



**Tulsa Metropolitan Area  
Planning Commission**

**PUD-714-A-3 Staff Report**

**Hearing Date:** March 6, 2024  
**Prepared by:** Dylan Siers  
dsiers@cityoftulsa.org  
918-596-7584

**Owner and Applicant Information**

Applicant: Chris Crabby, UBuildIt  
Property Owner: Venkateshwar Reddy

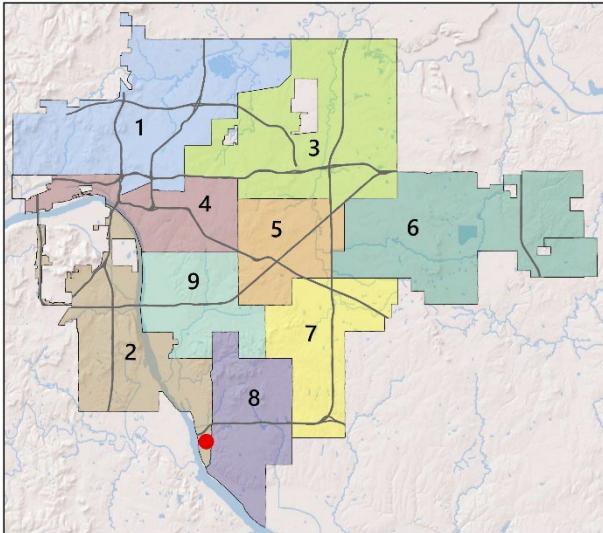
**Property Location**

East of the Northeast corner of East 104th Street  
South and Riverside Parkway

Tract Size: ±0.30 acres

**Location within the City of Tulsa**

*(shown with City Council districts)*



**Elected Representatives**

City Council: District 2, Jeannie Cue  
County Commission: District 3, Kelly Dunkerley

**Public Notice Required**

Mailed Notice to 300' radius – min. 20 days in advance

**Staff Recommendation**

Staff recommends approval.

**Request Summary**

Minor amendment request to reduce the street setback from public and private right of way from 25' to 22'.

**Zoning**

Existing Zoning: RS-3, PUD-714-A  
Existing Overlays: None

**Use**

Current Use: Vacant

**Comprehensive Plan Considerations**

**Land Use**

Land Use Plan: Neighborhood  
Small Area Plans: None  
Development Era: Late Automobile

**Transportation**

Major Street & Highway Plan: N/A  
planitulsa Street Type: N/A  
Transit: N/A  
Existing Bike/Ped Facilities: N/A  
Planned Bike/Ped Facilities: N/A

**Environment**

Flood Area: FEMA 500-year  
Tree Canopy Coverage: 30-50%  
Parks & Open Space: N/A

## **Detailed Staff Recommendation**

The applicant is proposing a minor amendment request to reduce the street setback from public and private right of way from 25' to 22'.

PUD-714-A currently has a setback from private and public right of way of 25'. The applicant is proposing a residence that is 22' from the private right of way. The property is unique in shape which is causing the need to ask for relief. Below the current and proposed standards can be found.

Current standards – Minimum Yards:

Front:

From public street right-of-way 25 FT

From private street right-of-way 25 FT

*Proposed standards for Lot 1 Block 3, Riverview Park –*

*Front:*

*From public street right-of-way 22 FT*

*From private street right-of-way 22 FT*

With consideration given to the factors listed herein, staff recommends **approval** of the application.

Staff has reviewed the request and determined:

- 1) PUD-714-A-3 is consistent with the provisions for administration and procedures of a PUD in section 30.010-H.
- 2) PUD-714-A-3 does not represent a significant departure from the approved development standards in the PUD and is considered a minor amendment to PUD-714-A.
- 3) All remaining development standards defined in PUD-714 and subsequent amendments shall remain in effect.

## **Comprehensive Plan Considerations**

### **Land Use Plan**

The subject property is designated as neighborhood.

**Neighborhoods** are mostly residential uses, which includes detached, missing middle, and multi-dwelling unit housing types. Churches, schools, and other low intensity uses that support residents' daily needs are often acceptable, particularly for properties abutting Multiple Use, Local Center, or Regional Center land use areas. Multi-dwelling unit housing that takes access off an arterial is considered Multiple Use, Local Center, or Regional Center. If a multi-dwelling unit housing property takes access from a lower-order street separated from the arterial, then it would be considered Neighborhood.

Surrounding Properties:

<u>Location</u>	<u>Existing Zoning/Overlay</u>	<u>Existing Land Use Designation</u>	<u>Existing Use</u>
North	RS-3/PUD-714-A	Neighborhood	Residential
East	RS-3/PUD-714-A	Neighborhood	Residential
South	AG/RDO-3	Arkansas River Corridor	Vacant
West	AG/RDO-2	Arkansas River Corridor	Vacant

**Small Area Plans**

The subject properties are not within a small area plan.

**Development Era**

The subject property is located in an area developed during the Late automobile era.

The subject property is in an area developed during the Late Automobile Era (1950s-present), which has grown since the mainstreaming of automobile-centric lifestyles, with a high degree of separation between residential and nonresidential uses, and low levels of street connectivity. In these areas, transportation is nearly exclusively concentrated on the mile-by-mile arterial grid, and major streets are often both transportation corridors and destination corridors, which can lead to traffic congestion. Nonresidential uses are predominantly located at the intersections of major arterial streets. Priorities in these areas include commercial revitalization, placemaking, community gathering opportunities, conservation of natural areas, a high degree of privacy, one-stop shopping, and commuting routes.

**Transportation**

Major Street & Highway Plan: N/A

Comprehensive Plan Street Designation: N/A

Transit: N/A

Existing Bike/Ped Facilities: N/A

Planned Bike/Ped Facilities: N/A

Arterial Traffic per Lane: N/A

**Environmental Considerations**

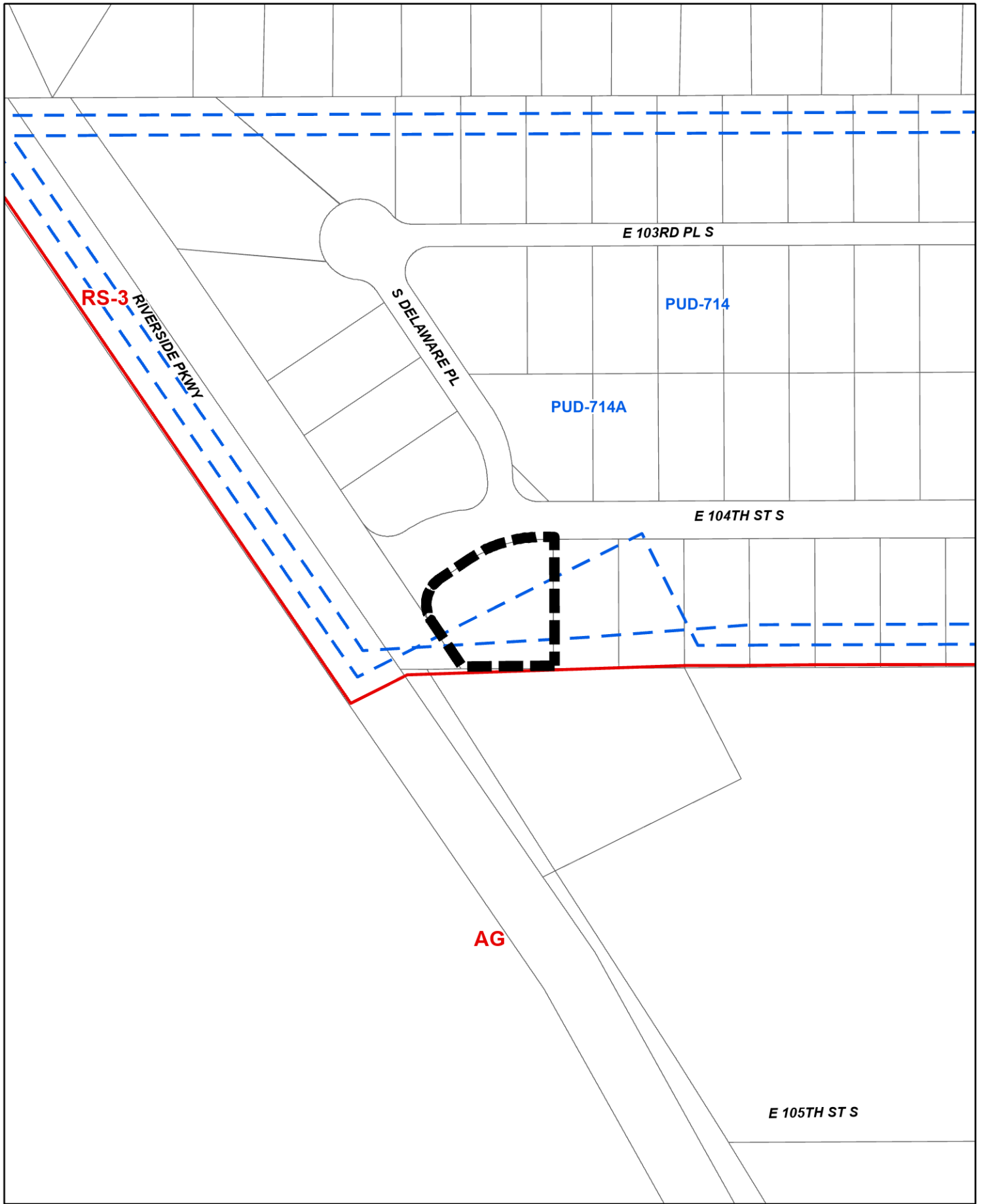
Flood Area: The subject properties are within the FEMA 500 year.

Tree Canopy Coverage: Tree canopy in the area is 30%-50%. The area would benefit from additional trees, which also capture and treat runoff before it enters the river.

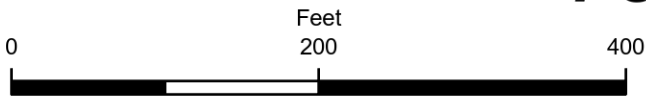
Parks & Open Space: N/A

**Exhibits**

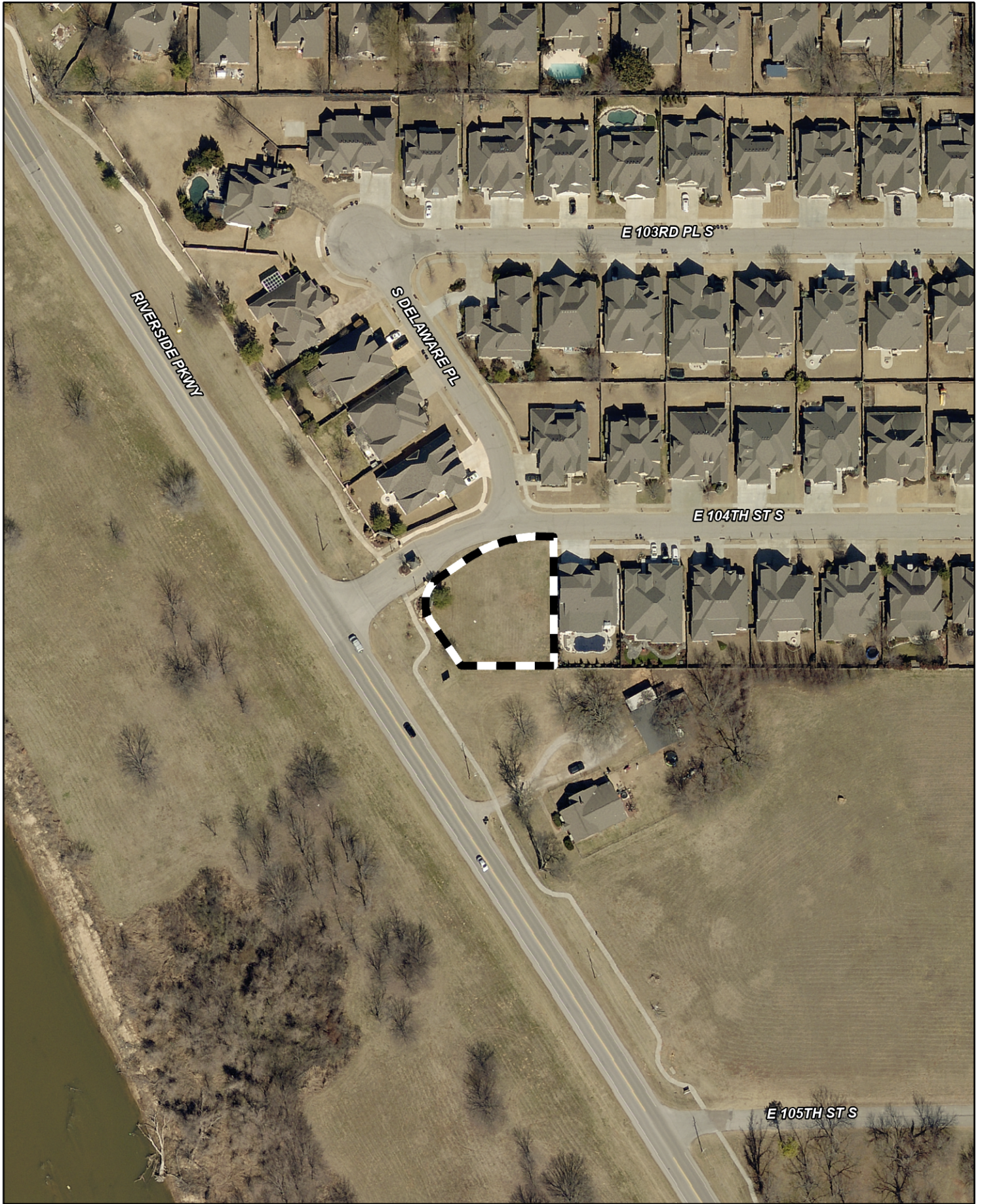
- Case map
- Aerial (small scale)
- Aerial (large scale)
- Tulsa Comprehensive Plan Land Use Map
- Applicant Exhibits



# PUD-714-A-3







RIVERSIDE PKWY

S DELAWARE PL

E 103RD PL S

E 104TH ST S

E 105TH ST S

Subject Tract

# PUD-714-A-3

Feet  
200

400

Note: Graphic overlays may not precisely align with physical features on the ground.

4.5

Aerial Photo Date: 2021



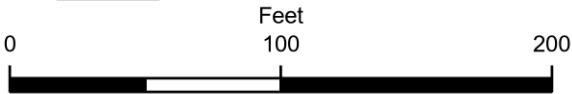




Subject  
Tract

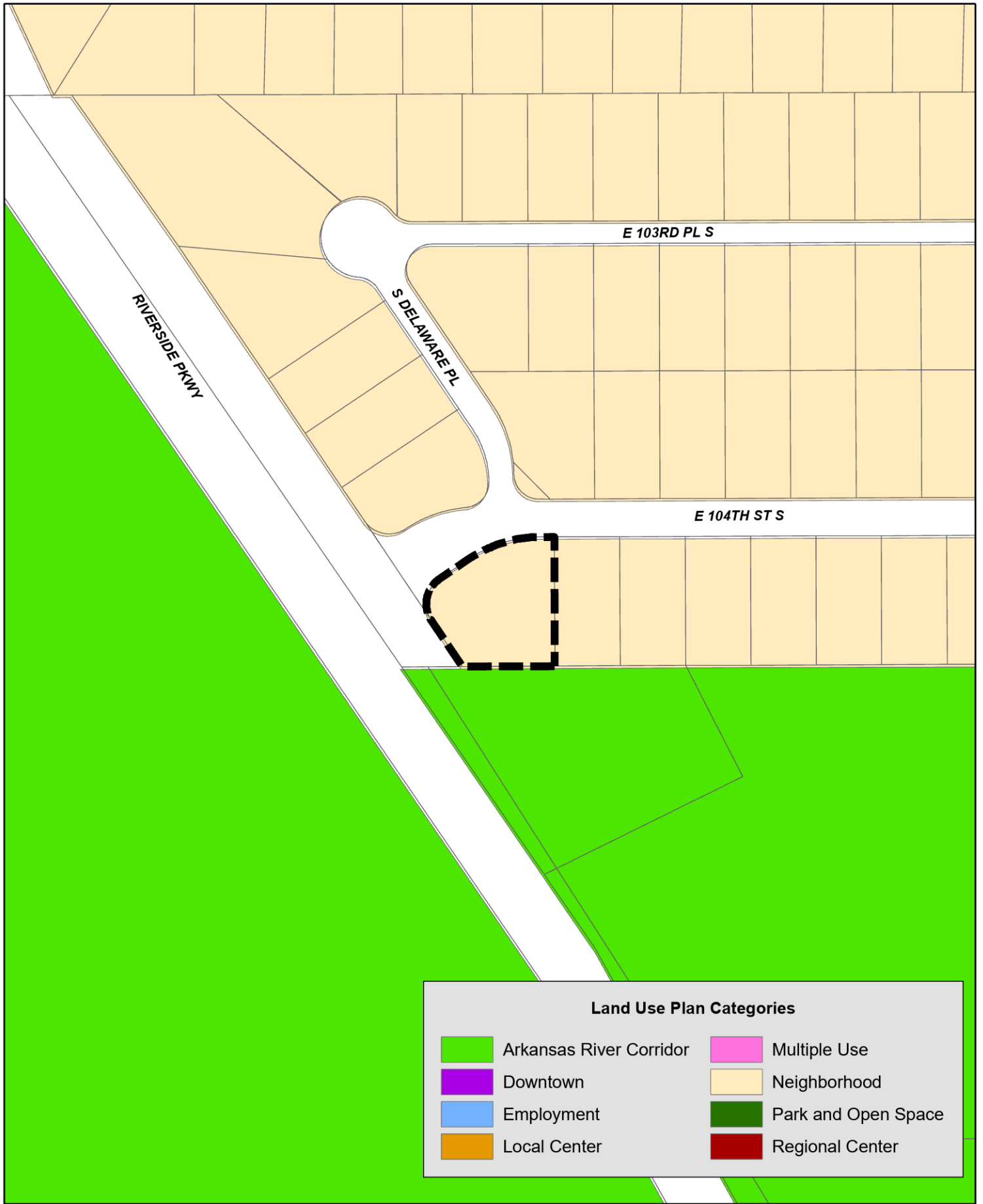
# PUD-714-A-3









Note: Graphic overlays may not precisely align with physical features on the ground.



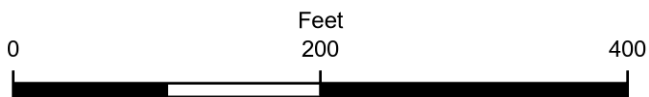
Aerial Photo Date: 2021

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Land Use Plan Categories			
	Arkansas River Corridor		Multiple Use
	Downtown		Neighborhood
	Employment		Park and Open Space
	Local Center		Regional Center

**PUD-714-A-3**









# PLAN PLOT

VENKATESHWAR  
REDDY  
2/8/2024

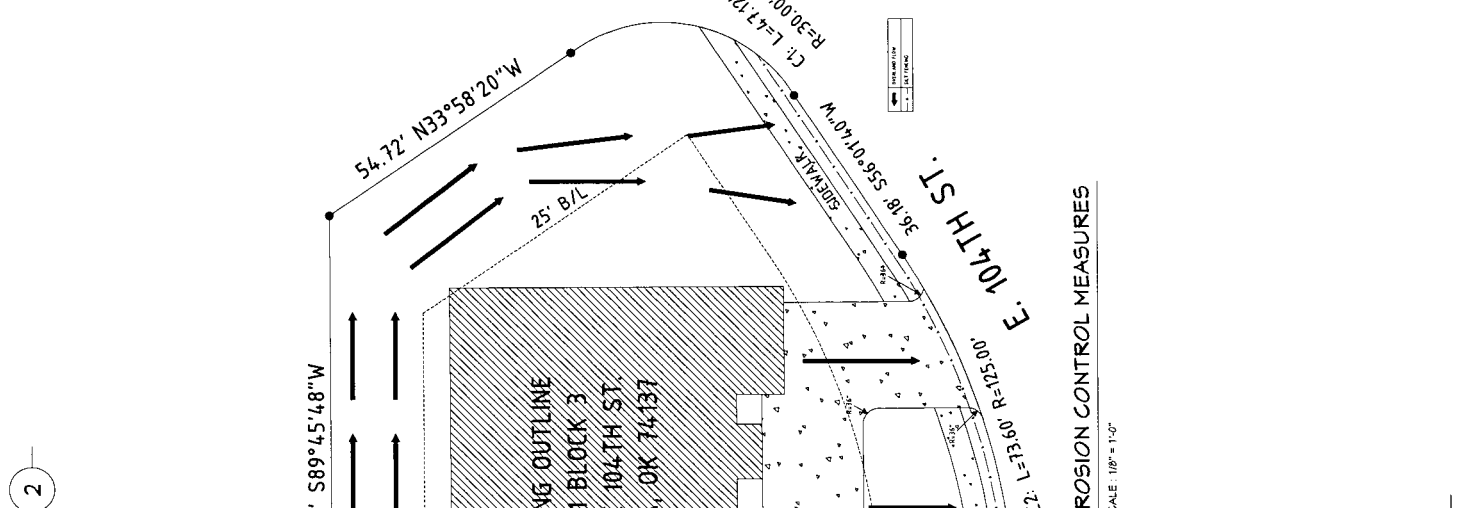
FLOOR	10 FT.	3 / 10 / 12	12	6 FT. MIN.
UPSTAIRS	8 FT.	4 / 8	12	6 FT. MIN.

OVERALL PLAN DETAILS			
FLOOR	PLATE HEIGHT	WDW HEIGHT	
2,234 SQ. FT. UPSTAIRS FLOOR AREA	10 FT.	3 / 10 / 12	12
459 SQ. FT. FRONT CVD. PORCH AREA	8 FT.	4 / 8	12
213 SQ. FT. BALCONY AREA			

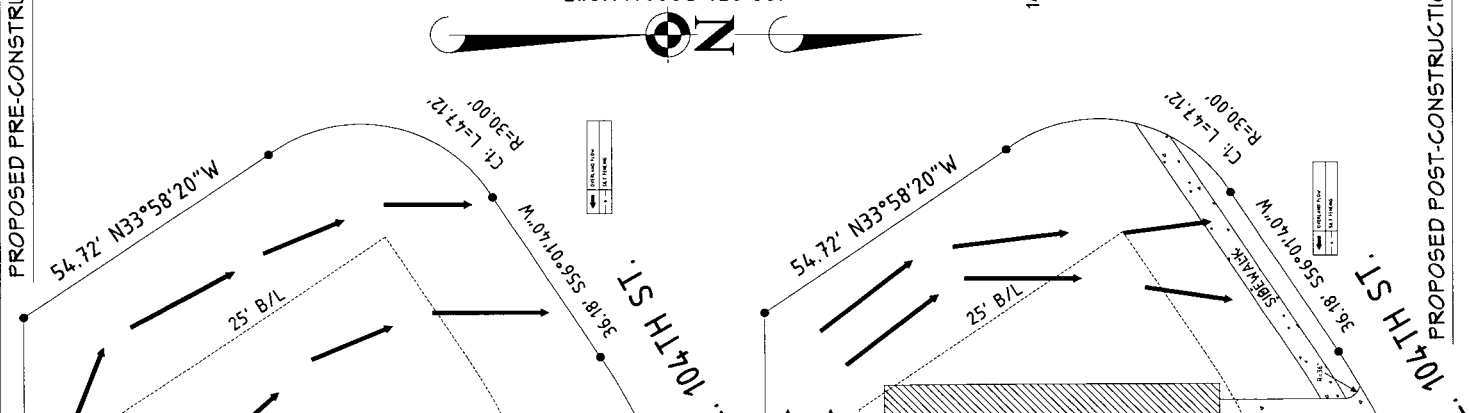
SPEC:	D-09C / 15-02
SCALE:	1/4" = 1'-0"
PAPER:	36 x 48
SHEET:	2

**GENERAL NOTES:**

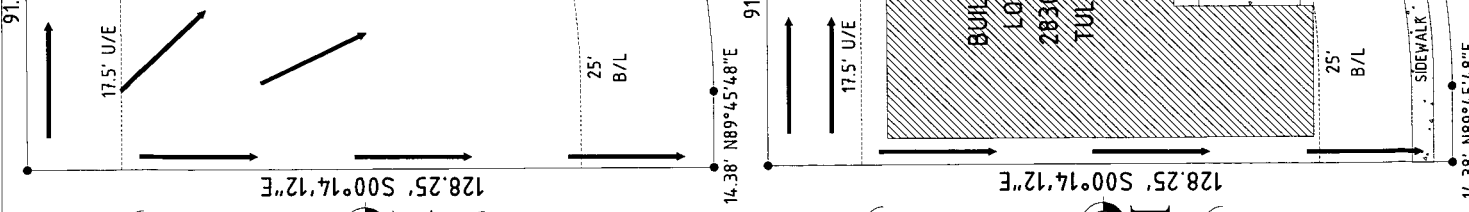
THE EXAMINATION OF THE SITE FOR THE PROJECT AND EXAMINE FOR HIMSELF ALL CONDITIONS AFFECTING THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING THE SITE FOR EXECUTION OF THIS PROJECT. DIMENSIONS: DO NOT SCALE DRAWINGS. USE DIMENSIONS IN FIELD MEASUREMENTS AND NOTIFY DESIGNER IN WRITING BEFORE DISCREPANCIES IN WRITING BEFORE COMMENCEMENT OF WORK. OMISSIONS IN DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE DESIGNER FOR WORK TO BE STARTED, UNLESS EXPRESSLY STIPULATED. NO ADDITIONAL ALLOWANCES WILL BE MADE IN THE MANUFACTURERS FAVOR BY VIRTUE OF ERRORS. AMBIGUITIES AND/OR OMISSIONS WHICH HAVE BEEN CONSIDERED BY THE DESIGNER SHALL BE DESIGNER ATTENTION IN A TIMELY MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER COORDINATION AND COMPLETION OF THE WORK DESCRIBED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY TAKING MEASUREMENTS AND IDENTIFY QUALITY OF MATERIAL OR EQUIPMENT, AND NOT TO MATERIALS OR EQUIPMENT OTHER THAN SPECIFIED, PRIOR WRITING APPROVAL FROM THE DESIGNER. MANUFACTURERS DIRECTIONS: ALL MANUFACTURERS ARTICLES, MATERIALS AND EQUIPMENT SHALL BE ERECTED, INSTALLED, AND CONDITIONED AS DIRECTED BY THE MANUFACTURER. WORK AND MATERIAL NOT SPECIFIED PROPER COMPLETION OF CONSTRUCTION UNDER THIS CONTRACT WHICH IS NOT SPECIFICALLY DESCRIBED SHALL BE PERFORMED IN A MANNER DEEMED GOOD PRACTICE COMMENSURATE WITH CLASS OF MATERIALS PERMITS FEES AND NOTICE THE OWNER WILL SECURE AND PAY FOR PERMITS RELATED TO HIS WORK. THE CONTRACTOR SHALL GIVE ALL NOTICES IN WRITING TO THE OWNER AND THE OWNER SHALL SECURE AND PAY FOR ALL OTHER PERMITS RELATED TO HIS WORK. CONTRACTOR SHALL GIVE ALL NOTICES IN WRITING TO THE OWNER AND THE OWNER SHALL SECURE AND PAY FOR ALL OTHER PERMITS RELATED TO HIS WORK. CONTRACTOR SHALL GIVE ALL NOTICES IN WRITING TO THE OWNER AND THE OWNER SHALL SECURE AND PAY FOR ALL OTHER PERMITS RELATED TO HIS WORK. CONTRACTOR SHALL GIVE ALL NOTICES IN WRITING TO THE OWNER AND THE OWNER SHALL SECURE AND PAY FOR ALL OTHER PERMITS RELATED TO HIS WORK.



PROPOSED PRE-CONSTRUCTION DRAINAGE  
SCALE: 1/8" = 1'-0"



PROPOSED POST-CONSTRUCTION DRAINAGE  
SCALE: 1/8" = 1'-0"



EROSION CONTROL MEASURES  
SCALE: 1/8" = 1'-0"



# FOUNDATION PLAN

2/8/2024  
VENKATESHWAR  
REDDY

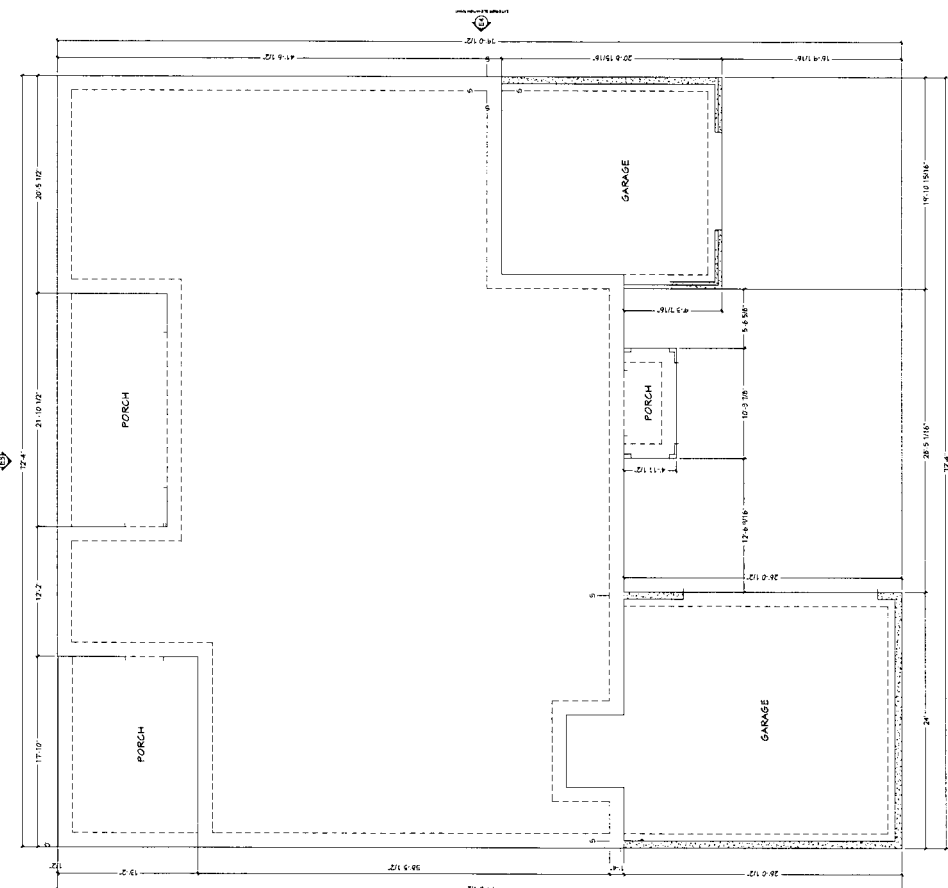
FLOOR	PLATE HEIGHT	8 FT.
UPSTAIRS	ROOF PITCH	4 / 8 - 12
MAIN	WDW HEIGHT	6 FT. 6 IN.
		6 FT. 6 IN.

3.116 SQ. FT. MAIN FLOOR AREA
2.204 SQ. FT. UPSTAIRS FLOOR AREA
1.525 SQ. FT. GARAGE FLOOR AREA
46.5 SQ. FT. FRONT CVD. PORCH AREA
46.5 SQ. FT. REAR CVD. PORCH AREA
213 SQ. FT. BALCONY AREA

SPEC:	D-09C / S-02
SCALE:	1/4" = 1'-0"
PAPER:	36 x 46
SHEET:	3

**GENERAL NOTES:**

THE EXAMINATION OF THE SITE SHALL BE LIMITED TO VISUAL OBSERVATION OF THE SITE AND EXAMINE FOR HIMSELF ALL CONDITIONS AFFECTING THE WORK. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MATERIALS AND LABOR AND MATERIALS NECESSARY TO PREPARE THE SITE FOR EXECUTION OF THIS PROJECT. DIMENSIONS, DO NOT SHOW ON DRAWINGS AND NOTIFY DESIGNER IN WRITING BEFORE PROCEEDING WITH WORK. ANY ERRORS, AMBIGUITIES AND OMISSIONS IN DRAWINGS AND SPECIFICATIONS SHALL BE CORRECTED BEFORE ANY PART OF THE WORK IS STARTED, UNLESS EXPRESSLY STIPULATED. NO ADDITIONAL CONTRACTORS WILL BE MADE AND/OR MANUFACTURERS, FAVOR BY VIRTUE OF ERRORS, AMBIGUITIES AND/OR OMISSIONS DISCOVERED DURING THE PREPARATION OF BID ESTIMATE AND DIRECTED TO THE DESIGNER ATTENTIONS IN A TIMELY MANNER. THE CONTRACTOR'S RESPONSIBILITY FOR PROPER COORDINATION AND COMPLETION OF THE WORK DESCRIBED HEREON SHALL BE THE CONTRACTOR'S. CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY TAKING MEASUREMENTS SPECIFICATIONS ON EXISTING CONDITIONS SHALL BE REFERRED TO THE DESIGNER FOR ADJUSTMENT BEFORE COMMENCED. MATERIALS WHEN REFERENCE IS MADE IN THE SPECIFICATIONS TO TRADE NAMES OR TO DESIGNATE AND IDENTIFY QUALITY OF MATERIAL OR EQUIPMENT, AND NOT TO CONTRACTOR'S WISHES TO USE MATERIALS OR EQUIPMENT OTHER THAN SPECIFIED, CONTRACTOR MUST OBTAIN WRITTEN APPROVAL FROM ARCHITECT. ALL MANUFACTURERS ARTICLES, MATERIALS AND EQUIPMENT TO BE ERRECTED, INSTALLED, CONNECTED, USED, AND MAINTAINED AND CONDITIONED AS DIRECTED BY THE MANUFACTURER'S WORK AND MATERIAL SPECIFICATIONS. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL BEFORE COMMENCING ANY NECESSARY OF CONSTRUCTION UNDER THIS CONTRACT WHICH IS NOT SPECIFICALLY EXEMPTED FROM THE REQUIREMENTS AND SPECIFICATIONS SHALL BE MADE IN A MANNER DEEMED GOOD PRACTICE IN COMMERCIAL CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTICES. THE OWNER WILL SECURE AND PAY FOR THE BUILDING PERMIT UNLESS OTHERWISE STATED. CONTRACTOR SHALL SECURE AND PAY FOR ALL OTHER PERMITS RELATED TO HIS WORK. THE CONTRACTOR SHALL GIVE ALL NOTICES IN WRITING TO THE ARCHITECT AND ARCHITECT'S REPRESENTATIVE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PROJECT. CONTRACTOR SHALL MAINTAIN INSURANCE THROUGHOUT THE PROJECT. CONTRACTOR SHALL MAINTAIN PROPER INSURANCE BUILDING CONTRACTOR'S LIABILITY INSURANCE, SUGGESTS STRUCTURAL, MECHANICAL, CIVIL, ELECTRICAL AND PLUMBING WORK NEEDS TO BE REVIEWED AND/OR APPROVED BY ARCHITECT BEFORE EACH AREA. ALL CHANGES IN THE DOCUMENTS ARE TO BE DOCUMENTED BY MEMO, FIELD ORDER OR CHANGE ORDER. ALL CHANGES MUST BE SIGNED BY OWNER AND ALL CONTRACTORS SHALL EFFECT AND MAINTAIN PROPER INSURANCE BUILDING CONTRACTOR'S LIABILITY INSURANCE, SUGGESTS STRUCTURAL, MECHANICAL, CIVIL, ELECTRICAL AND PLUMBING WORK IS BY THE ARCHITECT. CONTRACTOR SHALL MAINTAIN PROPER INSURANCE THROUGHOUT THE PROJECT. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PROJECT. CONTRACTOR SHALL MAINTAIN PROPER INSURANCE BUILDING CONTRACTOR'S LIABILITY INSURANCE, SUGGESTS STRUCTURAL, MECHANICAL, CIVIL, ELECTRICAL AND PLUMBING WORK IS BY THE ARCHITECT. CONTRACTOR SHALL MAINTAIN PROPER INSURANCE THROUGHOUT THE PROJECT. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PROJECT. CONTRACTOR SHALL MAINTAIN PROPER INSURANCE BUILDING CONTRACTOR'S LIABILITY INSURANCE, SUGGESTS STRUCTURAL, MECHANICAL, CIVIL, ELECTRICAL AND PLUMBING WORK IS BY THE ARCHITECT.

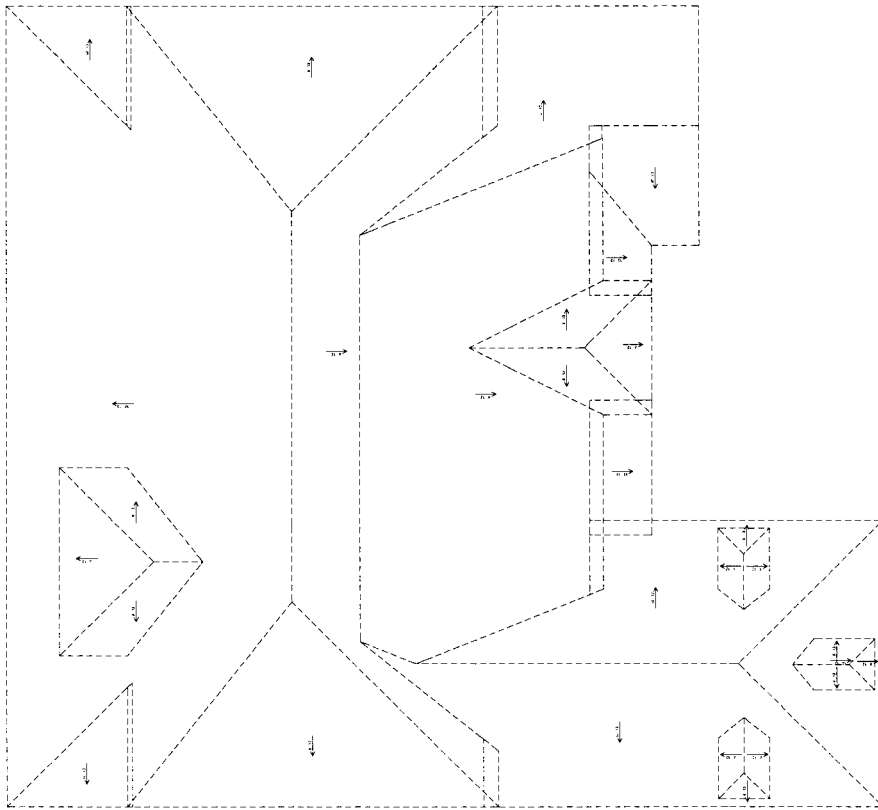


FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

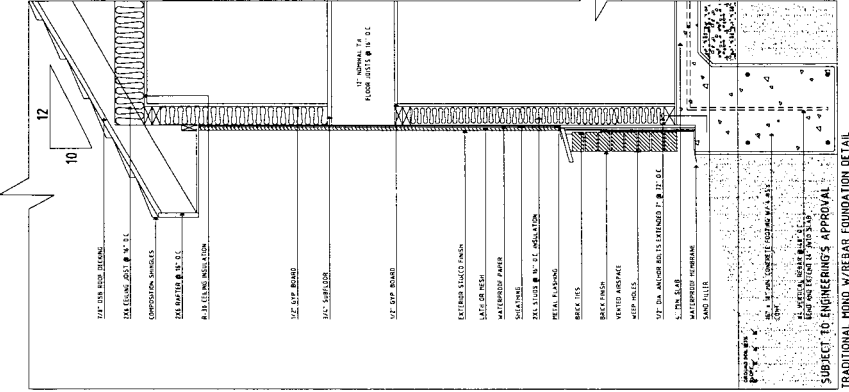








5.1  
WALL SECTION DETAILS  
SCALE: 1/12" = 1'-0"



**GENERAL NOTES:**  
 THE EXAMINATION OF THE SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL FURNISH ALL NECESSARY INFORMATION TO THE DESIGNER. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ROADS AND DRIVEWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ROADS AND DRIVEWAYS.

**REDDY**  
VENKATESHWAR  
2/8/2024

**ROOF PLAN**

**TIMBER RIDGE**

**OVERALL PLAN DETAILS**

FLOOR	PLATE HEIGHT	ROOF PITCH	WDM HEIGHT
UPSTAIRS	8 FT.	4 / 8 / 12	6 FT. 8 IN.
MAIN	10 FT.	3 / 10 / 12	6 FT. 8 IN.

**SQUARE FOOTAGE**

2.118 SQ. FT. MAIN FLOOR AREA
2.204 SQ. FT. UPSTAIRS FLOOR AREA
1.026 SQ. FT. GARAGE FLOOR AREAS
46.1 SQ. FT. REAR CORD PORCH AREAS
46.1 SQ. FT. FRONT CORD PORCH AREAS
213.50 SQ. FT. BALCONY AREA

**SPEC:** P-04C / S-02

**SCALE:** 1/4" = 1'-0"

**PAPER:** 36 x 48

**SHEET:** 6

**ROOF NOTES:**  
 ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER. ALL ROOF FRAMING 24" O.C. ALL OVERHANGS ARE 16" UNLESS SPECIFIED.



