - (918) 584-7526 - FAX (918) 583-1024

tulsaplanning.org

## Subdivision & Development Regulations – Compliance Review

### APPLICATION INFORMATION

RECEIVED BY: 12/2/24 DATE FILED: \_\_\_\_\_ TAC Meeting: 1/23/2024 IDP# (If applicable): \_\_\_\_\_

ZONING REFERENCE CASE: \_\_\_\_\_ BOA REFERENCE CASE: BOA-23768

TMAPC DATE (IF PENDING): \_\_\_\_\_ PROPOSED ZONING: \_\_\_\_\_ BOA DATE (IF PENDING): \_\_\_\_\_

INFRASTRUCTURE DEVELOPMENT PLAN (IDP) # (if applicable): \_\_\_\_\_

### SUBJECT PROPERTY INFORMATION

ADDRESS OR DESCRIPTIVE LOCATION: 3910 Park Rd., Tulsa, OK

LEGAL DESCRIPTION: Kennedy Park Addition Resub, Block 1

PRESENT ZONING RM-2 T-R-S 20-13-15 COUNCIL DISTRICT: 1 COUNTY COMMISSION DISTRICT: 1

### INFORMATION ABOUT YOUR PROPOSAL

PROPOSED

USE: Transitional Living Center

REASON FOR APPLICATION: BOA Approval Triggered a Re-Plat and/or Subdivision Conformance

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
NAME <u>David Henke</u>	NAME <u>Daniel Regan</u>
ADDRESS <u>29204 E. 70th Street S.</u>	ADDRESS <u>2944 S Delaware Ave.</u>
CITY, ST, ZIP <u>Broken Arrow, OK 74014</u>	CITY, ST, ZIP <u>Tulsa, Oklahoma</u>
DAYTIME PHONE <u>314.435.6302</u>	DAYTIME PHONE <u>918.836.0021</u>
EMAIL <u>david@gridlineengineering.com</u>	EMAIL <u>daniel@devonshirelaw.com</u>
I, THE UNDERSIGNED APPLICANT, CERTIFY THAT THE INFORMATION ON THIS APPLICATION IS TRUE AND CORRECT.	
SIGNATURE & DATE: <u>David Henke</u>	

DOES OWNER CONSENT TO THIS APPLICATION  YES [ ] NO. WHAT IS APPLICANT'S RELATIONSHIP TO OWNER? Engineer

APPLICATION FEES (Make checks payable to INCOG)		
TOTAL DUE:	<b>\$500</b>	RECEIPT NUMBER:

TRACKING			
DISTRIBUTION TO CITY/COUNTY STAFF:		FINAL RECORDATION OF REQUIREMENTS:	
COMMENTS RETURNED TO APPLICANT:			

SUBMITTAL REQUIREMENTS:
<b>Conceptual Site Plan</b> – 4 copies (11x17 max) & PDF <b>Conceptual Utility Plan</b> – 4 copies (11x17 max) & PDF

## SUBDIVISION & DEVELOPMENT REGULATIONS:

(This form is to be completed by applicant.)

The following information will assist staff in determining property compliance with the adopted Subdivision and Development Regulations. Predevelopment meetings can be requested with Development Services at the City of Tulsa to determine infrastructure and floodplain requirements for proposed developments. City of Tulsa Development Services: 918-596-9456

	YES	NO
1) Has property previously been platted?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2) Is right-of-way dedication required to comply with Major Street and Highway Plan?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3) Will any restrictive covenants be filed by separate instrument?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4) Infrastructure requirements		
a) Water		
i) Is a main line water extension required?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii) Are additional easements required?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Sanitary Sewer		
i) Is a main line extension required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) Are additional easements required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Storm Sewer		
i) Is an IDP required?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii) Is on-site detention required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii) Are additional easements required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5) Floodplain		
a) Does the property contain a City of Tulsa (Regulatory) Floodplain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Does the property contain a F.E.M.A. (Federal) Floodplain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6) Change of Access		
a) Are revisions to existing access locations necessary?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7) Is the property located within an approved TMAPC development plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Have the development standards for the approved development plan been amended?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

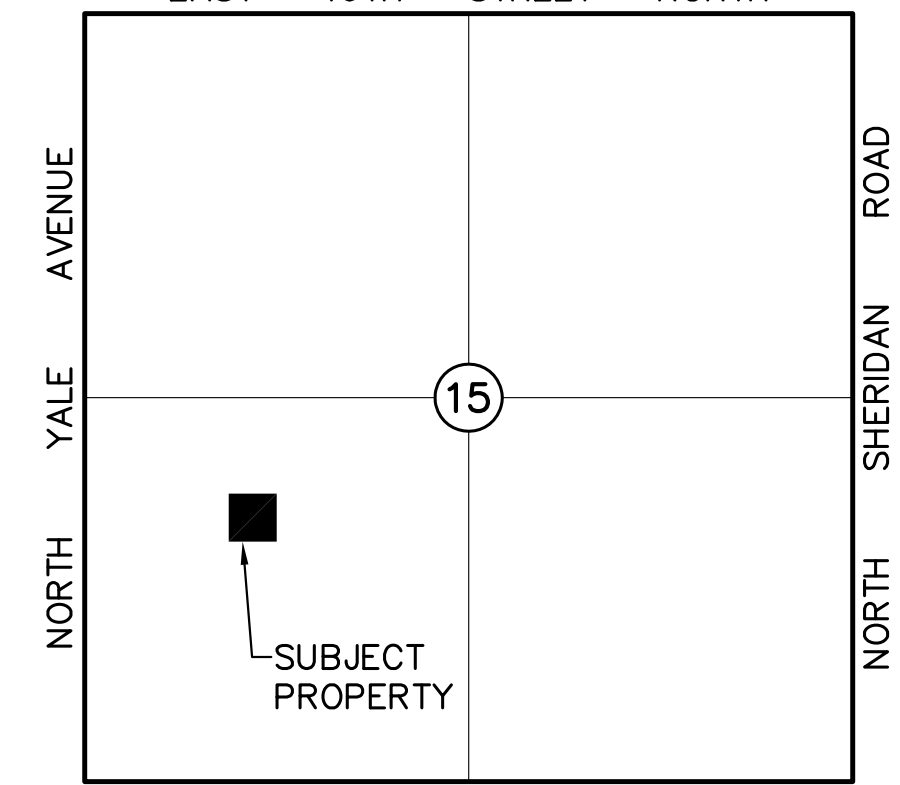
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### Site Plan Requirements:

- Property boundary with dimensions
- Existing/proposed building
  - Footprint
  - Number of floors
  - Floor area
- Location and dimension of proposed access
- Sidewalks

### Conceptual Utility Plan Requirements:

- Property boundary
- Location of existing/proposed utilities
- All existing/proposed easements by type and dimension with recording information
- All existing/proposed right-of-way dedications with recording information

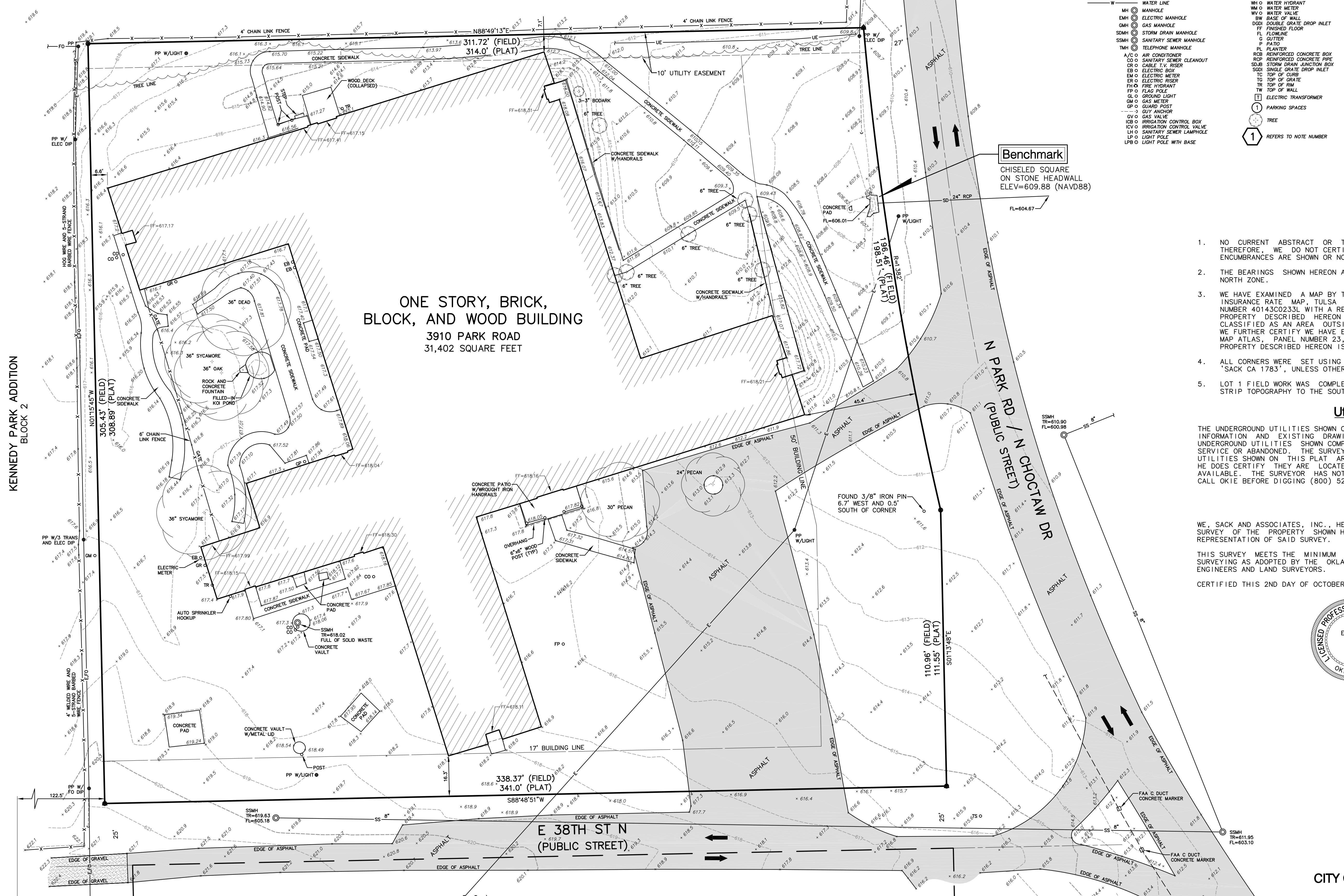


Location Map

Legend

- Legend items including: OVERHEAD ELECTRIC LINE, UNDERGROUND ELECTRIC CABLE, GAS LINE, STORM DRAIN LINE, SANITARY SEWER LINE, OVERHEAD TELEPHONE LINE, UNDERGROUND TELEPHONE CABLE, OVERHEAD CABLE T.V., WATER LINE, MANNHOLE, ELECTRIC MANHOLE, GAS MANHOLE, STORM DRAIN MANHOLE, SANITARY SEWER MANHOLE, TELEPHONE MANHOLE, AIR CONDITIONER, SANITARY SEWER CLEANOUT, CABLE T.V. RISER, ELECTRIC BOX, ELECTRIC METER, FIRE HYDRANT, FLAG POLE, GROUND LIGHT, GUARD POST, CITY ANCHOR, GAS VALVE, IRRIGATION CONTROL BOX, IRRIGATION CONTROL VALVE, SANITARY SEWER LAMPHOLE, LIGHT POLE, LIGHT POLE WITH BASE, PARKING METER, UTILITY POLE, ROOF DRAIN, SPRINKLER HEAD, TRAFFIC SIGNAL, TELEPHONE RISER, TRAFFIC SIGNAL CONTROL BOX, WATER METER, WATER VALVE, DOUBLE GRATE DROP INLET, FINISHED FLOOR, FLOWLINE, FINISHED FLOOR, PATIO, REINFORCED CONCRETE PAD, REINFORCED CONCRETE PAVEMENT, STORM DRAIN JUNCTION BOX, SINGLE GRATE DROP INLET, TOP OF CURB, TOP OF GROUND, TOP OF GRADE, TOP OF FINISH, TOP OF WALL, ELECTRIC TRANSFORMER, PARKING SPACES, TREE, REFERS TO NOTE NUMBER.

NOT PLATTED



Notes

- 1. NO CURRENT ABSTRACT OR TITLE COMMITMENT HAS BEEN FURNISHED TO US; THEREFORE, WE DO NOT CERTIFY THAT ALL EASEMENTS, RIGHTS-OF-WAY OR OTHER ENCUMBRANCES ARE SHOWN OR NOTED HEREON.
2. THE BEARINGS SHOWN HEREON ARE BASED ON STATE PLANE COORDINATES, OKLAHOMA NORTH ZONE.
3. WE HAVE EXAMINED A MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, TULSA COUNTY, OKLAHOMA AND INCORPORATED AREAS, MAP NUMBER 40143C0233L WITH A REVISED DATE OF OCTOBER 16, 2012, WHICH SHOWS THE PROPERTY DESCRIBED HEREON IS LOCATED IN ZONE X (NOT SHADED) WHICH IS CLASSIFIED AS AN AREA OUTSIDE THE LIMITS OF THE 0.2% ANNUAL CHANCE FLOOD. WE FURTHER CERTIFY WE HAVE EXAMINED THE CITY OF TULSA REGULATORY FLOODPLAIN MAP ATLAS, PANEL NUMBER 23, WITH EFFECTIVE DATE OF MARCH 2021, AND THE PROPERTY DESCRIBED HEREON IS NOT AFFECTED.
4. ALL CORNERS WERE SET USING A 3/8"x18" IRON PIN WITH A YELLOW CAP STAMPED "SACK CA 1783", UNLESS OTHERWISE NOTED.
5. LOT 1 FIELD WORK WAS COMPLETED ON MARCH 5, 2024. FIELD WORK ON ADDITIONAL STRIP TOPOGRAPHY TO THE SOUTH WAS COMPLETED OCTOBER 2, 2024.

Utility Statement

THE UNDERGROUND UTILITIES SHOWN ON THIS PLAT HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR, FURTHER, DOES NOT WARRANT THE UNDERGROUND UTILITIES SHOWN ON THIS PLAT ARE IN THE EXACT LOCATION INDICATED; ALTHOUGH, HE DOES CERTIFY THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL OKIE BEFORE DIGGING (800) 522-8543.

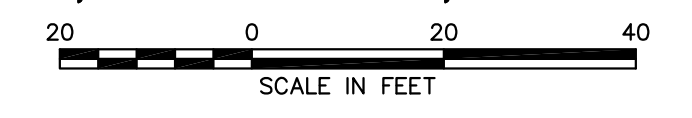
Certificate

WE, SACK AND ASSOCIATES, INC., HEREBY CERTIFY WE HAVE PERFORMED AN ON THE GROUND SURVEY OF THE PROPERTY SHOWN HEREON AND THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY. THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS. CERTIFIED THIS 2ND DAY OF OCTOBER, 2024.



SACK AND ASSOCIATES, INC. Eric G. Sack 10.2.2024 LICENSED PROFESSIONAL LAND SURVEYOR, OKLAHOMA NO. 1545

DETAIL TOPOGRAPHIC SURVEY OF STRIP SOUTH OF AND ALL OF KENNEDY PARK ADDITION RESUBDIVISION OF BLOCK 1 CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA



ADDED STRIP TOPOGRAPHY SOUTH 10/2/2024 G710B EGS/(LWR)

SACK AND ASSOCIATES, INC. ENGINEERING SURVEYING PLANNING 3530 East 31st Street, Suite A, Tulsa, Oklahoma 74135-1519 Ph: 918.592.4111 General Email: sas@sackandassociates.com CA Number 1783 (PE/PLS)

Table with columns: SURVEY, DRAWN, PROJECT NAME, PLOTTED, XREFS, BOOKS, CHECKED, ORDER, SCALE, DATE, FILE, DRAWING NAME, SHEET. Includes details for Kennedy Park Addn Resub B1-A, dated October 02, 2024.



Match Line Sheet 1 of 4 Sheet 2 of 4

MATHEOS FAMILY TRUST

CITY OF TULSA

APPROXIMATE LOCATION OF FAA DUCT BANK