



Tulsa Metropolitan Area
Planning Commission

Case Number: PUD-772-A (Related to Z-7729)

Hearing Date: August 2, 2023 (Continued from July 19, 2023)

Case Report Prepared by:

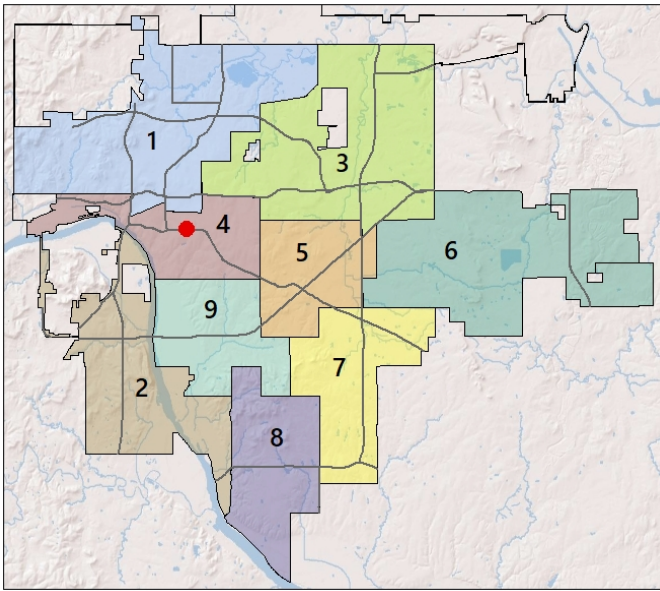
Nathan Foster

Owner and Applicant Information:

Applicant: Lou Reynolds

Property Owner: Mandalay Bay Investments LLC

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Present Use: Vacant

Proposed Use: Commercial

Concept summary: Major amendment to establish two development areas. Development Area A will consist of commercial development along South Utica Avenue. Development Area B consists of residential uses.

Tract Size: 3.5 ± acres

Location: Northwest corner of South Utica Avenue and East 13th Place South

Zoning:

Existing Zoning: RM-2, PUD-772

Proposed Zoning: CS, PUD-772-A

Comprehensive Plan:

Land Use Map: Regional Center and Neighborhood

Staff Recommendation:

Staff recommends approval with the development standards outlined in Section II.

Staff Data:

TRS: 9307

CZM: 37

City Council District: 4

Councilor Name: Laura Bellis

County Commission District: 2

Commissioner Name: Karen Keith

SECTION I: PUD-772-A

DEVELOPMENT CONCEPT: Major amendment to PUD-772 to establish development standards for two development areas. Development Area A will consist of commercial uses customarily found in the CS district. Development Area B will consist of residential and group living uses that would be consistent with the “Neighborhood” land use designation of the City’s comprehensive plan.

EXHIBITS:

INCOG Case map

INCOG Aerial (small scale)

INCOG Aerial (large scale)

Tulsa Comprehensive Plan Land Use Map

Applicant Exhibits:

Exhibit 1 – Development Plan

Exhibit A – Development Area A Conceptual Site Plan

Exhibit B – Development Area Map

Exhibit C – Development Area A Landscape and Screening Concept

Exhibit D – Development Area A Existing Utilities

Exhibit E – Development Area A Grading and Drainage Plan

Exhibit F – Legal Description

DETAILED STAFF RECOMMENDATION:

PUD-772-A is a major amendment to an existing planned unit development to divide the existing development area into two development areas and establish standards for development. Development Area A, which is adjacent to South Utica Avenue, will permit a range of commercial and residential uses which are consistent with the “Regional Center” designation of the City’s comprehensive plan. Development Area B will permit residential and group living uses that are consistent with the “Neighborhood” designation of the City’s comprehensive plan.

The major amendment application is related to a rezoning request to change the underlying zoning on the subject property from RM-2 to CS. The CS zoning district will permit the commercial uses desired for Development Area A while adjusting lot and building regulations to align with the desired use of Development Area B.

Staff recommends approval of PUD-772-A with the development standards outlined in Section II below.

SECTION II: PUD-772-A DEVELOPMENT STANDARDS:

Except as provided in the Development Standards below, the standards for development in the CS zoning district, with its supplemental regulations and accessory use provisions, shall apply.

GROSS LAND AREA OF PROJECT: 5.892 AC

NET LAND AREA OF PROJECT: 3.582 AC

Development Area “A” (Tract 1)

PERMITTED USE CATEGORIES:

RESIDENTIAL (IF IN ALLOWED BUILDING TYPE LISTED BELOW)

- Household Living
 - Single household
 - Two households on a single lot
 - Three or more households on a single lot

- Group Living
 - Assisted living facility
 - Community group home
 - Convent/monastery/novitiate
 - Elderly/retirement center
 - Life care retirement center
 - Residential treatment center
 - Rooming/boarding house
 - Shelter, emergency and protective
 - Transitional living center

PUBLIC, CIVIC, AND INSTITUTIONAL

- College or University
- Day Care
- Governmental Service or Similar Functions
- Hospital
- Library or Cultural Exhibit
- Parks and Recreation
- Religious Assembly
- Safety Service
- Religious Assembly
- School
- Utilities and Public Service Facility
 - Minor
- Wireless Communication Facility
 - Freestanding tower
 - Building or tower-mounted antenna

COMMERCIAL

- Animal service
 - Grooming
 - Veterinary
- Broadcast or Recording Studio
- Commercial Service
 - Building service
 - Business support service
 - Consumer maintenance/repair service
 - Personal improvement service
 - Research service
- Financial Services (except personal credit establishment is prohibited)
- Funeral or Mortuary Service
- Lodging
 - Bed & Breakfast
 - Short-term rental
 - Hotel/motel
- Office
 - Business or professional office
 - Medical, dental or health practitioner office
- Parking, Non-accessory
- Restaurants and Bars

- Restaurant
- Bar
- Retail Sales
 - Building supplies and equipment
 - Consumer shopping goods
 - Convenience goods
 - Grocery Store
- Studio, Artist or Instructional Service
- Trade School
- Vehicle Sales and Service
 - Fueling station
- AGRICULTURAL
 - Community Garden
- OTHER
 - Drive-in or Drive-through Facility (as a component of an allowed principal use)
 - Off-Premise Outdoor Advertising Sign

PERMITTED RESIDENTIAL BUILDING TYPES

- Household living
 - Single household
 - Detached House
 - Townhouse
 - Patio House
 - Mixed-Use building
 - Vertical mixed-use building
 - Two households on a single lot
 - Mixed-use building
 - Vertical-mixed use building
 - Three or more households on a single lot
 - Multi-unit House
 - Apartment/Condo
 - Mixed-use building
 - Vertical-mixed use building

MAXIMUM BUILDING FLOOR AREA: 35,190 SF

MINIMUM BUILDING SETBACKS:

- From South Utica Avenue 0 FT
- From East 13th Place 5 FT
- From South Troost Avenue 10 FT
- From East 13th Street 10 FT

MINIMUM PARKING SETBACKS:

- From North boundary 5 FT
- From South boundary 5 FT
- From West boundary 10 FT
- From East boundary 5 FT

OFF-STREET PARKING:

Minimum parking ratios shall be as provided in Chapter 55 of the Tulsa Zoning Code for the applicable Use Category.

DRIVE-THROUGH:

Drive-through facilities, including drive-through signs, stacking lanes, trash receptacles, loudspeakers and service windows may be located on the street-facing side(s) of Development Area A.

SIGNS:

Signage shall conform to the provisions of the Tulsa Zoning Code in the CS District, except as provided below:

DRIVE-THROUGH SIGNS:

Drive-through signs and menu boards shall be set back a minimum of 7.5 feet from the southern boundary of Development Area A.

LIGHTING:

All pole mounted lights shall be limited to a maximum height of twenty (20) feet. Drive-through canopy lights and building mounted light fixtures shall be mounted no higher than fifteen (15) feet high and shall be shielded from adjacent residential properties and directed downward.

TRASH AND MECHANICAL EQUIPMENT AREAS:

All trash and mechanical equipment areas (excluding utility service transformers, pedestals or equipment provided by franchise utility providers) including building mounted, shall be screened from public view in such a manner that the same cannot be seen by a person standing on any part of the property line at ground level.

Dumpsters shall be screened from view from all street rights-of-way and R-zoned property. Dumpster screening shall be of masonry construction with steel frame doors. The doors shall be covered with appropriate covering containing a minimum of ninety-five percent (95%) opacity.

NO OUTSIDE STORAGE:

There shall be no outside storage or recycling material, trash or similar materials outside of a screened receptacle, nor shall trucks or trailer trucks be parked unless they are actively being loaded or unloaded. Truck trailers and shipping containers shall not be used for storage.

ACCESS AND CIRCULATION:

No vehicular access shall be permitted from Utica Avenue.

LANDSCAPED AREA:

A minimum of ten percent (10%) of the Net Land Area of Development Area A shall be improved as internal landscaped open space.

LANDSCAPING AND SCREENING DETAILS:

The Project landscaping and screening details will comply with the requirements of the Tulsa Zoning Code for street frontage and parking area landscape.

The landscape boundaries of Development Area A will be landscaped as shown on the Landscape and Screening Concept attached hereto as Exhibit "C".

Development Area "B" (Tract 2)

PERMITTED USE CATEGORIES:

RESIDENTIAL (IF IN ALLOWED BUILDING TYPE LISTED BELOW)

Household Living

- Single household

- Two households on a single lot

- Three or more households on a single lot

Group Living

- Assisted living facility

- Community group home

- Convent/monastery/novitiate

- Elderly/retirement center

- Life care retirement center

- Residential treatment center

- Rooming/boarding house

- Shelter, emergency and protective

- Transitional living center

PUBLIC, CIVIC, AND INSTITUTIONAL

- College or University

- Day Care

- Governmental Service or Similar Functions

- Hospital

- Library or Cultural Exhibit

- Parks and Recreation

- Religious Assembly

- Safety Service

- School

- Utilities and Public Service Facility

- Minor

- Wireless Communication Facility

- Building or tower-mounted antenna

COMMERCIAL

- Lodging

- Bed & Breakfast

- Short-term rental

- Office (All Office uses must be located in a permitted mixed-use or vertical mixed-use building type)

- Business or professional office

- Medical, dental or health practitioner office

AGRICULTURAL

- Community Garden

PERMITTED RESIDENTIAL BUILDING TYPES

- Household living
 - Single household
 - Detached House
 - Townhouse
 - Patio House
 - Mixed-Use building
 - Vertical mixed-use building
 - Two households on a single lot
 - Mixed-use building
 - Vertical-mixed use building
 - Three or more households on a single lot
 - Multi-unit House
 - Apartment/Condo
 - Mixed-use building
 - Vertical-mixed use building

MAXIMUM BUILDING FLOOR AREA: 31,366 SF

MINIMUM BUILDING SETBACKS:

- From East 13th Place 5 FT
- From South Troost Avenue 10 FT
- From South Trenton Avenue 10 FT
- From East 13th Street 10 FT
- From internal Development Area boundaries 0 FT
- From Lot 1, Block 8, Forrest Park Addition 10 FT

MINIMUM PARKING SETBACKS:

- From North boundary 5 FT
- From South boundary 5 FT
- From West boundary 10 FT
- From East boundary 5 FT
- From internal Development Area boundaries 5 FT
- From Lot 1, Block 8, Forrest Park Addition 5 FT

OFF-STREET PARKING:

Minimum parking ratios shall be as provided in Chapter 55 of the Tulsa Zoning Code for the applicable Use Category.

SIGNS:

Signage shall conform to the provisions of the Tulsa Zoning Code in the CS District.

LIGHTING:

All pole mounted lights shall be limited to a maximum height of twenty (20) feet. Building mounted light fixtures shall be mounted no higher than fifteen (15) feet high and shall be shielded from adjacent residential properties and directed downward.

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LANDSCAPING AND SCREENING DETAILS:

The Project landscaping and screening details will comply with the requirements of the Tulsa Zoning Code for street frontage and parking area landscape.

SECTION III: Supporting Documentation

RELATIONSHIP TO THE COMPREHENSIVE PLAN:

Staff Summary: CS zoning is consistent with the “Regional Center” designation and, with the proposed development standards of PUD-772-A, consistent with the “Neighborhood” designation. Commercial uses will be limited to the eastern development area.

Land Use Vision:

Land Use Plan map designation: Regional Center and Neighborhood

Existing regional trip generators define the Regional Centers in contrast to Local Centers. These centers should be the most connected land use pockets outside of downtown for public transit access and high-capacity arterial streets. New regional trip generators should be permitted in the area with special consideration given to the transportation access and circulation. Regional trip generators include universities, malls, large medical campuses, casinos, big-box shopping centers, and very large churches.

Neighborhoods are “Mostly Residential Uses” which includes detached, missing middle, and multi-dwelling unit housing types. Churches, schools, and other low intensity uses that support residents’ daily needs are often acceptable, particularly for properties abutting Multiple Use, Local Center, or Regional Center land use areas. Multi-dwelling unit housing that takes access off of an arterial is considered Multiple Use, Local Center, or Regional Center. If a multi-dwelling unit housing property

takes access off of a lower-order street separated from the arterial, then it would be considered Neighborhood.

Transportation Vision:

Major Street and Highway Plan: South Utica Avenue is considered an Urban Arterial by the Major Street and Highway Plan. East 13th Place is considered a freeway access road. Both classifications are adequate to support the proposed uses of PUD-772-A. East 13th Street South is not classified by the Major Street and Highway Plan.

Trail System Master Plan Considerations: East 13th Street South is designated for on-street bicycle lanes by the GO Plan. East 13th Place South is designated as a “Signed Route” by the GO Plan. Site development should consider bicycle access and parking to support the planned bicycle network adjacent to the site.

Small Area Plan: Utica Midtown Corridor Small Area Plan

The subject property is located within the Utica Midtown Corridor Small Area Plan. The proposed development areas included in PUD-772-A align with the recommendations of the small area plan for commercial development adjacent to South Utica Avenue with a transition to neighborhood development west of South Troost Avenue.

Special District Considerations: None

Historic Preservation Overlay: None

DESCRIPTION OF EXISTING CONDITIONS:

Staff Summary: The subject property is currently vacant. There is an existing religious assembly and a medical facility north of the subject property. The site is adjacent to the Broken Arrow Expressway to the south. There are existing single-family residences to the west of the subject property.

Environmental Considerations: None

Streets:

Existing Access	MSHP Design	MSHP R/W	Exist. # Lanes
South Utica Avenue	Urban Arterial	70'	4
East 13 th Place South	Freeway	Variable	2
East 13 th Street South	None	50'	2
South Trenton Avenue	None	50'	2

Utilities:

The subject tract has municipal water and sewer available.

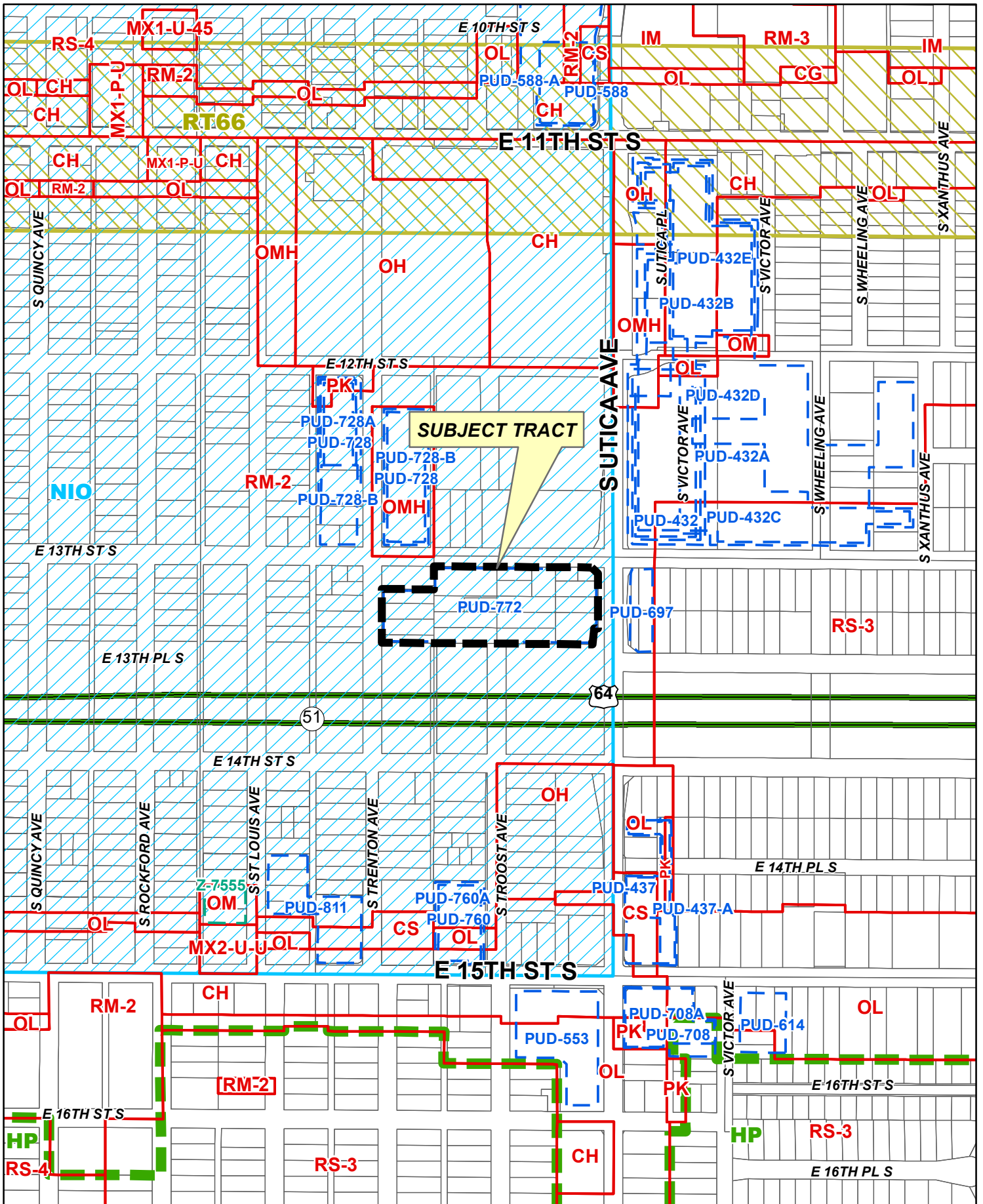
Surrounding Properties:

Location	Existing Zoning	Existing Land Use Designation	Existing Use
North	RM-2	Regional Center	Religious Assembly
East	RM-2	Regional Center	Vacant
South	N/A	None	Broken Arrow Expressway
West	RM-2	Neighborhood	Single-Family Residential

SECTION III: Relevant Zoning History

ZONING ORDINANCE: Ordinance number 11815 dated June 26, 1970, established zoning for the subject property.

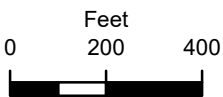
PUD-772 – Ordinance number 22131 dated October 14, 2009 established PUD-772 on the subject property.



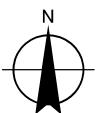
SUBJECT TRACT

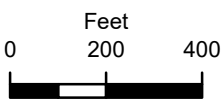
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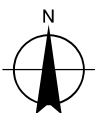
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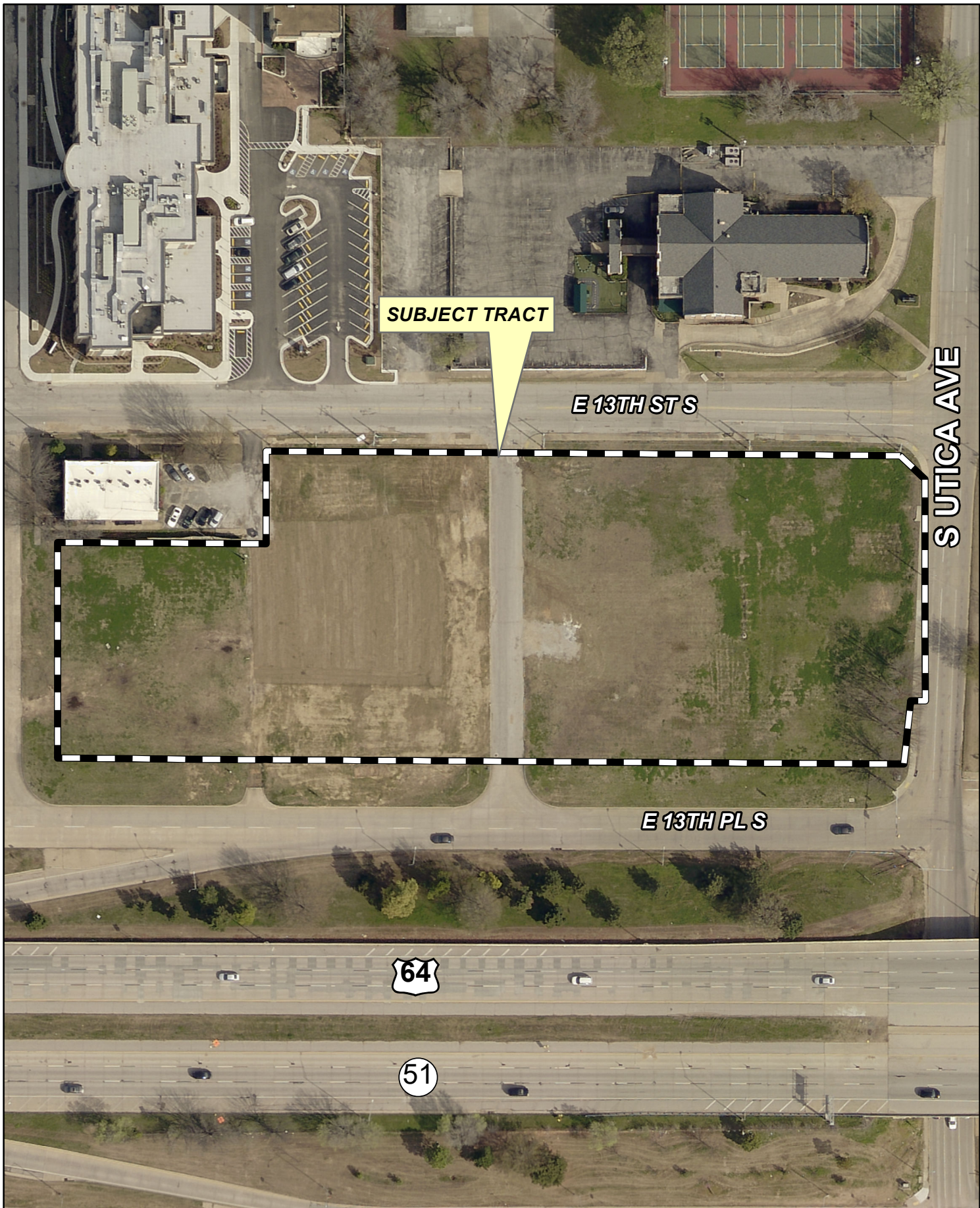
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Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2023



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SUBJECT TRACT

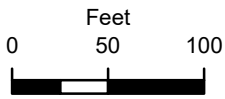
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S UTICA AVE

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64

51



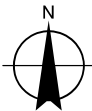
Subject Tract

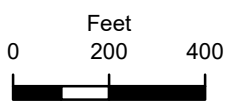
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Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2023





PUD-772-A

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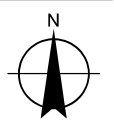
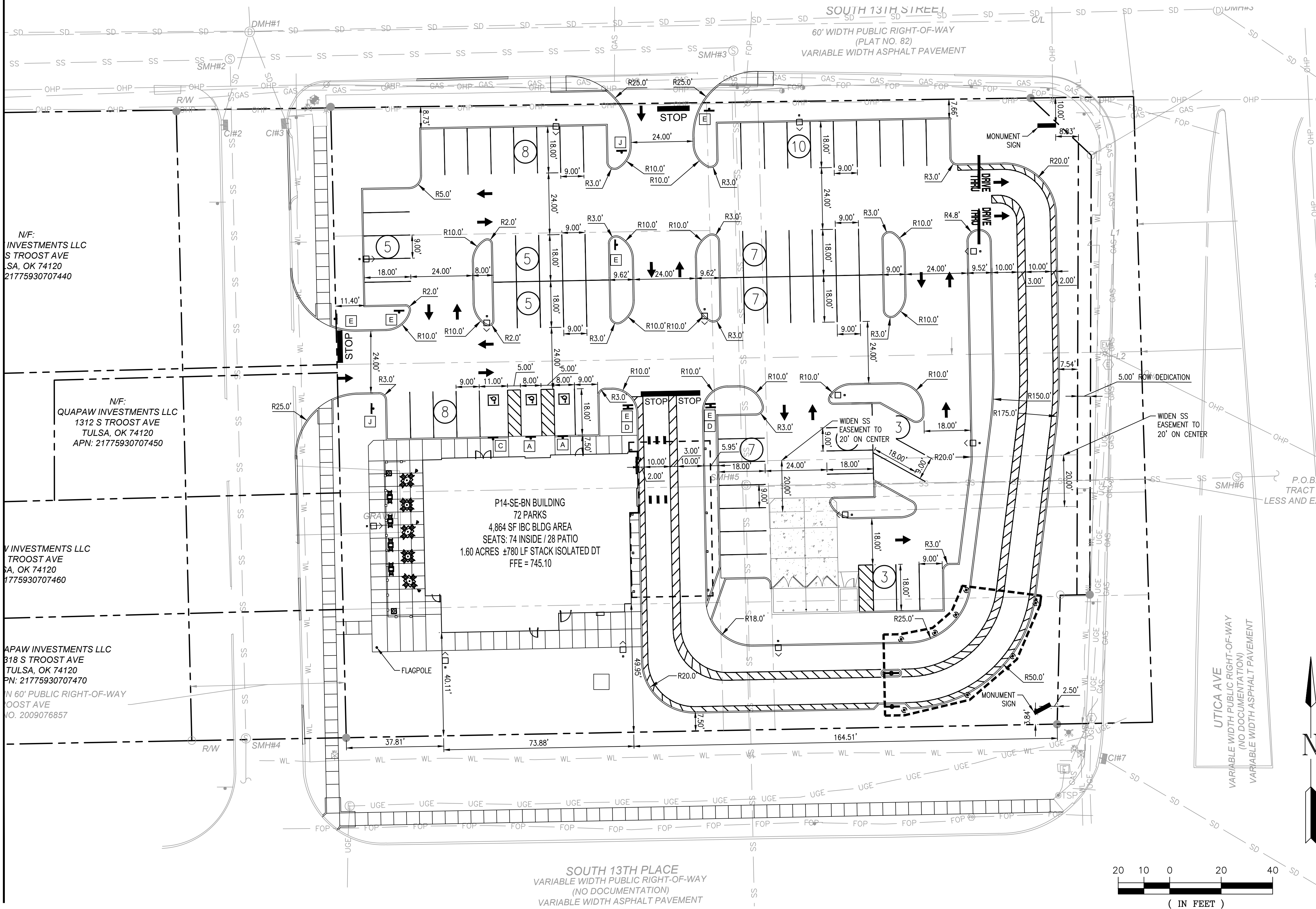


Exhibit "A"

Tract 1 Conceptual Site Plan

SITE PLAN LEGEND

EXISTING	PROPOSED

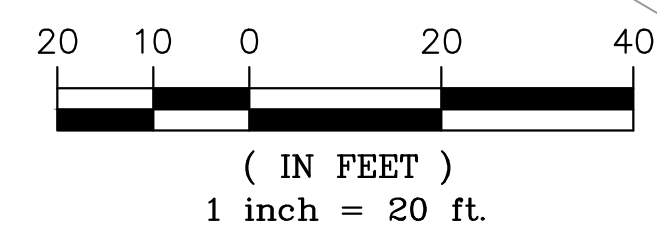


SITE PLAN DESIGN NOTES & KEY PLAN

- 1A DIRECTIONAL ARROW
- 1B PAINTED HANDICAP PARKING SYMBOL
- 2A DRIVE-THRU GRAPHICS
- 2B STOP BAR GRAPHICS
- 3 CROSSWALK MARKINGS
- 4 MULTI-LANE DIRECTIONAL GRAPHICS
- 5 STANDARD OR HANDICAP PARKING STALL PER CODE
- 5A 4" SOLID WHITE STRIPING
- 5B 4" SOLID YELLOW STRIPING
- 5C 4" SKIP DASH YELLOW STRIPING
- 6 SOLID PLASTIC WHEEL STOP
- 7 BOLLARD MOUNTED SIGN
- 8 CURB RAMP w/ SHORT FLARED SIDES (GRASSED AREAS)
- 9 CURB RAMP w/ FLARED SIDES (IN SIDEWALK)
- 10 RETURNED CURB HANDICAP RAMP
- 11 SIDEWALK ACCESSIBLE RAMP
- 12 DETECTABLE WARNING DEVICE
- 13 TYPICAL ADA RAMP & HANDRAIL
- 14 CONCRETE SIDEWALK
- 15 CONCRETE SIDEWALK w/ CURB & GUTTER
- 16 ENTRY DOOR FROST SLAB DETAIL
- 17 CONCRETE BOLLARD
- 18 CONCRETE CURB & GUTTER
- 18A SPILLING CURB & GUTTER
- 18B CATCHING CURB & GUTTER
- 18C DEPRESSED SPILLING CURB & GUTTER
- 18D DEPRESSED CATCHING CURB & GUTTER
- 18E SPILLING GUTTER SECTION AT ACCESSIBLE RAMP
- 18F CATCHING GUTTER SECTION AT ACCESSIBLE RAMP
- 18G MOUNTABLE CURB & GUTTER
- 19 LANDSCAPE & IRRIGATION PROTECTOR
- 20 TYPICAL HMAc PAVEMENT SECTION
- 21 BUTT JOINT
- 22 CONCRETE PAVEMENT DRIVE-THRU LANE
- 23 CONCRETE APRON AT TRASH ENCLOSURE
- 24 PAVEMENT EDGE DETAIL (START & END OF DRIVE-THRU LANES)
- 25 CONCRETE PAVEMENT SECTIONS
- 26 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT
- 27 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT
- 28 CONTRACTION JOINT
- 29 KEVED CONSTRUCTION JOINT
- 30 LONGITUDINAL BUTT JOINT
- 31 EXPANSION JOINT
- 32 DRIVE-THRU PLAN - FLUSH WITH FFE
- 33 DRIVE-THRU ISOMETRIC
- 34 DRIVE-THRU ORDER POINT ISLAND
- 35 MENU BOARD LOOP DETECTION SYSTEM
- 36 BUILDING DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM)
- 37 CANOPY DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM)
- 38 SCREENED REFUSE ENCLOSURE (REFER TO ARCH PLANS FOR ADDITIONAL DETAILS)
- 39 CLEAN-OUT (OUTSIDE OF BUILDING)
- 40 THICKENED PAVEMENT @ STRUCTURES
- 41 STORM STRUCTURE WEEP HOLE DETAILS
- 42 ALUMINUM HANDRAIL (REFER TO ARCH PLANS)
- 43 BUILDING DOWNSPOUT CONNECTION
- 44 DRIVE-THRU CLEARANCE BAR (REFER TO SIGNAGE PACKAGE)
- 45 GREASE TRAP
- 46 PROPOSED TRANSFORMER
- 47 BIKE RACK
- 48 LANDSCAPED AREA
- 49 TYPICAL LOCATION FOR OUTDOOR TABLES (REFER TO ARCH PLANS)
- 50 CONCRETE PAD FOR OPTIONAL CASH STATION
- 51 FREE-STANDING ORDER POINT CANOPY
- 52 FREE-STANDING OUTSIDE MEAL DELIVERY CANOPY

SIGN LEGEND

- ** CONTRACTOR TO REFER TO THE SIGNAGE PACKAGE FOR PLACEMENT AND SPECIFICATIONS OF ALL SIGNS **
- A HANDICAP PARKING SIGN (SEE SIGNAGE PACKAGE) R7-8; 12" X 18" (TYP.)
 - B HANDICAP PARKING FINE SIGN (SEE SIGNAGE PACKAGE) 6" X 12" (TYP.)
 - C "VAN ACCESSIBLE" SIGN (SEE SIGNAGE PACKAGE) R7-8P; 6" X 12" (TYP.)
 - D "DO NOT ENTER" SIGN (SEE SIGNAGE PACKAGE) R5-1; 24" X 24" (TYP.)
 - E STOP SIGN (SEE SIGNAGE PACKAGE) R1-1; 30" X 30" (TYP.)
 - F CFA PEDESTRIAN CROSSING SIGN (SEE SIGNAGE PACKAGE)
 - G FLAG POLE (SEE SIGNAGE PACKAGE)
 - H CFA MONUMENT OR PYLON SIGN
 - I DIGITAL DRIVE-THRU MENU BOARDS
 - J DRIVE THRU DIRECTIONAL



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GREYDEN
ENGINEERING • PLANNING

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Suite 202-374
Alpharetta, Georgia 30004
PH: 770-573-4801 FAX: 678-302-6362

CHICK-FIL-A
NWC E 13th Place
and Utica Ave.
Tulsa, OK 74104

FSU# 05429

REVISION SCHEDULE	NO.	DATE	DESCRIPTION

GREYDEN PROJECT # 22-105
PRINTED FOR PCR Plan 2
DATE
DRAWN BY
SHEET NUMBER
C-200
3.15

PCR Plan 2

Exhibit "B"

Aerial Photograph



- Project Boundary
- Development Area "B" Boundary
- Development Area "A" Boundary

Exhibit "C"

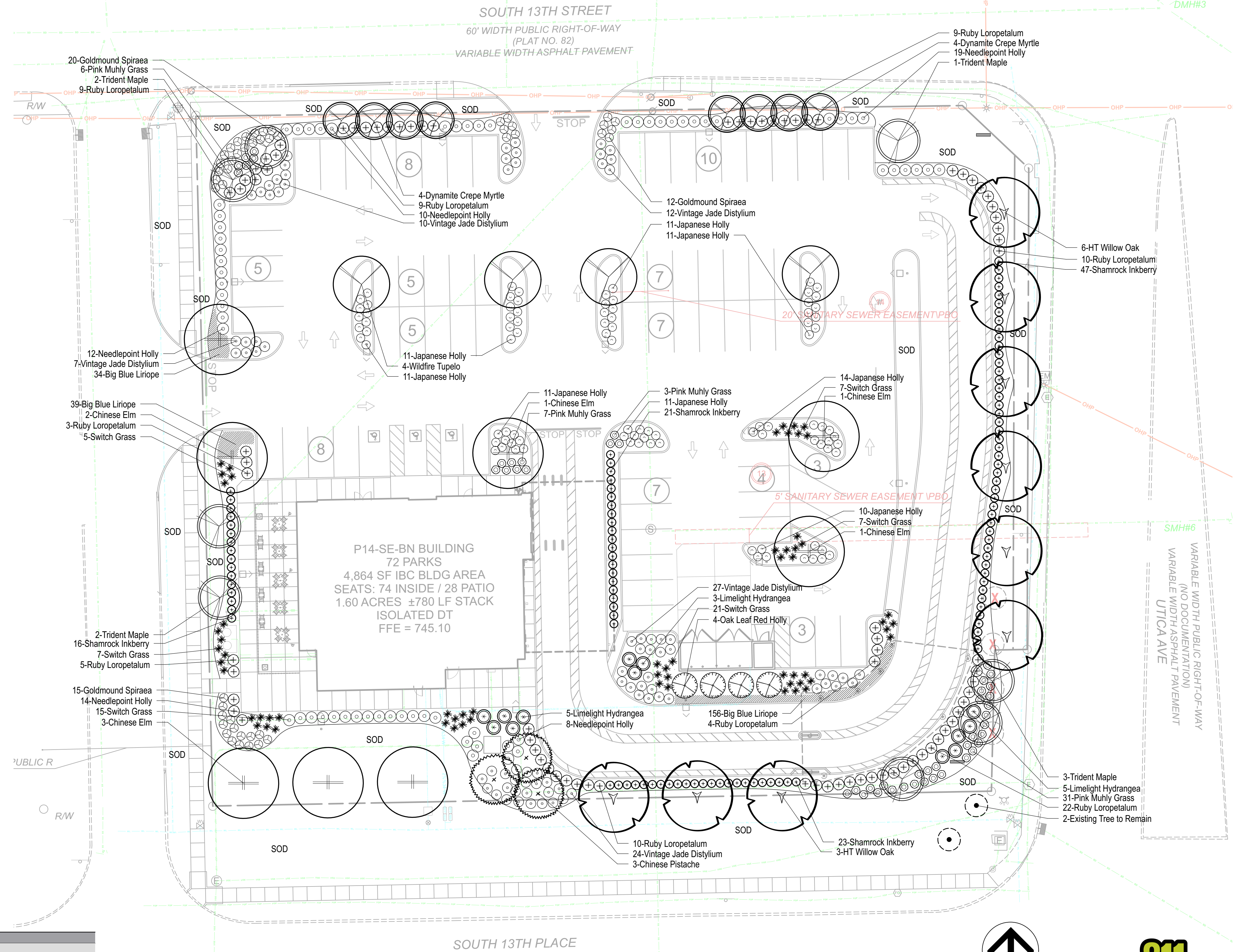
Tract 1 Landscape and Screening Concept

LANDSCAPE REQUIREMENTS

A. SITE			
REQUIRED	1. 10% of the site shall be open space	69,532 SF x 10% = 6,953 SF of open space required	
PROVIDED	1. Open space	= 8,345 SF of open space provided	
B. STREET TREES			
REQUIRED	1. At least one canopy tree is required per 30 LF of street frontage. *If overhead utilities present, at least one understory tree per 25 LF is required.		
	2. Required street trees must be installed within the street ROW or within 20 LF of street ROW.		
	3. Street trees are not required to be evenly spaced, but the distance shall not exceed 60 LF.		
PROVIDED	1. See Street Frontage Buffers below C.1. & C.3.		
	2. All trees are within 20 LF of the street ROW.		
	3. Street trees do not exceed 60 LF.		
C. INTERIOR PARKING LOT LANDSCAPING			
REQUIRED	1. At least 35 SF of interior parking lot landscape area must be provided for each parking space.		
	72 Parking Spaces x 35 = 2,520 SF Landscape Area		
	2. There shall be (1) Shade Tree per (10) Parking Spaces	= 7 Canopy Trees	
	72 Parking Spaces / 10 = 7 Canopy Trees		
	3. There shall be (2) Shrubs per (10) Parking Spaces	= 14 Shrubs	
	72 Parking Spaces / 10 x 2 Shrubs = 14 Shrubs		
	4. There shall be complete coverage of required landscape areas.		
PROVIDED	1. Landscape Area	= 4,619 SF of Landscape Area	
	2. (4) Black Gum, (3) Elms	= 7 Canopy Trees	
	3. (39) Distylium, (79) Japanese Holly	= 118 Shrubs	
	4. There is complete coverage of required landscape areas		
D. STREET FRONTAGE BUFFERS			
REQUIRED	1. Street frontage buffers must be at least 7' in width and be planted with at least (1) Shade Tree per 30 LF of landscape.		
	South 13th Street: 236 LF / 25 LF (understory due to overhead utility) = 9 Understory Trees		
	Utica Ave: 225 LF / 30 LF = 8 Shade Trees		
	South 13th Place: 271 LF / 30 LF = 9 Shade Trees		
	West: 216 LF / 30 LF = 7 Shade Trees		
	2. The S1 screen requires shrubs planted to form a continuous visual barrier (hedge) at least 3' in height.		
	3. Trees planted to satisfy the street tree planting requirement may be counted toward satisfying street frontage buffer tree planting requirements.		
	4. There shall be 2' overhead clear zone along street frontage		
PROVIDED	1. South 13th Street: (2) Trident Maple, (8) Crepe Myrtle = 9 Understory Trees		
	Utica Ave: (2) Trident Maple, (6) Live Oak = 8 Shade Trees		
	South 13th Place: (1) Trident Maple, (3) Chinese Pistache, (2) Chinese elm, (3) Live Oak = 9 Shade Trees		
	West: (4) Trident Maple, (3) Chinese elm = 7 Shade Trees		
	2. Continuous hedge proposed @ 36" hgt		
	3. Trees proposed are counting towards street trees		
	4. There is a 2' clear zone proposed along street frontages where parking is abuts.		
E. TREES & SHRUBS			
REQUIRED	1. Canopy trees must have a minimum caliper size of 2" at time of installation, understory trees must have a caliper size of 1.5" at time of planting, evergreen trees must have a minimum height of 6'		
	2. If more than 10 trees are required, no more than 40% may be of a single species.		
	42 required trees x 40% = 17 of a single species		
	3. Deciduous shrubs must have a minimum container size of 2 gallons, evergreen shrubs must have a minimum container size of 5 gallons.		
	4. If more than 75 shrubs are required, no more than 40% may be of a single species.		
	196 required shrubs x 40% (Planting is beyond required) = 78 of a single species		
PROVIDED	1. Canopy trees proposed at 2" Cal.; Understory trees proposed at 1.5" Cal.; Evergreen trees proposed at 6" Hgt.		
	2. (9) Elm proposed		
	3. Deciduous shrubs are proposed at 3 Gal.; Evergreen shrubs are proposed at 5 Gal.		
	4. Proposed shrubs exceeds required shrubs		

PLANT LIST

Qty	Botanical Name	Common Name	Scheduled Size	
Trees				
8	Acer buergerianum	Trident Maple	2" Cal.	B & B; single straight leader
4	Ilex x 'Cona'	Oak Leaf Red Holly	Min. 6' Hgt.	Full to ground
8	Lagerstroemia indica 'Whit II'	Dynamite Crepe Myrtle	1.5" Cal.	Multi-trunk
4	Nyssa sylvatica 'Wildfire'	Wildfire Tupelo	3" Cal; 12' Hgt.	B & B; single straight leader; well branched
3	Pistacia chinensis	Chinese Pistache	3" Cal; 12' Hgt.	B & B; single straight leader; well branched
9	Quercus phellos 'Hightower'	Hightower Willow Oak	3" Cal; 12' Hgt.	B & B; single straight leader; well branched
8	Ulmus parvifolia 'Chinese'	Chinese Elm	3" Cal; 12' Hgt.	B & B; straight leader; well branched
Shrubs				
80	Distylium 'Vintage Jade'	Vintage Jade Distylium	5 Gal.	
13	Hydrangea paniculata 'LimeLight'	LimeLight Hydrangea	3 Gal.	
63	Ilex cornuta 'Needpoint'	Needpoint Holly	5 Gal.	
90	Ilex crenata 'Heller'	Heller Japanese Holly	5 Gal.	
107	Ilex glabra 'Shamrock'	Shamrock Inkberry	5 Gal.	
81	Loropetalum chinense 'Ruby'	Ruby Loropetalum	5 Gal.	
47	Muhlenbergia capillaris	Pink Muhly Grass	3 Gal.	
62	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	3 Gal.	
47	Spiraea japonica 'Goldmound'	Goldmound Spiraea	3 Gal.	
Groundcovers				
229	Liriope muscari 'Big Blue'	Big Blue Liriope	1 Gal.	Plant 18" O.C.
Other				

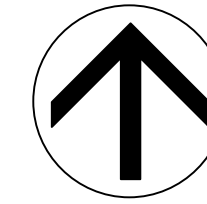


SOUTHWEST LANDSCAPE NOTES

- Landscape Contractor to read and understand the Landscape Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
- Contractor is responsible for locating and protecting all underground utilities prior to digging.
- Contractor is responsible for protecting existing trees from damage during construction.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- All tree protection areas to be protected from sedimentation.
- All tree protection fencing to be inspected daily, and repaired or replaced as needed.
- No parking, storage or other construction activities are to occur within tree protection areas.
- All planting areas shall be cleaned of construction debris (ie. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
- General Contractor is responsible for adding a min of 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
- In all parking lot islands, the Contractor is responsible to remove all debris, fracture/loosen subgrade to a min. 24" depth. Add topsoil to a 6"-8" berm height above island curbing; refer to landscape

- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Any deviations from the approved set of plans are to be approved by the Landscape Architect.
- Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
- Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
- Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
- Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 2-3 inch depth of mini nuggets.
- All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of rock mulch.
- Planting holes to be dug a minimum of twice the width of the root ball,

- Set plant material 2-3" above finish grade.
- Backfill planting pit with topsoil and native excavated soil.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched; see Landscape Details.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentations to be repaired.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
- Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
- Site to be 100% irrigated in all planting beds and grass area by an automatic underground irrigation system. Irrigation as-built shall be provided to the Landscape Architect within 24 hours of irrigation install completion.
- Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
- Remove stakes and guying from all trees after one year from planting.



LEGEND

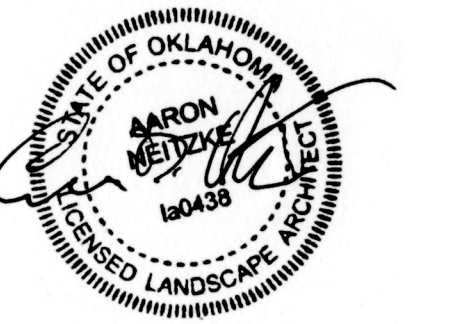
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCING



Chick-fil-A
Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



Manley Land Design, Inc.
51 Old Canton Street
Alpharetta, Georgia 30009
770.442.8171 tel



CHICK-FIL-A
NWC E 13th Place
And Utica Ave.
Tulsa, OK 74104

FSU# 05429

REVISION SCHEDULE
NO. DATE BY DESCRIPTION

MLD PROJECT # 2023114
PRINTED FOR PERMIT
DATE 6/6/23
DRAWN BY MB

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SHEET
Landscape Plan

SHEET NUMBER
L-100

Exhibit "D"

Tract 1 Existing Utilities

NORTHING: 422769.04
EASTING: 2568321.22
ELEVATION: 740.86'

NORTHING: 422526
EASTING: 2568321.22
ELEVATION: 740.86'

CONSTRUCTION NOTE:

WATER AND SANITARY SEWER LINES ONLY. PRIOR TO CONSTRUCTION OF ALL SERVICE LINES, THE CITY LINE MAINTENANCE SUPERINTENDENT OR SUPERVISOR MUST BE NOTIFIED. THE CITY WILL MAKE ALL UTILITY CONNECTIONS TO EXISTING PUBLIC UTILITIES AND SHALL INSPECT ALL UTILITY CONNECTIONS TO PRIVATE MAINLINES. THE LINE MAINTENANCE SUPERVISOR MAY REQUIRE ANY UNAUTHORIZED UTILITY CONNECTIONS TO BE EXCAVATED FOR INSPECTION.

PRIOR TO ANY UNDERGROUND CONSTRUCTION THE CONTRACTOR SHALL HIRE AN EXTENSIVE UNDERGROUND UTILITY LOCATE COMPANY TO VERIFY ALL EXISTING UTILITY LOCATIONS. INFORMATION SHOWN ON THESE PLANS WERE TAKEN FROM MUNICIPALITY RECORDS AND ACTUAL LOCATIONS COULD VARY IN THE FIELD.

UTILITY PLAN LEGEND

EXISTING	PROPOSED
— GAS —	GAS
— W —	WATER
— F —	FIRE
— E —	ELECTRICITY
— T —	TELEPHONE
— SS —	SANITARY SEWER
THURST BLOCK	THURST BLOCK
FIRE HYDRANT ASSEMBLY	FIRE HYDRANT ASSEMBLY
MANHOLE	MANHOLE
CLEANOUT	CLEANOUT
POST INDICATOR VALVE	POST INDICATOR VALVE
VALVE	VALVE
STRUCTURE LABEL	STRUCTURE LABEL
WATER METER	WATER METER
LIGHTING	LIGHTING
TRANSFORMER PAD	TRANSFORMER PAD
FIRE DEPT. CONNECTION (FDC)	FIRE DEPT. CONNECTION (FDC)

N/F:
VESTMENTS LLC
ROOST AVE
OK 74120
75930707440

N/F:
QUAPAW INVESTMENTS LLC
1312 S TROOST AVE
TULSA, OK 74120
APN: 21775930707450

VESTMENTS LLC
ROOST AVE
OK 74120
5930707460

W INVESTMENTS LLC
S TROOST AVE
TULSA, OK 74120
21775930707470
0' PUBLIC RIGHT-OF-WAY
ST AVE
2009076857

P14-SE-BN BUILDING
72 PARKS
4,864 SF IBC BLDG AREA
SEATS: 74 INSIDE / 28 PATIO
1.60 ACRES ±780 LF STACK ISOLATED DT
FFE = 745.10

DDCV IN MECH ROOM RISER

SOUTH 13TH PLACE
VARIABLE WIDTH PUBLIC RIGHT-OF-WAY
(NO DOCUMENTATION)
VARIABLE WIDTH ASPHALT PAVEMENT

NOTICE: EXISTING UTILITY LOCATIONS

PRIOR TO EXCAVATION AND INSTALLATION OF ANY UNDERGROUND UTILITY, STORM DRAINAGE FACILITIES, GRADING & PAVING, AND OTHER RELATED CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY LOCATING COMPANY. THE CONTRACTOR SHALL ALSO BE REQUIRED TO COORDINATE DIRECTLY (AS NECESSARY) WITH EACH APPLICABLE UTILITY AGENCY FOR APPROPRIATE FIELD LOCATION MARKING. THE CONTRACTOR SHALL BE RESPONSIBLE TO ASSURE THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED & MARKED TO PERFORM THE WORK IN A SAFE MANNER WITHOUT DAMAGE TO EXISTING UTILITIES.

UTILITY PLAN DESIGN NOTES AND KEY PLAN

THE CITY SHALL PROVIDE THE NECESSARY FITTINGS TO CONNECT THE NEW SERVICE LINE EXTENSION TO THE EXISTING SEWER LATERAL/MAIN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, MATERIAL AND INVERT ELEVATION PRIOR TO INSTALLING ANY ON-SITE SEWER FACILITIES. MINOR ADJUSTMENTS TO THE NEW SERVICE LINE INVERT ELEVATION MAY BE NECESSARY DEPENDING UPON FIELD MEASUREMENTS.

CAUTION/WARNING:
THE CONTRACTOR SHALL USE EXTREME CAUTION TO PROPERLY SHEET, SHORE, AND DEMATER EXCAVATION TO COMPLETE THE CONNECTION IN A SAFE MANNER, AND WITHOUT DAMAGE OR SETTLEMENT TO EXISTING FACILITIES OR ROAD. PROVIDE THE NECESSARY TRAFFIC CONTROL MEASURES TO PREVENT TRAFFIC FROM DRIVING TOO CLOSE TO THE EXCAVATIONS AND OTHER RELATED WORK AREAS.

CAUTION

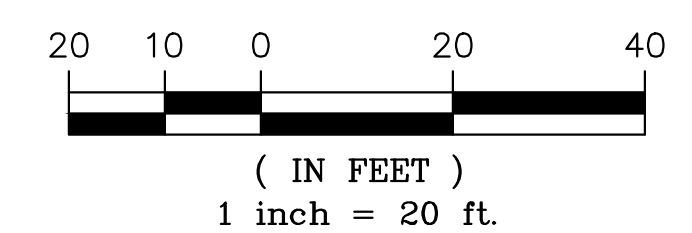
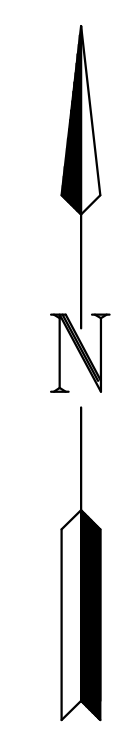
THE UTILITIES SHOWN HEREON ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



IF YOU DIG OKLAHOMA...
CALL US FIRST!
811 OR 1-800-522-OKIE
UTILITIES PROTECTION CENTER
IT'S THE LAW

1. PAY DOMESTIC METER/TAPPING FEES TO CITY IF REQUIRED. 2" WATER METER. DOMESTIC 2" COPPER LINE TO BLDG. GC MAKES WATER TAP, CITY SETS METER. RPZ BY GC AND GC TO INSTALL SERVICE TO BUILDING FROM METER.
2. PAY IRRIGATION METER/TAPPING FEES TO CITY IF REQUIRED. 1" COPPER LINE WITH 1" IRRIGATION METER RPZ BFP. GC MAKES WATER TAP, CITY SETS METER. RPZ BY GC AND GC TO INSTALL SERVICE TO BUILDING FROM METER.
3. INSTALL 2" TYPE K COPPER WATER SERVICE. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR.
4. 3/4" COLD WATER TO DUMPSTER POST HYDRANT.
5. INSTALL 6" C900 PVC WASTEWATER SERVICE LATERAL. GC SHALL TAP DEVELOPMENT MANHOLE WITH INSPECTIONS.
6. 6" C900 PVC WASTEWATER SERVICE LINE AT 0.5% SLOPE (MIN.) GC SHALL TAP DEVELOPMENT MANHOLE WITH INSPECTIONS.
7. INSTALL 6" CLEAN OUT EVERY 75' MINIMUM. USE TRAFFIC RATED CLEANOUT IN ALL PAVEMENT AREAS AS REQUIRED OR AS REQUIRED BY THE LOCAL PLUMBING CODE (WHICHEVER IS MORE STRINGENT).
8. ONE PRECAST 1000 GAL. CAPACITY GREASE TRAP. PLUMBING CONTRACTOR SHALL COORDINATE WITH BUILDING CONTRACTOR. TOP OF MANHOLE TO BE 0.2' ABOVE FINISH GRADE AND MATCH SIDEWALK GRADES WHERE REQUIRED. VERIFY GREASE TRAP MEETS MUNICIPALITY WATER AND SEWER DEPARTMENT SPECIFICATIONS PRIOR TO INSTALLATION AND ORDERING. REFER TO PLUMBING PLAN, SHEET P-1.1.
9. 4" KITCHEN WASTE LINE
10. 3" VENT LINE. CONNECT TO GREASE INTERCEPTOR (SEE ARCHITECTURAL SHEET P1 FOR LOCATION).
11. 4" RESTROOM WASTE LINE
12. NOT USED
13. NOT USED
14. 5/8" FREEZE-PROOF HOSE BIBB. REFER TO THE FIXTURE CONNECTION SCHEDULE DEPICTED ON THE BUILDING PROJECT PLUMBING PLANS.
15. LIGHT POLE AND BASE
16. DOWNSPOUT FOR ROOF DRAINAGE (REFER TO ARCHITECTURAL PLANS)
17. EXISTING 8" WATER LINE. CONTRACTOR TO FIELD VERIFY SIZE AND LOCATION.
18. PROPOSED GAS SERVICE BY OKLAHOMA NATURAL GAS. CONTRACTOR SHALL COORDINATE INSTALLATION TO INSURE THE APPROPRIATE BENDS ARE INCORPORATED TO MAINTAIN A MINIMUM OF 2.0' CLEARANCE BELOW ALL STORM SEWER, WATER, AND WASTEWATER LINES OR SERVICES WHEN CROSSING.
19. COORDINATE GAS METER INSTALLATION WITH OKLAHOMA NATURAL GAS.
20. 4" SCHEDULE 40 PVC IRRIGATION SLEEVE (REFER TO IRRIGATION PLANS)
21. 6" SCHEDULE 40 PVC IRRIGATION SLEEVE (REFER TO IRRIGATION PLANS)
22. UNDERGROUND PRIMARY ELECTRIC SERVICE. CONTRACTOR TO FIELD VERIFY LOCATION.
23. PAD MOUNTED TRANSFORMER PER O G & E STANDARDS.
24. UNDERGROUND PRIMARY TELEPHONE SERVICE. 3" CONDUIT FROM TELCOM ROOM TO ROW BY GC. CONTRACTOR TO FIELD VERIFY LOCATION.
25. UNDERGROUND SECONDARY ELECTRIC SERVICE TO BUILDING. CONTRACTOR SHALL INSTALL AND PAY ALL AFFILIATED COST RELATED TO WORK.
26. 6" TWO-WAY CLEAN OUT (REFER TO PLUMBING PLANS)
27. BOLLARD
28. SANITARY BACKFLOW PREVENTOR

UTICA AVE
VARIABLE WIDTH PUBLIC RIGHT
(NO DOCUMENTATION)
VARIABLE WIDTH ASPHALT PAVEMENT



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GREYDEN
ENGINEERING • PLANNING
12460 Crabapple Road
Suite 202-374
Alpha, Georgia 30004
PH: 770-573-4801 FAX: 678-302-6362

CHICK-FIL-A
NWC E 13th Place
and Utica Ave.
Tulsa, OK 74104

FSU# 05429

REVISION SCHEDULE	NO.	DATE	DESCRIPTION
	6	1-31-2020	BLDG. COMMENTS

GREYDEN PROJECT # 22-105
PRINTED FOR PCR Plan 2
DATE
DRAWN BY

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SHEET
PLUMBING SITE PLAN

PCR Plan 2
SHEET NUMBER
PS-1.0
3.18

Exhibit "E"

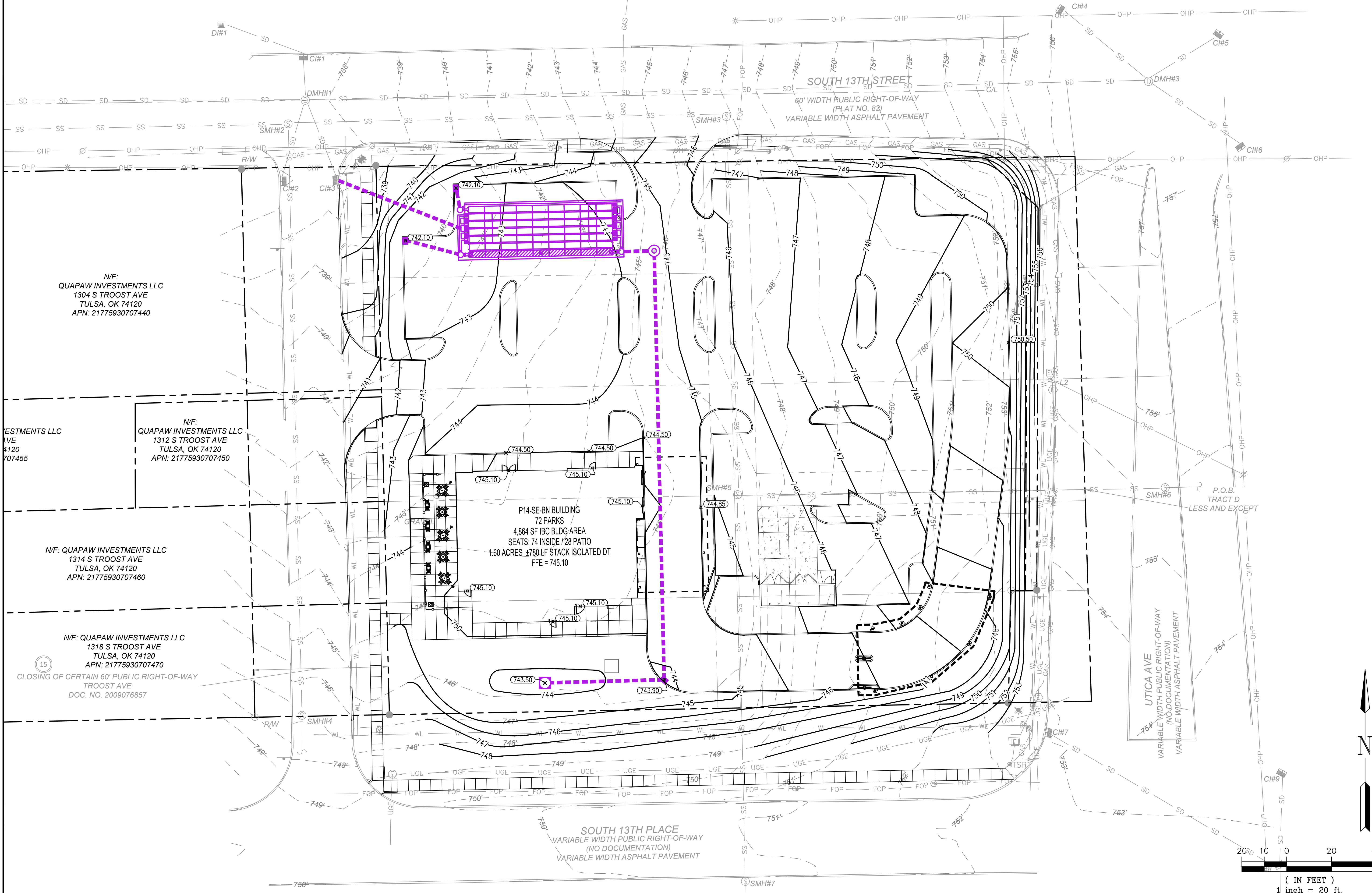
Tract 1 Grading and Drainage Plan

NOTE: CANOPY FOOTING TOP ELEVATIONS ARE MINUS 2' FROM LOWEST PROPOSED GRADE SPOT ELEVATION AT COLUMN.

ELEVATION SPOTS ARE PAVEMENT/AT GRADE ELEVATIONS UNLESS WHEN LOCATED AT DOORS OR SELECT CANOPY COLUMN LOCATIONS IN SIDEWALK

PLAN LEGEND

- 1000 — PROPOSED CONTOUR
- 1000 - - - - - EXISTING CONTOUR
- 0.00 — PROPOSED SPOT ELEVATION-CHICK-FIL-A
- 0.00 — PROPOSED SPOT ELEVATION-SCOOTER'S
- 2.0% MAXIMUM SLOPE
- DIRECTIONAL FLOW ARROW



N/F: QUAPAW INVESTMENTS LLC
1304 S TROOST AVE
TULSA, OK 74120
APN: 21775930707440

ESTMENTS LLC
AVE
#120
707455

N/F: QUAPAW INVESTMENTS LLC
1312 S TROOST AVE
TULSA, OK 74120
APN: 21775930707450

N/F: QUAPAW INVESTMENTS LLC
1314 S TROOST AVE
TULSA, OK 74120
APN: 21775930707460

N/F: QUAPAW INVESTMENTS LLC
1318 S TROOST AVE
TULSA, OK 74120
APN: 21775930707470

15
CLOSING OF CERTAIN 60' PUBLIC RIGHT-OF-WAY
TROOST AVE
DOC. NO. 2009076857

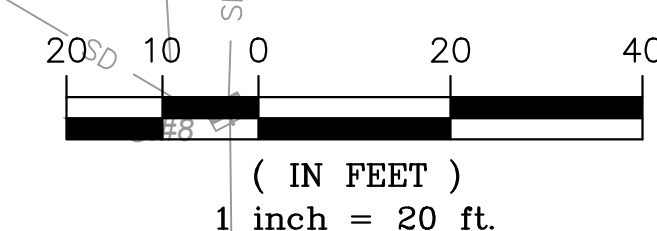
P14-SE-BN BUILDING
72 PARKS
4,864 SF IBC BLDG AREA
SEATS: 74 INSIDE / 28 PATIO
1.60 ACRES ±780 LF STACK ISOLATED DT
FFE = 745.10

SOUTH 13TH PLACE
VARIABLE WIDTH PUBLIC RIGHT-OF-WAY
(NO DOCUMENTATION)
VARIABLE WIDTH ASPHALT PAVEMENT

SOUTH 13TH STREET
60' WIDTH PUBLIC RIGHT-OF-WAY
(PLAT NO. 82)
VARIABLE WIDTH ASPHALT PAVEMENT

UTICA AVE
VARIABLE WIDTH PUBLIC RIGHT-OF-WAY
(NO DOCUMENTATION)
VARIABLE WIDTH ASPHALT PAVEMENT

P.O.B.
TRACT D
LESS AND EXCEPT



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GREYDEN

ENGINEERING • PLANNING
12460 Crabapple Road
Suite 202-374
Alpharetta, Georgia 30004
PH: 770-573-4801 FAX: 678-302-6362

CHICK-FIL-A
NWC E 13th Place
and Utica Ave.
Tulsa, OK 74104

FSU# 05429

REVISION SCHEDULE NO.	DATE	DESCRIPTION
5	12-17-19	OPERATOR & STORM REV.

GREYDEN PROJECT # **22-105**
PRINTED FOR **PCR Plan 2**
DATE
DRAWN BY

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SHEET **GRADING AND DRAINAGE PLAN**

PCR Plan 2
SHEET NUMBER

C-3.0
3.19

SIGN-IN

CHICK-FIL-A/13TH & UTICA NEIGHBORHOOD MEETING
MAY 30, 2023 6:00 P.M.

<u>NAME</u>	<u>ADDRESS</u>	<u>E-MAIL</u>
LOU REYNOLDS	2727 E. 21 ST ST.	lreynolds@detriod.com ^{eller}
Lauren Liebmann	1120 S Utica	lauren.liebmann@hillcrest.com
Cathy Otey	4008 E 45 th St	Office@felctulsa.org
Kathy Seymour	16014 E. 48 th St. Tulsa 74134	kseymour3@cox.net
GEORGE OTEY	4008 E. 45 th St.	grotey@sbcglobal.net
Bob Moody	1126 S. Evanston Ave	bmoody@smithmoody.com
Tim S. CHUR SR	9125 S. Pearl Cr-2W 74105	
Getra Sanders	5200 Buffington Rd. Atlanta, GA 30349	Chick-fil-A, Inc. Chick-fil-A ENGINEER
TODD ROGERS	" "	
SHANNON MARKLIN	" "	(Chick-fil-A Development Consultant
Stephen mamula	1604 E 13 th St Tulsa OK 74120	S_mamula@yahoo.com

Eller Detrich
A Professional Corporation

Philip J. Eller
Kevin H. Wylie
R. Louis Reynolds
Daniel C. Cupps
Andrew A. Shank
Shanann Pinkham Passley
Mac D. Finlayson
Steven P. Flowers
Kenneth E. Crump, Jr.
Sloane Ryan Lile
Nathalie M. Cornett
Natalie J. Marra
Jacob W. Purdum

Telephone
(918) 747-8900

Toll Free
(866) 547-8900

Facsimile
(918) 747-2665

Of Counsel

Donald L. Detrich, *Retired*
Jerry M. Snider
Katherine Saunders, PLC
Heidi L. Shadid
Joshua M. Tietsort

Writer's Direct Line
(918) 392-9400

Writer's Direct Fax
(918) 392-9406

Writer's E-Mail
rlreynolds@ellerdetrich.com

May 23, 2023

Travis E. Dust & Sara L. Short
1720 East 13th Street
Tulsa, Oklahoma 74104

Re: Northwest Corner of E. 13th Street and S. Utica Avenue Neighborhood Meeting

Dear Mr. Dust and Ms. Short:

This law firm represents Chick-fil-A in connection with the property at 1312 S. Utica Avenue, located at the northwest corner of East 13th Place South and South Utica Avenue, just north of the Broken Arrow Expressway.

We intend to file applications to rezone the property from RM-2 (Residential Multi-family 2) to CS (Commercial Shopping) and amend the existing Planned Unit Development PUD-772 in order to redevelop the eastern portion of the property as a Chick-fil-A restaurant.

I am writing to you to invite you to a meeting with the Chick-fil-A team on **Tuesday, May 30, 2022**, at the First Lutheran Church, located at 1244 S. Utica Ave., Tulsa, Oklahoma 74104, at **6:00 p.m.**

Eller & Detrich
A Professional Corporation

May 23, 2023
Page 2

On behalf of Chick-fil-A, we hope to see you at the meeting and will make every effort to answer any questions you may have about the project. Again, we look forward to seeing you at the May 30th meeting.

Sincerely,

ELLER AND DETRICH
A Professional Corporation



R. Louis Reynolds

Eller&Detrich
2727 East 21st Street, Suite 200
Tulsa, Oklahoma 74114-3533



74114
60¢
eems
US POSTAGE
FIRST-CLASS

Travis Dust & Sara L. Short
1720 E. 13th St.
Tulsa, Oklahoma 74104

Eller Detrich
A Professional Corporation

Philip J. Eller
Kevin H. Wylie
R. Louis Reynolds
Daniel C. Cupps
Andrew A. Shank
Shanann Pinkham Passley
Mac D. Finlayson
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Kenneth E. Crump, Jr.
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Toll Free
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Joshua M. Tietsort

Writer's Direct Line
(918) 392-9400

Writer's Direct Fax
(918) 392-9406

Writer's E-Mail
rlreynolds@ellerdetrich.com

May 23, 2023

First Evangelical Lutheran Church
1244 S. Utica
Tulsa, Oklahoma 74104-4213

Re: Northwest Corner of E. 13th Street and S. Utica Avenue Neighborhood Meeting

Dear Sir or Madam:

This law firm represents Chick-fil-A in connection with the property at 1312 S. Utica Avenue, located at the northwest corner of East 13th Place South and South Utica Avenue, just north of the Broken Arrow Expressway.

We intend to file applications to rezone the property from RM-2 (Residential Multi-family 2) to CS (Commercial Shopping) and amend the existing Planned Unit Development PUD-772 in order to redevelop the eastern portion of the property as a Chick-fil-A restaurant.

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Eller & Detrich
A Professional Corporation

May 23, 2023
Page 2

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Sincerely,

ELLER AND DETRICH
A Professional Corporation



R. Louis Reynolds

Eller&Detrich
2727 East 21st Street, Suite 200
Tulsa, Oklahoma 74114-3533



First Evangelical Lutheran Church
1244 S. Utica
Tulsa, Oklahoma 74104-4213

Eller & Detrich
A Professional Corporation

Philip J. Eller
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Mac D. Finlayson
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Telephone
(918) 747-8900

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Donald L. Detrich, *Retired*
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Heidi L. Shadid
Joshua M. Tietsort

Writer's Direct Line
(918) 392-9400

Writer's Direct Fax
(918) 392-9406

Writer's E-Mail
rlreynolds@ellerdetrich.com

May 23, 2023

Gary & Sharon Gould & Allison Gould
2506 S. Evanston Avenue
Tulsa, Oklahoma 74114

Re: Northwest Corner of E. 13th Street and S. Utica Avenue Neighborhood Meeting

Dear Mr. and Ms. Gould:

This law firm represents Chick-fil-A in connection with the property at 1312 S. Utica Avenue, located at the northwest corner of East 13th Place South and South Utica Avenue, just north of the Broken Arrow Expressway.

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I am writing to you to invite you to a meeting with the Chick-fil-A team on **Tuesday, May 30, 2022**, at the First Lutheran Church, located at 1244 S. Utica Ave., Tulsa, Oklahoma 74104, at **6:00 p.m.**

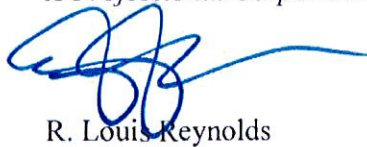
Eller & Detrich
A Professional Corporation

May 23, 2023
Page 2

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Sincerely,

ELLER AND DETRICH
A Professional Corporation



R. Louis Keynolds

Eller & Detrich
2727 East 21st Street, Suite 200
Tulsa, Oklahoma 74114-3533



Gary, Sharon & Allison
Gould
2506 S. Evanston Ave.
Tulsa, Oklahoma 74114

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Kevin H. Wylie
R. Louis Reynolds
Daniel C. Cupps
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Shanann Pinkham Passley
Mac D. Finlayson
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Writer's E-Mail
rlreynolds@ellerdetrich.com

May 23, 2023

JSM Management LLC
6440 South 221st East Avenue
Broken Arrow, OK 74014-2021

Re: Northwest Corner of E. 13th Street and S. Utica Avenue Neighborhood Meeting

Dear Sir or Madam:

This law firm represents Chick-fil-A in connection with the property at 1312 S. Utica Avenue, located at the northwest corner of East 13th Place South and South Utica Avenue, just north of the Broken Arrow Expressway.

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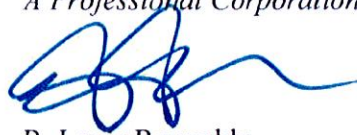
Eller & Detrich
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May 23, 2023
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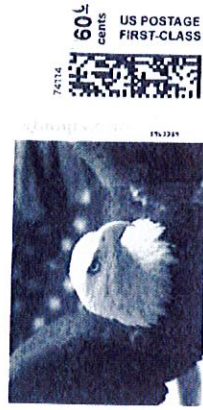
Sincerely,

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R. Louis Reynolds

Eller&Detrich
2727 East 21st Street, Suite 200
Tulsa, Oklahoma 74114-3533



JSM Management LLC
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Broken Arrow, Oklahoma 74014-
2021

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rlreynolds@ellerdetrich.com

May 23, 2023

Glenda Rae and Gary Wayne Rust
1715 East 13th Place
Tulsa, Oklahoma 74104

Re: Northwest Corner of E. 13th Street and S. Utica Avenue Neighborhood Meeting

Dear Mr. and Ms. Rust:

This law firm represents Chick-fil-A in connection with the property at 1312 S. Utica Avenue, located at the northwest corner of East 13th Place South and South Utica Avenue, just north of the Broken Arrow Expressway.

We intend to file applications to rezone the property from RM-2 (Residential Multi-family 2) to CS (Commercial Shopping) and amend the existing Planned Unit Development PUD-772 in order to redevelop the eastern portion of the property as a Chick-fil-A restaurant.

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Eller & Detrich
A Professional Corporation

May 23, 2023
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Sincerely,

ELLER AND DETRICH
A Professional Corporation



R. Louis Reynolds

Eller&Detrich
2727 East 21st Street, Suite 200
Tulsa, Oklahoma 74114-3533



Glenda Rae & Gary Wayne Rust
1715 E. 13th Pl
Tulsa, Oklahoma 74104

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Writer's E-Mail
rlreynolds@ellerdetrich.com

May 23, 2023

The Short Revocable Trust
c/o Donald L. & Deeanne Short, Trustees
254 Paradise Drive
Chouteau, Oklahoma 74337-2844

Re: Northwest Corner of E. 13th Street and S. Utica Avenue Neighborhood Meeting

Dear Mr. and Ms. Short:

This law firm represents Chick-fil-A in connection with the property at 1312 S. Utica Avenue, located at the northwest corner of East 13th Place South and South Utica Avenue, just north of the Broken Arrow Expressway.

We intend to file applications to rezone the property from RM-2 (Residential Multi-family 2) to CS (Commercial Shopping) and amend the existing Planned Unit Development PUD-772 in order to redevelop the eastern portion of the property as a Chick-fil-A restaurant.

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www.EllerDetrich.com
2727 East 21st Street, Suite 200, Tulsa, Oklahoma 74114-3533

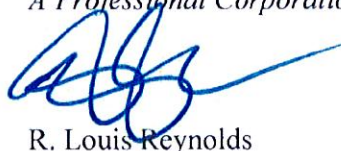
Eller & Detrich
A Professional Corporation

May 23, 2023
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Sincerely,

ELLER AND DETRICH
A Professional Corporation

A handwritten signature in blue ink, appearing to read 'R. Louis Reynolds', is written over the printed name.

R. Louis Reynolds

Eller & Detrich

2727 East 21st Street, Suite 200
Tulsa, Oklahoma 74114-3533



The Short Revocable Trust
c/o Donald L. & Deanne Short,
Trustees
254 Paradise Dr.
Choteau, Ok. 74337-2844

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A Professional Corporation

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R. Louis Reynolds
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May 23, 2023

Harry E. & Theresa Irene Stutzman
& Thomas Michael Stutzman
1711 East 13th Place
Tulsa, Oklahoma 74104-4423

Re: Northwest Corner of E. 13th Street and S. Utica Avenue Neighborhood Meeting

Dear Messrs. and Ms. Stutzman:

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Eller & Detrich
A Professional Corporation

May 23, 2023
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Sincerely,

ELLER AND DETRICH
A Professional Corporation



R. Louis Reynolds

Eller & Detrich
2727 East 21st Street, Suite 200
Tulsa, Oklahoma 74114-3533



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Thomas Michael Stutzman
1711 E. 13th Pl.
Tulsa, Oklahoma 74104-4423

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May 23, 2023

Tulsa Psychiatric Center
1620 East 12th Street
Tulsa, Oklahoma 74120

Re: Northwest Corner of E. 13th Street and S. Utica Avenue Neighborhood Meeting

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A Professional Corporation

May 23, 2023
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Sincerely,

ELLER AND DETRICH
A Professional Corporation



R. Louis Reynolds

Eller&Detrich
2727 East 21st Street, Suite 200
Tulsa, Oklahoma 74114-3533



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Tulsa Psychiatric Center
1620 E. 12th St.
Tulsa, Oklahoma 74120

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May 23, 2023

Tulsa Psychiatric Center
1225 S. Saint Louis Avenue
Tulsa, Oklahoma 74120-5414

Re: Northwest Corner of E. 13th Street and S. Utica Avenue Neighborhood Meeting

Dear Sir or Madam:

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R. Louis Reynolds

Eller & Detrich
2727 East 21st Street, Suite 200
Tulsa, Oklahoma 74114-3533



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1225 S. Saint Louis Ave.
Tulsa, Oklahoma 74120-5414

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rlreynolds@ellerdetrich.com

May 23, 2023

Tulsa Psychiatric Foundation
1620 East 12th Street
Tulsa, Oklahoma 74120-5407

Re: Northwest Corner of E. 13th Street and S. Utica Avenue Neighborhood Meeting

Dear Sir or Madam:

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Eller & Detrich
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May 23, 2023
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Tulsa, Oklahoma 74114-3533



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Tulsa, Oklahoma 74120-5407

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May 23, 2023

VTR Hillcrest MC Tulsa LLC
c/o AHS Mgmt Services of OK LLC
110 West 7th Street, Suite 2530
Tulsa, Oklahoma 74119-1104

Re: Northwest Corner of E. 13th Street and S. Utica Avenue Neighborhood Meeting

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A Professional Corporation



R. Louis Reynolds

Eller&Detrich

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Tulsa, Oklahoma 74114-3533



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c/o AHS MGMT SERVICES of OK
LLC

110 W. 7th St. Ste 2530
Tulsa, Oklahoma 74119-1104

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A Professional Corporation

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May 23, 2023

VTR Hillcrest MC Tulsa LLC
P. O. Box 71970
Phoenix, AZ 85050-1017

Re: Northwest Corner of E. 13th Street and S. Utica Avenue Neighborhood Meeting

Dear Sir or Madam:

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2727 East 21st Street, Suite 200, Tulsa, Oklahoma 74114-3533

Eller & Detrich
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May 23, 2023
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A Professional Corporation



R. Louis Reynolds

Eller&Detrich
2727 East 21st Street, Suite 200
Tulsa, Oklahoma 74114-3533



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VTR HILLCREST MC Tulsa LLC
P.O. Box 71970
Phoenix, AZ. 85050-1017

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rlreynolds@ellerdetrich.com

May 23, 2023

Yelle Properties LLC
2021 S. Lewis Avenue
Suite 150
Tulsa, OK 74104-5758

Re: Northwest Corner of E. 13th Street and S. Utica Avenue Neighborhood Meeting

Dear Sir or Madam:

This law firm represents Chick-fil-A in connection with the property at 1312 S. Utica Avenue, located at the northwest corner of East 13th Place South and South Utica Avenue, just north of the Broken Arrow Expressway.

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May 23, 2023
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A Professional Corporation



R. Louis Reynolds

Eller&Detrich
2727 East 21st Street, Suite 200
Tulsa, Oklahoma 74114-3533



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Yelle Properties LLC
2021 S. Lewis Ave. Ste 150
Tulsa, Oklahoma 74104-5758



Ascension St. John

July 26, 2023

Tulsa Metropolitan Area Planning Commission (TMAPC)
Tulsa Planning Office
Tulsa City Hall
175 E 2nd St., Suite 480
Tulsa, OK 74103

Re: Case Number: Z-7729 and PUD 772-A

Dear Commissioners,

I am writing to speak to the rezoning request which has been submitted for the property located between 13th Place and 13th Street, and between Utica Ave and Trenton St. This request for rezoning is from Chick-Fil-A, on development area A and Philos Hospitality, Inc. dba Hospitality House of Tulsa on development area B.

As you know, the healthcare provider sector makes up one of the largest employment providers in our city. Healthcare accounts for more than 64,000 direct jobs in the Tulsa region, which encompasses eleven counties, for a direct total economic impact of \$3.8 billion. Factor in the multiplier effect and other jobs that are added because of that sector, and health care exerts a \$7.3 billion economic impact on the area, according to the Tulsa Regional Chamber. Health care also supports \$240 million in local tax collection. Large metros are economic hubs for health care, by offering a range of services that include specialty and trauma care.

Because of this quality and specialty of healthcare, Tulsa receives over 25,000 visitors to our city, who may never be counted in our tourism numbers. These visitors spend their hard-earned dollars at our restaurants, hotels, pharmacies, and gas stations. They come from small towns across Oklahoma, forty-eight states in the U.S., and even foreign countries. However, they are not coming because they want to be in Tulsa, they come because they must be here for life-saving medical care. Tragically, about 40% of these families coming in for medical care have exhausted their financial resources and cannot afford to pay for hotels or meals. Trying to sleep in waiting room chairs or their vehicles leads to further decline in their physical and mental health.

Fortunately, for the last 18 years, Hospitality House of Tulsa, a local nonprofit, has been providing medical lodging, meals, transportation assistance, and spiritual support for these healthcare travelers. By decreasing the burden of out-of-pocket expenses, 30% of these guests report that they were able to avoid foreclosure or eviction because of what Hospitality House of Tulsa provided. Hospitality House is an important provider of services within our healthcare solutions and now has the opportunity to expand their services to help more families. Since they maintain nearly 100% occupancy each night with a waiting list, they plan to build a new hospital hospitality house on the section of land located between 13th place and 13th street, and between Trenton and Troost. While Hospitality House serves all Tulsa area hospitals and outpatient centers, five of those hospitals will be within walking distance from Hospitality House.

Ascension St John Administration
1923 S Utica Avenue, Davis Tower 2nd Floor
Tulsa, OK 74104

918-744-2180
ascension.org



Ascension St. John

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You may be aware, that Chick-Fil-A is known for its compassionate care and outreach within our community. Whenever a crisis occurs, very often local Chick-Fil-A owners/operators are quick to respond with meals to support first responders, volunteers, and community helpers. Similarly, when a medical crisis occurs in a struggling family's life, Hospitality House of Tulsa responds by meeting their needs, just as it does so for thousands of people each year. Developing this specific section of land by pairing two compassionate organizations that excel in hospitality will be a tremendous benefit to Tulsa.

As the city of Tulsa continues to partner with many agencies in Tulsa to solve the homeless issues, having an excellent community partner such as Chick-Fil-A, which will no doubt increase the sales tax revenue in this part of town will be a significant help as sales tax dollars support the City of Tulsa's goals around homelessness and social services.

Hospitality

I encourage you to approve the requested zoning change which will allow Chick-Fil-A and Hospitality House of Tulsa to build and provide excellence in hospitality for Tulsans and traveling Oklahomans.

Sincerely,

Lucky Lamons
Chief Advocacy Officer
Ascension St. John

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hillcrest Medical Center

July 25, 2023

Tulsa Metropolitan Area Planning Commission (TMAPC)
Tulsa Planning Office
Tulsa City Hall
175 E 2nd St., Suite 480
Tulsa, OK 74103

Re: Case Number: Z-7729 and PUD 772-A

Dear Commissioners,

I am writing to speak to the rezoning request which has been submitted for the property located between 13th Place and 13th Street, and between Utica Ave and Trenton St. This request for rezoning is from Chick-Fil-A, on development area A and Philos Hospitality, Inc. dba Hospitality House of Tulsa on development area B.

As you know, the healthcare provider sector makes up one of the largest employment providers in our city. Healthcare accounts for more than 64,000 direct jobs in the Tulsa region, which encompasses eleven counties, for a direct total economic impact of \$3.8 billion. Factor in the multiplier effect and other jobs that are added because of that sector, and health care exerts a \$7.3 billion economic impact on the area, according to the Tulsa Regional Chamber. Health care also supports \$240 million in local tax collection. Large metros are economic hubs for health care, by offering a range of services that include specialty and trauma care.

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Fortunately, for the last 18 years, Hospitality House of Tulsa, a local nonprofit, has been providing medical lodging, meals, transportation assistance, and spiritual support for these healthcare travelers. By decreasing the burden of out-of-pocket expenses, 30% of these guests report that they were able to avoid foreclosure or eviction because of what Hospitality House of Tulsa provided. Hospitality House is an important provider of services within our healthcare solutions and now has the opportunity to expand their services to help more families. Since they maintain nearly 100% occupancy each night with

a waiting list, they plan to build a new hospital hospitality house on the section of land located between 13th place and 13th street, and between Trenton and Troost. While Hospitality House serves all Tulsa area hospitals and outpatient centers, six of those hospitals will be within either walking distance or within 5 minutes of the patient's bedside.

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I encourage you to approve the requested zoning change which will allow Chick-Fil-A and Hospitality House of Tulsa to build and provide excellence in hospitality for Tulsans and traveling Oklahomans.

Sincerely,



Xavier Villarreal
CEO, Hillcrest Medical Center

hillcrest
Medical Center



July 25, 2023

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Tulsa Planning Office
Tulsa City Hall
175 E 2nd St., Suite 480
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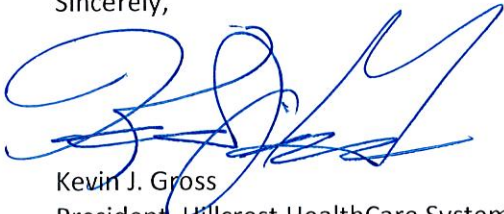
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Sincerely,



Kevin J. Gross
President, Hillcrest HealthCare System

