

**TULSA METROPOLITAN AREA PLANNING COMMISSION**

175 East 2nd St, Suite 480 - Tulsa, OK 74103 - (918) 596-7526 - tulsaplanning.org

Submit applications to [planning@cityoftulsa.org](mailto:planning@cityoftulsa.org)

**SUBDIVISION PLAT**                       **MINOR SUBDIVISION PLAT**

**APPLICATION INFORMATION**

RECEIVED BY: NE DATE FILED: 11/2/2023 PLAT NAME: MAYBELLE VILLAS  
IDP #81983-2020 (Z-7506)

SUBDIVISION PLAT SCHEDULE		REFERENCE CASES	
PUBLIC AGENCY REVIEW:	11/16/2023	ZONING/PUD/CO CASE:	
		TMAPC DATE:	
TMAPC:	12/6/2023	BOA CASE:	
		BOA DATE:	

**SUBJECT PROPERTY INFORMATION**

ADDRESS OR DESCRIPTIVE LOCATION: 8155 S MAYBELLE AVE W TRACT SIZE: 16 ± acres

LEGAL DESCRIPTION: SEE ATTACHED


PRESENT USE: PARTIALLY DEVELOPED UNDER IDP #81983-2020 PRESENT ZONING: RS-3 T-R-S: 19-12-01 COUNCIL DISTRICT: 1  
 WATER SUPPLY: COT SANITARY SEWER: COT  
 ELECTRIC: AEP/PSO GAS: ONG PHONE: AT&T TV: COX SCHOOL DISTRICT: \_\_\_\_\_

**INFORMATION ABOUT YOUR PROPOSAL**

PROPOSED USE: \_\_\_\_\_  
Single-family residential development

PROPOSED ZONING: N/A LOTS PROPOSED: 59 BLOCKS PROPOSED: 7

APPLICANT INFORMATION		PROPERTY OWNER INFORMATION	
NAME	<u>Mike Thedford</u>	NAME	<u>Glenn Shaw Shaw Homes</u>
ADDRESS	<u>123 North Martin Luther King, Jr. Blvd.</u>	ADDRESS	<u>1420 West Kenosha</u>
CITY, ST, ZIP	<u>Tulsa, OK. 74103</u>	CITY, ST, ZIP	<u>Broken Arrow, Oklahoma 74012</u>
DAYTIME PHONE	<u>918.584.5858</u>	DAYTIME PHONE	<u>918.258.6161</u>
EMAIL	<u>mike.thedford@wallace.design</u>	EMAIL	<u>gshaw@shawhomes.com</u>

I, THE UNDERSIGNED APPLICANT, CERTIFY THAT THE INFORMATION ON THIS APPLICATION IS TRUE AND CORRECT.  
 SIGNATURE & DATE:  11/2/23

DOES OWNER CONSENT TO THIS APPLICATION  YES  NO

WHAT IS APPLICANT'S RELATIONSHIP TO OWNER? CONSULTANT

APPLICATION FEES (Make checks payable to City of Tulsa)		PRELIMINARY PLAT DISPOSITION
PRELIMINARY PLAT FEE:	<u>\$1,200</u>	TMAPC ACTION: <input type="checkbox"/> APPROVED <input type="checkbox"/> DENIED
FINAL PLAT FEE:	\$900	DATE/VOTE:
MINOR PLAT FEE:	\$650	CONDITIONS:
<b>TOTAL AMOUNT DUE:</b>	<b>\$ 1,200</b>	
RECEIPT NUMBER:		

Application fees in whole or part will not be refunded after notification has been given.

**SUBMITTAL REQUIREMENTS:**

Checklists for all submittals are available at [tulsaplanning.org](http://tulsaplanning.org).

**Preliminary Plats** – Application, Checklist, 4 folded full-size copies & PDF of plat, deed of dedication, and Conceptual Improvement Plan

**Draft Final Plats** – 4 folded full-size copies & PDF

**Final Plats for Signatures** – 8-10 rolled full-size copies, fully executed by owner, surveyor, and engineer

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## SUBDIVISION PRE-APPLICATION REVIEW

### PROJECT INFORMATION

Subdivision Location: 8155 S MAYBELLE AVE W  
Acreage: 16 Number of Lots: 59 Project Name: MAYBELLE VILLAS  
Owner of Property: Shaw Homes(Glenn Shaw)  
Person Requesting Review: N/A Date: \_\_\_\_\_

### COMPREHENSIVE PLAN STATUS

LAND USE DESIGNATION: Neighborhood

The property  CONFORMS [ ] DOES NOT CONFORM to the Major Street and Highway Plan.

### ZONING AND PLATTING

The property is currently zoned RS-3  
The proposed use of Single-family residential  WOULD or [ ] WOULD NOT conform to the zoning district classification.  
Minimum lot size required: 6,900 (detached house)  
Is the property is located within an approved development plan?  YES [ ] NO  
If yes, does the project conform to all development standards?  YES [ ] NO  
Is there a Rezoning or Board of Adjustment case pending on the site? [ ] YES  NO Case number: Z-7506  
When are the anticipated TMAPC and City Council, or Board of Adjustment meeting dates? N/A

### INFRASTRUCTURE NEEDS

A brief summary of major infrastructure to be provided and by whom:

Streets Developer - IDP #81983-2020  
Water Developer - IDP #81983-2020  
Sewer Developer - IDP #81983-2020  
Storm Water/Drainage Developer - IDP #81983-2020  
Park and Trail Dedications N/A

### Please consider the items in this Pre-Application Review carefully.

This conceptual pre-development review is not intended to be all-inclusive, but rather to address the major development criteria, which should be thoroughly studied as development plans progress. Relevant Federal and State Statutes, as well as TMAPC Subdivision Regulations, Design Criteria, Zoning Codes, and other relevant local codes and policies should be reviewed and incorporated into future plans.

Contact the Tulsa Planning Office if you have questions about the development process in the City Tulsa:  
918-596-5726, [planning@cityoftulsa.org](mailto:planning@cityoftulsa.org).

## **SUBDIVISION PLAT PROCESS**

### **MEETING SCHEDULE**

**Public Agency Review (PAR) Date (Preliminary plats): Thursday, \_\_\_\_\_ 1:30 p.m.**

**Large Conference Room, 8th Floor, INCOG, 2 West 2nd Street**

**Tulsa Metropolitan Area Planning Commission (TMAPC) Date (Preliminary plats): Wednesday, \_\_\_\_\_ 1:30 p.m.**

**Tulsa City Council Room, 2nd Level, One Technology Center, 175 East 2nd Street**

### **PRELIMINARY PLAT PROCESS**

1. Applicant submits preliminary plat/covenants, conceptual improvements plan, completed application, and fees. Plat is scheduled for PAR meeting and TMAPC public hearing.
2. Staff distributes preliminary plat to PAR members for review.
3. Applicant, staff, and PAR members meet to review requirements for approval of preliminary plat.
4. TMAPC holds public hearing to consider approval of preliminary plat. Approval of a preliminary plat expires after one year.

### **FINAL PLAT PROCESS**

1. Applicant prepares "draft final" plat in accordance with all TMAPC and PAR requirements of preliminary plat approval. Staff will review and stamp "Draft Final" and digitally stamp "Draft Final" PDF submittal.
2. If revisions are made after the first "draft final" plat submittal, new plats shall be submitted and clearly identify all revisions on the face of the plat and in the covenants by either clouding or shading. There shall be a clear identifying mark (usually a small triangle) containing a revision number attached to each clouded or shaded item and a table of revision numbers and revision dates. In addition, a brief description of the nature of the revision should be included in the table.
3. Applicant distributes "draft final" for release as follows: 1 copy - TMAPC staff; 2 copies - Development Services; PDF – Utility Providers
4. Release letters are required from the following: City of Tulsa Development Services OR County Engineer, water and sanitary sewer service providers; City Legal Department (if property is within the city limits of Tulsa); electric, gas, telephone and TV utility service providers. Release letters shall indicate the latest revision date for which the plat is being released.
5. Revisions submitted subsequent to being released shall be reviewed and released again. TMAPC staff must have the latest final plat incorporating all of the revisions before placing on the agenda for approval by the Planning Commission.
6. Staff will schedule "draft final" plat for TMAPC approval after we receive all release letters and have confirmed that the release letters pertain to the latest revised version of the plat. Submittals required per Section 3.6.5 of the Subdivision Regulations must be received before the Final Plat is considered by TMAPC.
7. TMAPC considers approval of final plat.
8. Applicant submits final recordable documents with original notarized signatures to TMAPC staff.
9. Staff obtains signatures from TMAPC, City Attorney, City Engineering, Mayor and City Council.
10. Staff returns final signed documents to applicant for filing with the County Clerk. Final documents must be filed within one year of TMAPC final plat approval. One filed paper copy and the 2 required electronic discs are delivered to staff.

**SUBDIVISION STATISTICS**  
SUBDIVISION CONTAINS 59 (FIFTY-NINE) LOTS IN 7 (SEVEN) BLOCKS AND 4 (FOUR) RESERVES.

SUBDIVISION CONTAINS 698,096.93 SQUARE FEET OR 16.03 ACRES.

**MONUMENTATION**  
SET 3/8" IRON PIN W/ GREEN "FRITZ CA5848" CAP OR MAG NAIL W/ "FRITZ CA5848" WASHER AT ALL CORNERS UNLESS NOTED AND SHOWN OTHERWISE HEREON.

**BENCHMARK**  
BENCHMARK #1  
CUT "X" IN CONCRETE  
N: 385730.9289; E: 2558922.4160  
ELEVATION: 683.53'

**BASIS OF BEARINGS**  
HORIZONTAL DATUM BASED UPON NAD 83 (1993) OKLAHOMA STATE PLANE COORDINATE SYSTEM NORTH ZONE 3501 VERTICAL DATUM BASED UPON NAVD 88 USING S 01°05'12" E AS THE WEST LINE OF THE NE/4 OF SECTION 14, TOWNSHIP 18 NORTH, RANGE 12 EAST OF THE INDIAN BASE AND MERIDIAN AS THE BEARING FOR THIS SURVEY.

**ADDRESSES**  
ADDRESS SHOWN ON THIS PLAT WERE ACCURATE AT THE TIME THIS PLAT WAS FILED. ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF LEGAL DESCRIPTION.

**NOTES**  
THIS PLAT MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS

WE HAVE EXAMINED A MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, CITY OF TULSA, MAP NO. 4014303042L AND 40143030361L - OCTOBER 16, 2012, WHICH INDICATES THE SUBJECT PROPERTY TO BE WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

**AVIGATION NOTICE**  
NOTICE IS HEREBY GIVEN THAT OWNERS AND USERS OF AIRCRAFT OF ALL TYPES OPERATE ON A FREQUENT BASIS IN THE AIRSPACE ABOVE THIS PLAT OF LAND, SAID AIRCRAFT, WHEN OPERATED IN A LAWFUL MANNER, ARE ALLOWED FREE AND UNOBSTRUCTED PASSAGE IN THE AIRSPACE ON, UPON, OVER, ACROSS, ADJACENT TO, ABOVE AND IN THE VICINITY OF THIS PLAT OF LAND. THE LAWFUL OPERATION OF AIRCRAFT IS KNOWN TO GENERATE NOISE, VIBRATION, AND OTHER EFFECTS AS MAY BE INHERENT IN THE OPERATION OF OR FLIGHT OR PASSAGE IN AND THROUGH SAID AIRSPACE WHICH RESULT DIRECTLY OR INDIRECTLY FROM THE OPERATIONS OF AIRCRAFT OR THE AIRPORT, NOW AND IN THE FUTURE, INCLUDING BUT NOT LIMITED TO, GROUND AND FLIGHT OPERATIONS OF AIRCRAFT AT, OVER, ON OR IN THE VICINITY OF THE AIRPORT, AND REGARDLESS OF WHETHER ARRIVING, DEPARTING, MANEUVERING, OR EN ROUTE, AND IT MUST BE FURTHER RECOGNIZED THAT ALL SUCH OPERATIONS MAY INCREASE IN THE FUTURE.

NOTICE IS ALSO GIVEN THAT RULES AND REGULATIONS DEFINED IN FEDERAL AVIATION REGULATIONS (FARs), INCLUDING BUT NOT LIMITED TO FAR PART 77, MAY LIMIT THE HEIGHT OF BUILDINGS, STRUCTURES, POLES, TREES OR OTHER OBJECTS WHETHER NATURAL OR OTHERWISE, LOCATED OR TO BE LOCATED ON PROPERTY WITHIN THIS PLAT OF LAND AND MAY REQUIRE, PRIOR TO CONSTRUCTION, THE SUBMISSION OF AN APPLICATION AS MAY BE REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION TO ENSURE THAT THE SAFE OPERATION OF AIRCRAFT IS NOT IMPACTED BY SAID OBJECT.

**LEGAL DESCRIPTION**  
A TRACT OF LAND THAT IS PART OF THE NORTH HALF OF THE NORTHEAST QUARTER (N/2 NE/4) OF SECTION FOURTEEN (14), TOWNSHIP EIGHTEEN (18) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE NE/4 OF SAID SECTION 14; THENCE SOUTH 01°05'12" EAST ALONG THE WEST LINE OF THE NE/4 A DISTANCE OF 689.37 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88°54'16" EAST 1597.45 FEET; THENCE SOUTH 01°02'03" EAST 437.42 FEET TO A POINT ON THE SOUTH LINE OF THE NE/4 OF THE NE/4 OF SAID SECTION 14; THENCE SOUTH 88°55'52" WEST ALONG SAID SOUTH LINE 1597.05 FEET TO THE WEST LINE OF THE NE/4 OF SECTION 14; THENCE NORTH 01°05'12" WEST ALONG SAID WEST LINE 436.67 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS 698,096.93 SQUARE FEET OR 16.03 ACRES.

**ADDITIONAL NOTE (\*):**  
WEST 82ND PLACE AND S GUTHRIE PLACE RIGHT-OF-WAYS ARE NOT INTENDED TO BE A PERMANENT DEAD-END STREET. IT IS PLATTED WITH THE INTENT OF BEING EXTENDED AND CONNECTED TO STREETS THAT MAY BE BUILT IN THE FUTURE, THEREBY PROVIDING ACCESS TO AND FROM ADJUTING PROPERTIES.

**OKLAHOMA NATURAL GAS NOTE:**  
ONG'S EASEMENT(S) RECORDED IN BOOK 4411 PAGE 1765 REMAIN IN FULL FORCE AND EFFECT. ONG'S EASEMENT(S) PREPARE THE RIGHT-OF-WAY DEDICATION IN THIS PLAT AND MAY PROHIBIT OR LIMIT CERTAIN USES OF ONG'S RIGHT-OF-WAY, INCLUDING PAVING, OTHER UTILITY LINES, AND PERMANENT STRUCTURES, WITHOUT ONG'S PRIOR WRITTEN CONSENT.

# PRELIMINARY Maybelle Villas

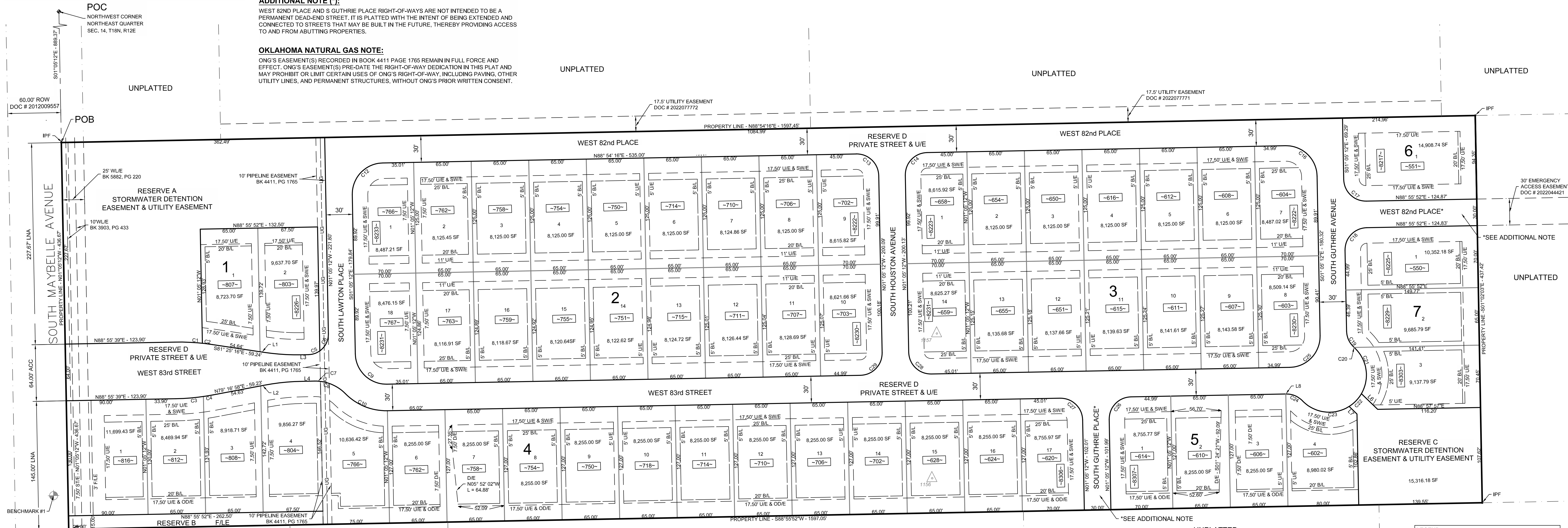
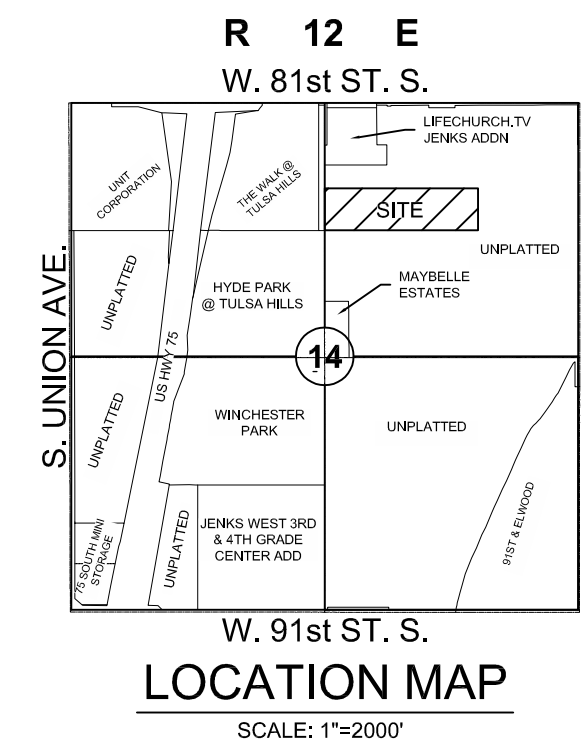
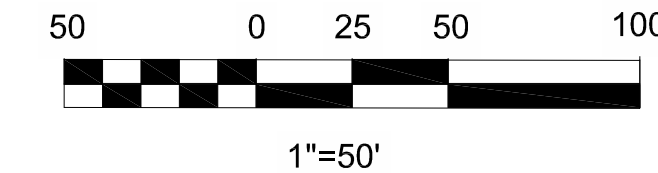
OPTIONAL DEVELOPMENT PLAN Z-7506

A TRACT OF LAND THAT IS PART OF THE NORTH HALF OF THE NORTHEAST QUARTER (N/2 NE/4) OF SECTION FOURTEEN (14), TOWNSHIP EIGHTEEN (18) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA

**OWNER:**  
Shaw Homes, Inc.  
and  
Shaw Homes Oklahoma, Inc.  
1420 W. Kenosha St.  
Broken Arrow OK 74012  
CONTACT: Glenn Shaw  
PHONE: 918.258.51619

**ENGINEER:**  
Wallace Design  
Collective, PC  
123 North Martin Luther King Jr Blvd.  
Tulsa, Oklahoma, 74103  
Phone: (918) 584-5858  
A. NICOLE WATTS, P.E. NO. 21511  
OK CA NO. 1460, EXPIRES 6/30/2025  
nwatts@wallacesc.com

**SURVEYOR:**  
Fritz Land Surveying, LLC  
2020 W 91st Street  
Tulsa, Oklahoma 74132  
Phone: (918) 231-0575  
OK CA NO. CA 5848, EXPIRES 6/30/2024  
ANDY FRITZ, OK LICENSE 1694  
fritzlandsurveying@gmail.com



CURVE TABLE													
CURVE #	LENGTH (FT)	RADIUS (FT)	DELTA	CHORD BEARING	CHORD LENGTH (FT)	CURVE #	LENGTH (FT)	RADIUS (FT)	DELTA	CHORD BEARING	CHORD LENGTH (FT)	CURVE #	LENGTH (FT)
C1	31.18	252.00	7°	S87° 31' 28"E	31.16	C11	NOT USED					C21	57.18
C2	11.26	252.00	3°	S82° 42' 03"E	11.25	C12	54.97	35.00	90°	S43° 54' 32"W	49.49	C22	20.19
C3	31.18	252.00	7°	N85° 23' 12"E	31.16	C13	39.27	25.00	90°	S46° 05' 28"E	35.36	C23	57.55
C4	11.26	252.00	3°	N80° 33' 45"E	11.26	C14	39.27	25.00	90°	N43° 54' 32"E	35.35	C24	20.79
C5	13.82	23.00	34°	N71° 42' 49"E	13.62	C15	NOT USED					C25	54.99
C6	22.31	23.00	56°	N26° 42' 16"E	21.45	C16	54.98	35.00	90°	S46° 05' 28"E	49.50	C26	39.28
C7	6.79	48.00	8°	S87° 00' 50"E	6.79	C17	39.26	25.00	90°	S46° 04' 40"E	35.35	C27	39.26
C8	32.04	48.00	38°	S63° 50' 22"E	31.44	C18	39.28	25.00	90°	S43° 55' 20"W	35.36	C28	39.26
C9	54.97	35.00	90°	S46° 04' 40"E	49.49	C19	20.63	24.99	47°	S24° 43' 26"E	20.05	C29	39.28
C10	52.58	65.00	46°	S67° 53' 40"E	51.16	C20	0.37	42.00	1°	S48° 06' 31"E	0.37		

LINE TABLE		
LINE NO.	LENGTH (FT)	BEARING
L1	4.60	S81° 25' 16"E
L2	2.30	N79° 16' 58"E
L3	8.40	N88° 55' 52"E
L4	14.63	N88° 55' 52"E
L5	NOT USED	
L6	25.46	S46° 04' 40"E
L7	12.29	S46° 04' 40"E
L8	0.16	S88° 55' 52"W

FINAL PLAT  
ENDORSEMENT OF APPROVAL

**Tulsa Metropolitan Area Planning Commission**

Approval Date: \_\_\_\_\_ CHAIR

\_\_\_\_\_ MAYOR

CITY ENGINEER

**Council of the City of Tulsa, Oklahoma**

Approval Date: \_\_\_\_\_ CITY ATTORNEY

The approval of the Final Plat will expire one year from the date of City Council approval if not filed in the Office of the County Clerk before that date.

**CERTIFICATE**

I hereby certify that all real estate taxes involved in this plat have been paid as reflected by the current tax rolls. Security as required has been provided in the amount of \$\_\_\_\_\_ per trust receipt no. \_\_\_\_\_ to be applied to 20\_\_\_\_\_ taxes. This certificate in NOT to be construed as payment of 20\_\_\_\_\_ taxes in full but is given in order that this plat may be filed on record. 20\_\_\_\_\_ taxes may exceed the amount of the security deposit.

Dated: \_\_\_\_\_  
JOHN M. FOTHERGILL  
Tulsa County Treasurer

By: \_\_\_\_\_ Deputy

LEGEND		
AC	ACRES	
B/L	BUILDING LINE	
BK PG	BOOK & PAGE	
D/E	DRAINAGE EASEMENT	
ESMT	EASEMENT	
F/L/E	FENCE & LANDSCAPE EASEMENT	
LNA	LIMITS OF NO ACCESS	
POB	POINT OF BEGINNING	
POC	POINT OF COMMENCEMENT	
ROW	RIGHT OF WAY	
OD/E	OVERLAND DRAINAGE EASEMENT	
SW/E	SIDEWALK EASEMENT	
ST/E	STORM SEWER EASEMENT	
U/E	UTILITY EASEMENT	
W/L/E	WATERLINE EASEMENT	

SURVEY CONTROL DATA		
STATION	COORDINATES	DESCRIPTION
△ 1156	N: 385750.620 E: 2559914.898	3/8" IRON PIN ELEVATION = 693.222
△ 1157	N: 385914.113 E: 2559920.207	3/8" IRON PIN ELEVATION = 690.256



DEED OF DEDICATION  
**Maybelle Villas**

A TRACT OF LAND THAT IS PART OF THE NORTH HALF OF THE NORTHEAST QUARTER (N/2 NE/4) OF SECTION  
FOURTEEN (14), TOWNSHIP EIGHTEEN (18) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN,  
TULSA COUNTY, STATE OF OKLAHOMA

IN WITNESS WHEREOF: SHAW HOMES INC & SHAW HOMES OKLAHOMA INC, BOTH OKLAHOMA  
CORPORATIONS, EXECUTED THIS INSTRUMENT THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

SHAW HOMES INC & SHAW HOMES OKLAHOMA INC

BY: \_\_\_\_\_

NAME: \_\_\_\_\_

TITLE: PRESIDENT OF SHAW HOMES

ACKNOWLEDGMENT )

STATE OF OKLAHOMA ) SS:

COUNTY OF TULSA)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

BY \_\_\_\_\_ AS PRESIDENT OF SHAW HOMES INC & SHAW HOMES OKLAHOMA INC

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION NO: \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

[SEAL]

CERTIFICATE OF SURVEY

I, \_\_\_\_\_ OF \_\_\_\_\_ FRITZ LAND SURVEYING, A LICENSED PROFESSIONAL LAND SURVEYOR  
REGISTERED IN THE STATE OF OKLAHOMA, HEREBY CERTIFY THAT I HAVE CAREFULLY AND ACCURATELY  
SURVEYED, SUBDIVIDED, AND PLATTED THE TRACT OF LAND DESCRIBED ABOVE, AND THAT THE  
ACCOMPANYING PLAT DESIGNATED HEREIN AS "MAYBELLE VILLAS", A SUBDIVISION IN THE CITY OF  
TULSA, TULSA COUNTY, STATE OF OKLAHOMA, IS A REPRESENTATION OF THE SURVEY MADE ON THE  
GROUND USING GENERALLY ACCEPTED LAND SURVEYING PRACTICES AND MEETS OR EXCEEDS THE  
OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED.

WITNESS MY HAND AND SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

\_\_\_\_\_  
LICENSED PROFESSIONAL LAND SURVEYOR

ACKNOWLEDGMENT )

STATE OF OKLAHOMA ) SS:

COUNTY OF TULSA)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

BY \_\_\_\_\_ AS \_\_\_\_\_ OF FRITZ LAND SURVEYING

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION NO: \_\_\_\_\_

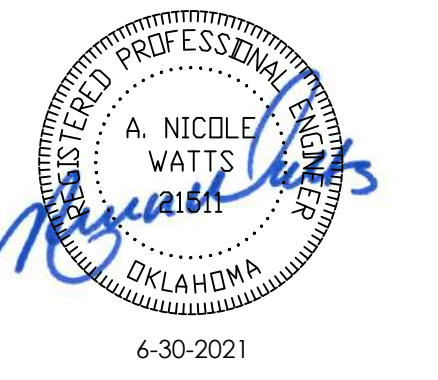
MY COMMISSION EXPIRES: \_\_\_\_\_

[SEAL]



ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF TULSA STANDARDS AND SPECIFICATIONS (INCLUDING O.D.O.T. 2019 EDITION)

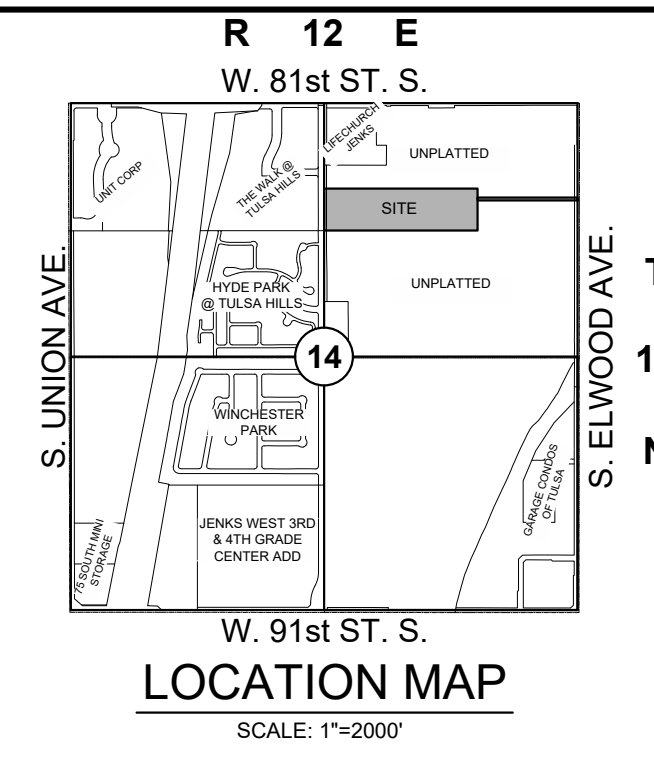
MAYBELLE VILLAS  
TULSA, OKLAHOMA



ISSUE LOG table with columns: #, DATE, DESCRIPTION

Scale information: HORT SCALE 1"= 80', VERT SCALE N/A, IDP NO. 81983-2020, ATLAS NO. 887, MANAGER ANW, DRAWN BY ASB

COVER SHEET  
GE01  
1 OF 46



Civil Plans  
for  
**Maybelle Villas**  
IDP NO. 81983-2020

THE SOUTH FIVE (5) ACRES OF THE WEST TEN (10) ACRES OF THE SOUTH TWENTY-SIX AND 2/3 (26 2/3) ACRES OF THE NORTH HALF OF THE NORTHEAST QUARTER (N/2 NE/4) OF SECTION 14, TOWNSHIP 18 NORTH, RANGE 12 EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEROF.

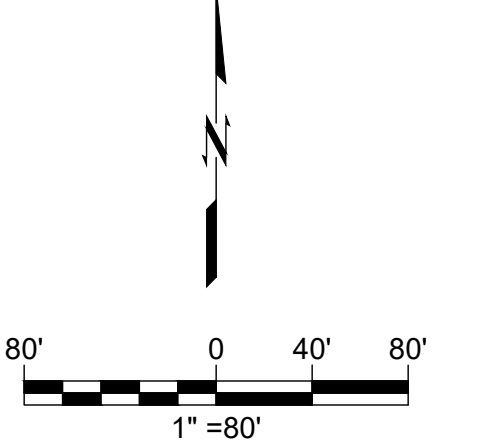
- General Construction Notes:
1. ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY STANDARDS AND SPECIFICATIONS.
2. EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN AND LOCATIONS HAVE BEEN VERIFIED BY THE OWNERS OF SAID LINES...

Engineering Statement
BY MY SIGNATURE ON THESE CONSTRUCTION DOCUMENTS, I HEREBY CERTIFY THAT I AM FAMILIAR WITH THE ADOPTED ORDINANCES AND REGULATIONS OF THE CITY OF TULSA GOVERNING THIS IDP...

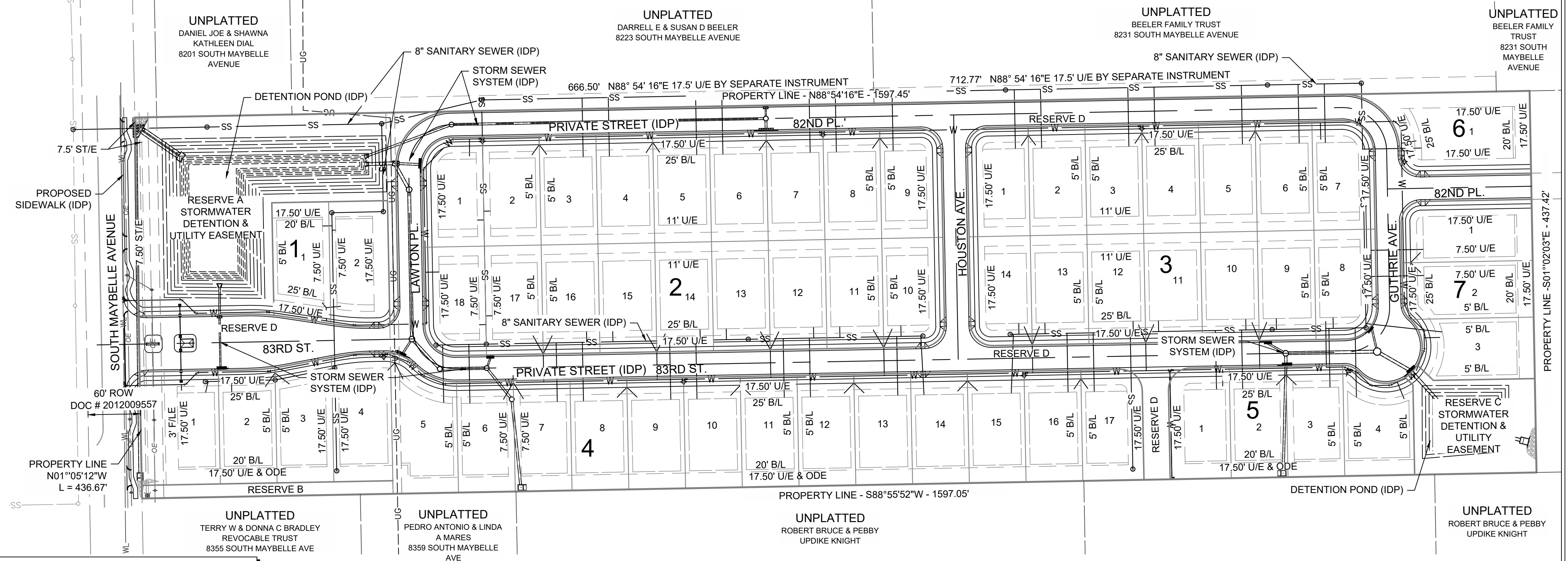
Right of Way Construction Permit
BEFORE BLOCKING ANY LANE OF TRAFFIC, ANY SIDEWALK OR ANY PARKING METER OR BEFORE CUTTING ANY STREET, SIDEWALK, OR ALLEY YOU MUST FIRST APPLY FOR AND BE GRANTED A RIGHT OF WAY CONSTRUCTION PERMIT...

- Contact List
WALLACE DESIGN COLLECTIVE: NICOLE WATTS, 123 NORTH MARTIN LUTHER KING JR. BOULEVARD, TULSA, OK 74013
AEP/PSO: KATHY BLEVINS, 212 EAST 6TH STREET, TULSA, OK 74102
SBC TELEPHONE COMPANY: STEVE SPRADLIN, 5305 EAST 71ST ST, TULSA, OK 74136

OWNER: Maybelle Estates, LLC
ENGINEER: Wallace Design Collective, PC
SURVEYOR: Fritz Land Surveying, LLC



Sheet Index table with columns: IDP INDEX, SHEET NO., SHEET TITLE. Lists sheets GE01 through GE11 and PW01 through PW09.



Legend table listing symbols for various features: AC ACRE, BIL BUILDING LINE, BM BENCH MARK, CHBS CHISELED BOX, SET, CL CENTERLINE, CO SEWER CLEAN-OUT, CONC CONCRETE, CYP CORRUGATED POLYPROPYLENE PIPE, E CUBIC YARD, EL ELEVATION, EPED ELECTRIC PEDESTAL, ESMT EASEMENT, EX EXISTING, FH FIRE HYDRANT, FL FLOWLINE (INVERT), FNC FENCE, FND FOUND, FP FIRE PROTECTION, G GUTTER, GM GAS LINE, GU GAS METER, GUY GUY ANCHOR, HP HIGH-PERFORMANCE POLYPROPYLENE PIPE, IP IRON PIN, IPF IRON PIN FOUND, IPS IRON PIN SET, IRR IRRIGATION, IRC IRRIGATION CONDUIT, LF LINEAR FEET, MAE MUTUAL ACCESS EASEMENT, OHE OVERHEAD ELECTRIC, OT OVERHEAD TELEPHONE, PP POWER POLE, PPD POWER POLE WITH DIP, PVC POLYVINYL CHLORIDE PIPE, RA RESERVE AREA, R RADIUS, RCP REINFORCED CONCRETE PIPE, RD ROOF DRAIN, RWE RESTRICTED WATERLINE EASEMENT, SD STORM SEWER PIPE, SDMH SANITARY SEWER MANHOLE, SS SANITARY SEWER PIPE, SSMH SANITARY SEWER MANHOLE, STW STORM SEWER, STWE STORM SEWER EASEMENT, SY SQUARE YARD, TC TOP OF CURB, TG TOP OF GUTTER, TP TOP OF PAVING, TPED TELEPHONE PEDESTAL, TW TOP OF SIDEWALK, TY TYPICAL, UE UTILITY EASEMENT, UG UNDERGROUND ELECTRIC, UG UNDERGROUND TELEPHONE, W WATER LINE, WLE WATER LINE EASEMENT, WM WATER METER, WMH WATER MANHOLE, WSL WATER SERVICE LINE, WV WATER VALVE, XFR TRANSFORMER

IDP Description
THE FOLLOWING ARE IN EASEMENTS & RESERVE AREAS TO SERVE THE SUBJECT PROPERTY (IDP 81983-2020):
- STREETS
- WATERMAIN EXTENSION
- STORM SEWER
- SIDEWALKS & ADA RAMPS

LEGAL DESCRIPTION
A TRACT OF LAND THAT IS PART OF THE NORTH HALF OF THE NORTHEAST QUARTER (N/2 NE/4) OF SECTION FOURTEEN (14), TOWNSHIP EIGHTEEN (18) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF THE NE/4 OF SAID SECTION 14; THENCE SOUTH 01°05'12" EAST ALONG THE WEST LINE OF THE NE/4 A DISTANCE OF 889.37 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88°54'16" EAST 1597.45 FEET; THENCE SOUTH 01°02'03" EAST 437.42 FEET TO A POINT ON THE SOUTH LINE OF THE N/2 OF THE NE/4 OF SAID SECTION 14; THENCE SOUTH 88°55'52" WEST ALONG SAID SOUTH LINE 1597.05 FEET TO THE WEST LINE OF THE NE/4 OF SECTION 14; THENCE NORTH 01°05'12" WEST ALONG SAID WEST LINE 436.67 FEET TO THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINS 16.03 ACRES.

ADS Benchmark Location table with columns: STATION, COORDINATES, DESCRIPTION. Includes station TBG0023.

ADS Benchmark Location table with columns: STATION, COORDINATES, DESCRIPTION. Includes station GPS 1.

Impervious Area table with columns: CATEGORY, AREA. Lists Total Site Area, Total Disturbed Area, Existing Impervious Area, Proposed Impervious Area, and Net Increase.

Fire Access Note
OFFSITE EMERGENCY ACCESS EASEMENT FOR SECONDARY FIRE ACCESS FOR THIS PROPERTY WILL BE PROVIDED PRIOR TO FINAL PLAT APPROVAL.
APPROVED FOR IDP PERMIT ONLY
MICHAEL LING, PE DATE
INFRASTRUCTURE DEVELOPMENT MANAGER CITY OF TULSA

ORIG SIZE: 22"x34"
PLOT: 16/30/2021 12:16:26 PM
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ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF TULSA STANDARDS AND SPECIFICATIONS (INCLUDING O.D.O.T. 2019 EDITION)

**Grading Notes**

- ALL GRADING SHALL MEET OR EXCEED THE CITY CONSTRUCTION STANDARDS AND MUNICIPAL POLICY.
- THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
- TOPSOIL SHALL BE STRIPPED TO A DEPTH WHERE SOIL IS FREE OF ROOTS AND VEGETATION.
- SUBGRADE STABILIZATION SHALL BE AT THE DIRECTION OF THE ENGINEER, OR AS SPECIFIED IN SUBSURFACE GEOTECHNICAL REPORT.
- CIVIL ENGINEER WILL NOT INTERPRET SOILS REPORTS OR ACCEPT RESPONSIBILITY FOR ALTERNATIVE METHODS PROPOSED BY THE CONTRACTOR.
- UNDERCUTTING OF SOFT SPOTS AND PLACEMENT OF EARTHWORK IS GOVERNED FIRST BY THE GEOTECHNICAL REPORT. OBSERVATION AND TESTING SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER TO VERIFY THAT THE SOFT SPOTS ARE PROPERLY OVEREXCAVATED AND REPLACED OR STABILIZED.
- CONTRACTOR SHALL PROVIDE WATER AS REQUIRED TO OBTAIN SPECIFIED COMPACTION.
- STRIPPING, PROOFROLLING, SUBGRADE SCARIFICATION AND COMPACTION, AND FILL CONSTRUCTION IN THE BUILDING AND PAVING AREAS SHALL BE PERFORMED ACCORDING TO THE SUBSURFACE GEOTECHNICAL REPORT. EMBANKMENT BENEATH BUILDING PADS OR FOR PAVING SUBGRADE SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES AND COMPACTED TO A MINIMUM OF 98% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT, UNLESS OTHERWISE SPECIFIED THEREIN.
- THE CONTRACTOR IS ULTIMATELY RESPONSIBLE TO IMPORT OR EXPORT MATERIAL AS NECESSARY TO ACHIEVE THE GRADES SHOWN ON THE CIVIL ENGINEER'S DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL IN-PLACE FINAL TRIM AREAS TO CONDITION PRIOR TO PLACING TOPSOIL. TOPSOIL SHALL BE PLACED AND ACCEPTED PRIOR TO THE PLACEMENT OF SOD.
- THE SIDEWALK CONTRACTOR IS RESPONSIBLE FOR ALL REMAINING FINAL TRIM.
- FINAL GRADES OF ABOVE SURFACE UTILITIES NOT IN PAVED AREAS, INCLUDING BUT NOT LIMITED TO STORM SEWER MANHOLE LIDS, WATER METER LIDS AND SEWER CLEANOUTS, ARE TO BE ADJUSTED BY THE UTILITY CONTRACTOR TO CONFORM TO LANDSCAPING SOD INSTALLATION.
- TRANSFORMER PADS AND PEDESTALS ARE TO BE LEVEL AND PLUMB.
- CARE SHALL BE TAKEN TO ADJUST GAS METERS AND MANIFOLDS SO AS TO APPEAR CORRECTLY POSITIONED.
- GENERAL CONTRACTOR SHALL MONITOR INSTALLATION OF SERVICE PEDESTALS, SHALL ACCEPT THE CONDITION OF THE WORK BY OTHERS, AND SHALL BE RESPONSIBLE TO EMPLOY CONTRACTORS AS NECESSARY TO CORRECT POOR WORKMANSHIP.
- PAVING CONTRACTOR IS RESPONSIBLE TO REVIEW ALL FIELD ESTABLISHED GRADES PRIOR TO PLACEMENT OF MATERIALS SO AS TO PROVIDE POSITIVE DRAINAGE IN ALL CASES.
- CORRECTIVE MEASURES DIRECTED BY THE ENGINEER MAY INCLUDE COMPLETE REMOVAL AND REPLACEMENT AT NO COST TO OWNER IN CASES OF POOR WORKMANSHIP OR UNSATISFACTORY IN-PLACE CONDITIONS.
- CONTRACTOR SHALL COORDINATE AND PROVIDE ALL STAKING NECESSARY TO INSTALL CONDUITS SUFFICIENT FOR UTILITY AND IRRIGATION SERVICES WHETHER OR NOT SHOWN ON THE CIVIL ENGINEER'S PLANS.
- CONTRACTOR SHALL BE OBLIGATED TO KEEP DUST AT A MINIMUM AS REQUIRED BY CITY ENGINEER.
- CONTRACTOR AND ALL RELATED CONSTRUCTION ACTIVITIES WILL BE REQUIRED TO MAINTAIN NORMAL WORKING HOURS IF SIGNIFICANT PUBLIC REQUEST ARE MADE TO THE CITY TO THIS REGARD.
- CONTRACTOR AND ALL RELATED CONSTRUCTION ACTIVITIES ARE REQUIRED TO MAINTAIN NORMAL NOISE LEVELS AND ALL EQUIPMENT AND VEHICLES ARE REQUIRED TO BE PROPERLY MUFFLED.
- SITE GRADING IS EXPECTED TO BE PERFORMED IN A MANNER CONSISTENT WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWP3) SUBMITTED FOR THIS PROJECT.

**Note**

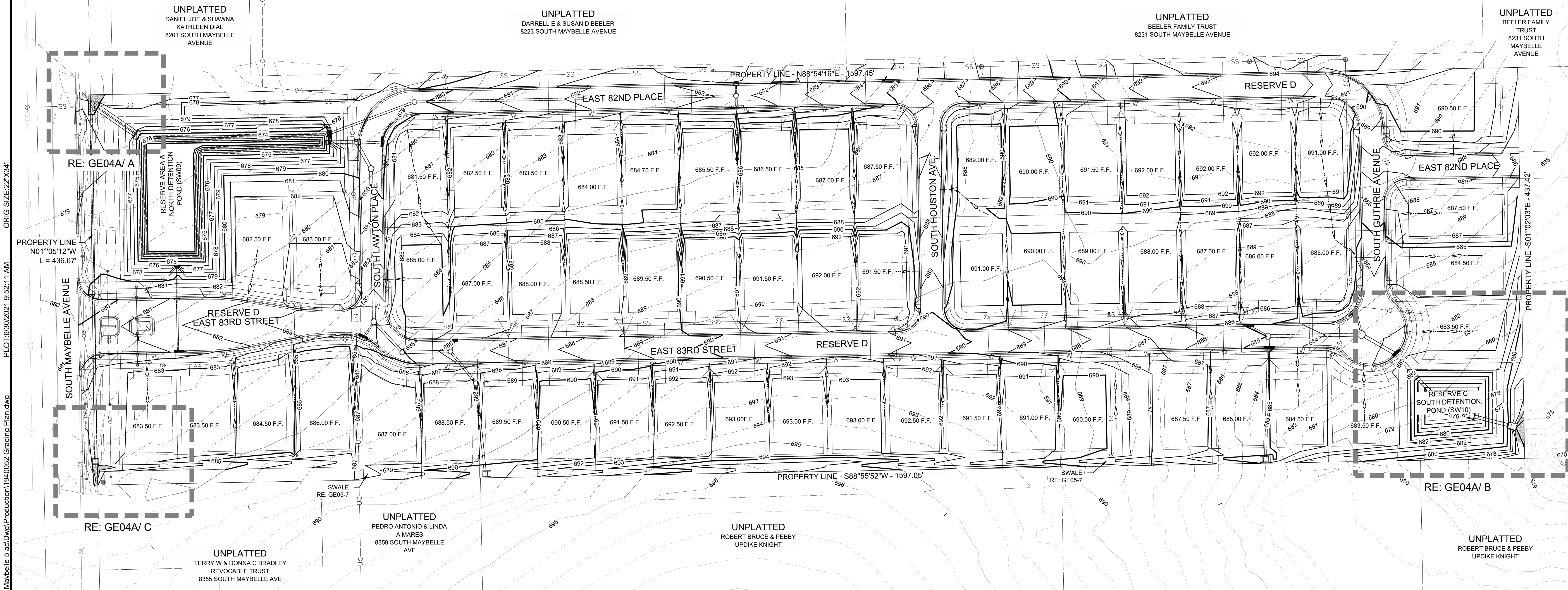
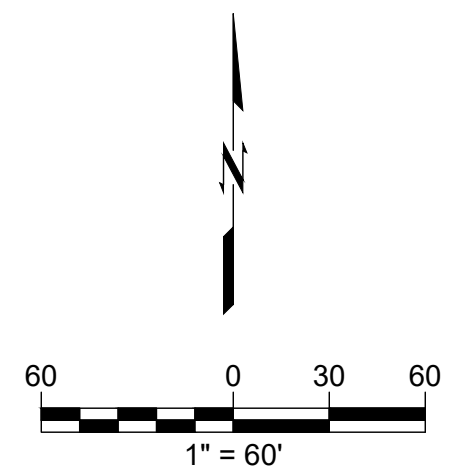
ALL GRADES SHOWN ARE TO THE TOP OF PAVEMENT.

**Grading Legend**

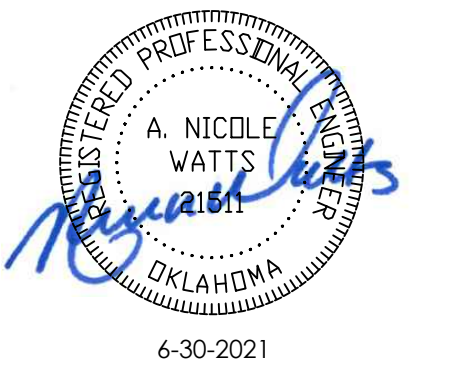
CTRN	CURB TRANSITION
EP	EDGE OF PAVING
EX	EXISTING GROUND
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
GU	GUTTER
TG	TOP OF CURB
TP	TOP OF GRATE
TR	TOP OF PAVING
TS	TOP OF RIM
TS	TOP OF SIDEWALK OR STEP
TW	TOP OF WALL FINISH GRADE

**Line Legend**

---	BUILDING LINE
---	CENTERLINE
---	EASEMENT
---	DETENTION POND
SS	SANITARY SEWER LINE
W	WATERLINE
---	STORM SEWER LINE
---	WATER PATHS



MAYBELLE VILLAS  
TULSA, OKLAHOMA



**ISSUE LOG**

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1	2-5-2021	1st IDP SUBMITTAL
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4	6-30-2021	4th IDP SUBMITTAL

VERT SCALE . . . 1" = 60'  
HORT SCALE . . . N/A  
IDP NO. . . 81983-2020  
ATLAS NO. . . 887  
MANAGER . . . ANW  
DRAWN BY . . . ASB

ORIGINAL SIZE: 22" X 34"  
 PLOT: 6/30/2021 9:52:11 AM  
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Benchmark TBG0023  
SET 5/8" REBAR FOUND  
N: 381651.133  
E: 2557002.642  
ELEV: 683.033 (NAVD 1988)

APPROVED FOR IDP PERMIT ONLY

MICHAEL LING, PE DATE  
INFRASTRUCTURE DEVELOPMENT MANAGER  
CITY OF TULSA

OVERALL GRADING PLAN  
**GE04**

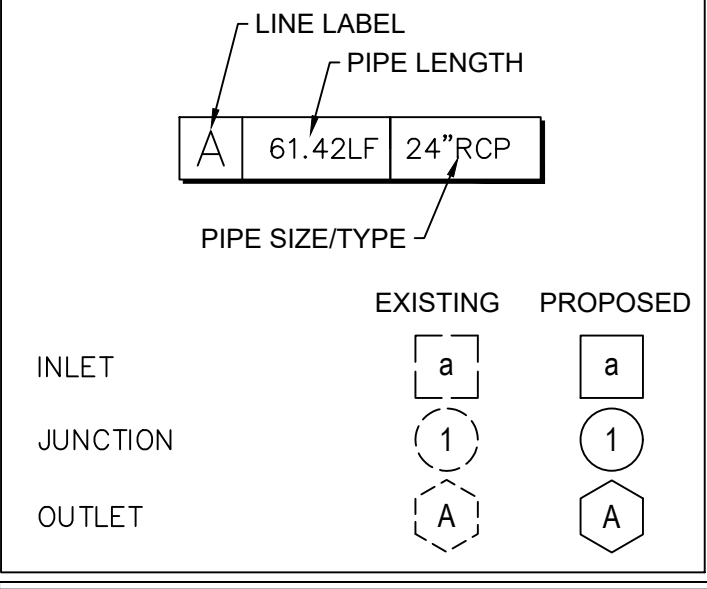


**General Construction Notes:**

- ALL STORM SEWER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY STANDARD CONSTRUCTION SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
- THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS DEPARTMENT AT LEAST 24 HOURS PRIOR TO START OF CONSTRUCTION.
- MANHOLES AND APPURTENANCE DETAILS SHALL BE APPROVED BY THE CITY ENGINEER BEFORE CONSTRUCTION IS STARTED.
- ALL STORM SEWER MAIN PIPE SHALL BE ADS CPP, CORRUGATED POLYPROPYLENE PIPE (CPP), OR EQUIVALENT PER COT STD SPEC 215.
- IF REINFORCED CONCRETE PIPE (RCP) IS USED, IT SHALL CONFORM TO ASTM C-76 CLASS III, WALL "B", UNLESS OTHERWISE NOTED. OMNI-FLEX JOINTS SHALL BE REQUIRED ON ALL REINFORCED CONCRETE PIPE.
- STORM SEWER BEDDING, BACKFILL, AND COMPACTION SHALL BE IN ACCORDANCE WITH CITY STANDARD DRAWINGS.
- ALL STORM SEWER LINES NOT UNDER PAVING SHALL BE LAID IN TYPE A AGGREGATE BEDDING TO A MINIMUM DEPTH OF 12 INCHES ABOVE THE TOP OF PIPE. THE TRENCH MAY BE BACKFILLED WITH COMPACTED SOIL UPON APPROVAL BY THE INSPECTOR.
- STORM SEWER LINES LOCATED UNDER PAVED STREETS SHALL BE LAID IN TYPE A AGGREGATE BEDDING AND THE TRENCH COMPLETELY FILLED TO SUBGRADE WITH TYPE A AGGREGATE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- PIPE BACKFILL SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES, AND COMPACTED BY VIBRATORY PLATE OR OTHER METHOD APPROVED BY THE ENGINEER.
- PAVING SUBGRADE SHALL BE RESTORED TO PROPER GRADE (+ OR - 0.1 FT) AND DENSITY AFTER PIPE IS BACKFILLED.
- ALL PRECAST MANHOLES SHALL HAVE ADJUSTABLE TOP RIMS PROVIDING SIX (6) INCHES, PLUS OR MINUS, FOR ADJUSTMENT TO FINAL GRADES. ELEVATIONS SHOWN ON PLANS MAY BE ADJUSTED WHILE THE WORK IS IN PROGRESS TO CONFORM TO FINAL IN-PLACE PAVING AND LANDSCAPE GRADES.
- THE UTILITY CONTRACTOR ASSUMES THE RISK OF ORDERING PRECAST CONCRETE COMPONENTS PRIOR TO FIELD STAKING AND REVIEW OF FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
- VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS AS SOON AS THE WORK IS COMPLETED.

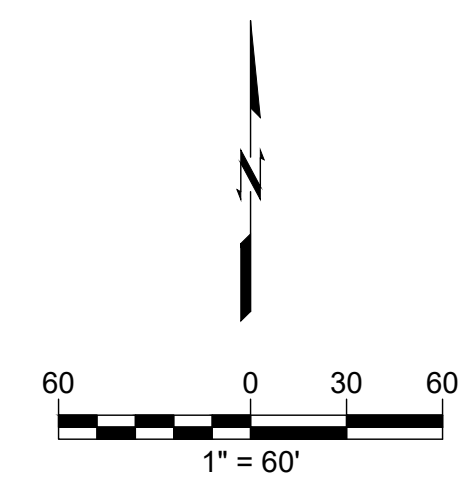
NOTE: ALL STORM SEWER IS PUBLIC.

**TITLE**



**Structure Summary Table**

A1	18" HEADWALL RE: GE11/D	H2	DESIGN NO. 4(2B) INLET (PUBLIC)(IDP)
E1	36" HEADWALL RE: GE11/D	H5	DESIGN NO. 4(2B) INLET (PUBLIC)(IDP)
F1	24" HEADWALL RE: GE11/D	H6	TYPE 2 DROP INLET (PUBLIC)(IDP) COT STD. 771
H1	36" HEADWALL RE: GE11/D	I1	DESIGN NO. 3(A) INLET (PUBLIC)(IDP)
K1	STANDARD ENERGY DISSIPATOR COT STD. 779	J1	DESIGN NO. 3(A) INLET (PUBLIC)(IDP)
K2	SOUTH POND OUTLET STRUCTURE RE: SW10	L2	TYPE 2 DROP INLET (PUBLIC)(IDP) COT STD. 771
L1	SPECIAL HEADWALL RE: GE09/A	B1	6' STD ID ACCESS MANHOLE (PUBLIC)(IDP)
M2	NORTH POND OUTLET STRUCTURE RE: SW09	B2	6' STD ID ACCESS MANHOLE (PUBLIC)(IDP)
A2	DGDI (PUBLIC)(IDP)	B3	5' STD ID ACCESS MANHOLE (PUBLIC)(IDP)
A3	DESIGN NO. 4(A) INLET (PUBLIC)(IDP)	B4	5' STD ID ACCESS MANHOLE (PUBLIC)(IDP)
B6	TYPE 2 DROP INLET (PUBLIC)(IDP) COT STD. 771	B5	5' STD ID ACCESS MANHOLE (PUBLIC)(IDP)
C1	DESIGN NO. 4(2B) INLET (PUBLIC)(IDP)	F2	5' STD ID ACCESS MANHOLE (PUBLIC)(IDP)
D1	DESIGN NO. 3 INLET (PUBLIC)(IDP)	F3	5' STD ID ACCESS MANHOLE (PUBLIC)(IDP)
E2	DGDI W/ ACCESS MANHOLE (PUBLIC)(IDP)	H3	8' STD ID ACCESS MANHOLE (PUBLIC)(IDP)
E3	DESIGN NO. 4(2B) INLET (PUBLIC)(IDP)	H4	6' STD ID ACCESS MANHOLE (PUBLIC)(IDP)
G1	DESIGN NO. 6(2C) INLET (PUBLIC)(IDP)		
G2	DGDI (PUBLIC)(IDP)		



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**MAYBELLE VILLAS**  
TULSA, OKLAHOMA

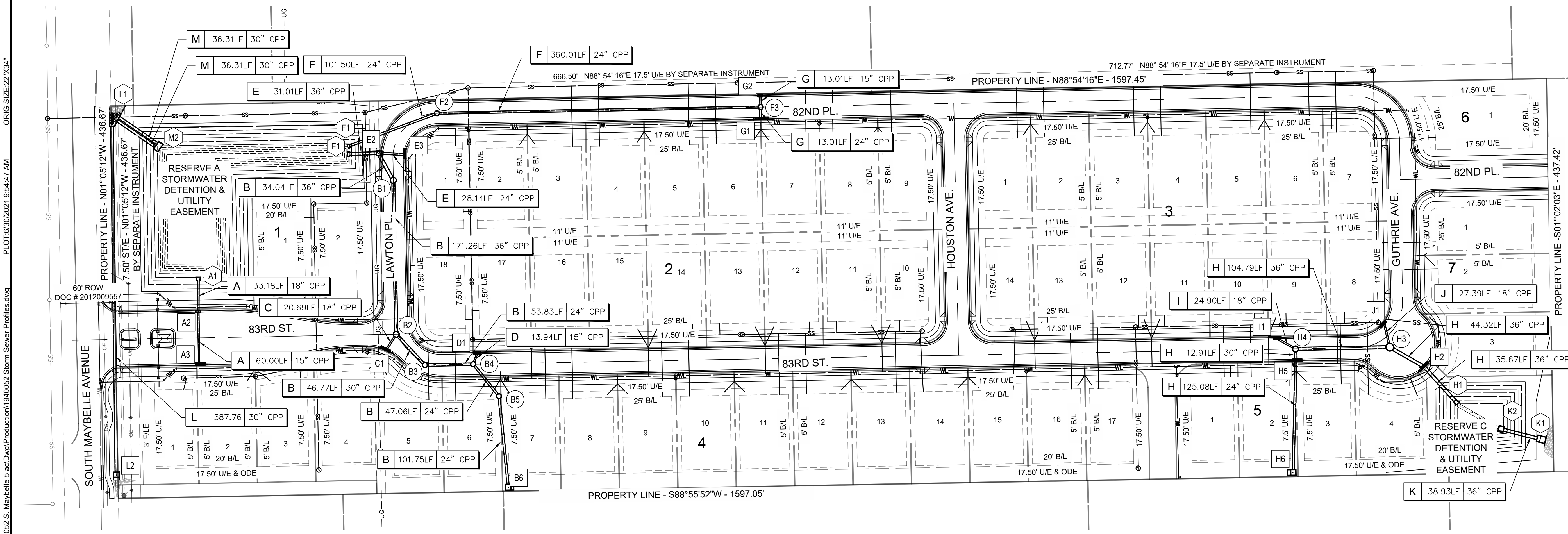


**ISSUE LOG**

#	DATE	DESCRIPTION
2	2-5-2021	1st IDP SUBMITTAL
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HORT SCALE . . . 1"= 60'  
 VERT SCALE . . .  
 IDP NO. . . 81983-2020  
 ATLAS NO. . . 887  
 MANAGER . . . ANW  
 DRAWN BY . . . ASB

**OVERALL STORM SEWER PLAN**  
**SW02**  
22 OF 46



APPROVED FOR IDP PERMIT ONLY

MICHAEL LING, PE DATE \_\_\_\_\_  
 INFRASTRUCTURE DEVELOPMENT MANAGER  
 CITY OF TULSA

ORIG SIZE: 22"x34"  
 PLOT: 6/30/2021 9:54:47 AM  
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 DOC # 2012009557

**Waterline Notes**

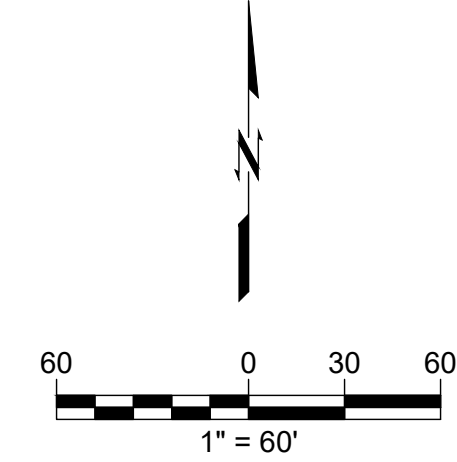
- ALL WATER DISTRIBUTION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE CURRENT CITY LAND SUBDIVISION CODE AND ALL CONSTRUCTION INSTALLATION SHALL MEET OR EXCEED THE CITY CONSTRUCTION STANDARDS AND MUNICIPAL POLICY.
- THE PROJECT RESPONSIBLE CONTRACTOR AND ANY OTHER SUB-CONTRACTORS UNDER SEPARATE CONTRACT, IS/ARE REQUIRED TO HAVE A PRE- CONSTRUCTION MEETING WITH CITY STAFF. SUCH A MEETING IS REQUIRED BEFORE ANY INFRASTRUCTURE CONSTRUCTION IS PERFORMED. SHOULD THE RESPONSIBLE CONTRACTOR(S) REPRESENTATIVE FAIL TO PARTICIPATE WITHIN A MUTUALLY SCHEDULED PRE-CONSTRUCTION MEETING, ALL CONSTRUCTION ACTIVITIES SHALL BE IMMEDIATELY TERMINATED INDEFINITELY BY THE CITY. SUCH MEETINGS WILL ALSO BE MANDATORY, UPON CITY'S REQUEST, DURING THE CONSTRUCTION PROCESS, IF NECESSARY.
- ALL WATER DISTRIBUTION SYSTEM CONSTRUCTION SHALL BE INSPECTED BY THE PUBLIC WORKS DEPARTMENT UTILITY INSPECTORS.
- DIG THROUGH LOCATOR TAPE WILL BE BURIED 2 FEET ABOVE THE LINE.
- WHEN C-900 PVC IS USED, A NO. 8 BARE COPPER WIRE SHALL BE TAPED TO THE TOP SURFACE OF THE PIPE AND CONNECTED TO EACH FIRE HYDRANT BY ATTACHING TO A BOLT, JUST ABOVE GROUND LEVEL.
- ALL IRON PIPE AND FITTINGS SHALL BE POLYWRAPPED.
- ALL DISTRIBUTION LINES IN CONDUIT AND AT DRAINAGE FEATURE CROSSINGS SHALL BE CONSTRUCTED WITH RESTRAINED JOINTS.
- ALL MAIN LINES SHALL HAVE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF EIGHT (8) FEET OF COVER, UNLESS OTHERWISE SHOWN HEREIN.
- BEDDING, BACKFILL, AND COMPACTION OVER WATER LINES SHALL BE IN ACCORDANCE WITH STANDARD DRAWINGS 304 & 305. BACKFILL AND COMPACTION REQUIREMENT FOR STREET CROWNING SHALL EXTEND TWO (2) FEET BACK OF CURB.
- ALL WATER DISTRIBUTION SYSTEM LINES, EXCEPT DEAD END FOR FIRE HYDRANTS ONLY, SHALL BE LOOPED TO PROVIDE CIRCULATION.
- DISTRIBUTION LINES SMALLER THAN FOUR (4) INCHES SHALL NOT BE INSTALLED.

**Waterline Notes**

- FIRE HYDRANTS:
  - FIRE HYDRANTS SHALL BE A MINIMUM 5 1/4 INCH NOZZLE TYPE AND OF THE KENNEDY, MUELLER, OR AMERICAN DARLING BRAND NAME.
  - EACH HYDRANT SHALL BE SET WITH THE STREAMER NOZZLE FACING THE STREET AND WITH A MINIMUM CLEARANCE OF EIGHTEEN (18) INCHES ABOVE THE FINISHED GRADE.
  - ALL EXPOSED PORTIONS OF FIRE HYDRANTS SHALL BE PAINTED WITH A SAFETY YELLOW ENAMEL AS MANUFACTURED BY GLIDDEN OR DUPONT.
- WHEN WORKING IN OR ADJACENT TO EXISTING SUBDIVISIONS ONLY ONE (1) DAYS WORTH OF TRENCH MAY BE OPEN AT A GIVEN TIME. THIS REQUIREMENT MAY BE MODIFIED, IN WRITING BY THE PUBLIC WORKS DIRECTOR, FOR A SPECIFIC PROJECT.
- ROAD CLOSURES MUST BE COORDINATED A MINIMUM OF TWENTY FOUR (24) HOURS IN ADVANCE. ROADS WILL NOT BE CLOSED FOR OVER EIGHT (8) HOURS WITHOUT WRITTEN PERMISSION FROM THE PUBLIC WORKS DIRECTOR.
- ALL FITTING BENDS, TEES AND FIRE HYDRANTS SHALL HAVE MECHANICAL JOINT RESTRAINTS, WITH MIDCO GRIP RINGS.
- NO CONSTRUCTION ACTIVITIES ON THE WATER SYSTEM ARE PERMITTED UNTIL THE CITY ENGINEER'S OFFICE HAS RECEIVED A COPY OF THE ODEQ PERMIT TO CONSTRUCT AND AUTHORIZATION TO PROCEED WITH THE WATER SYSTEM HAS BEEN PROVIDED BY THE CITY ENGINEER.
- ALL WATERLINE CONDUIT FOR SERVICE LINES SHALL BE 4" SCH40 AND WILL BE INSTALLED UNDER THE IDP.
- METERS AND SERVICE LINES ARE SHOWN AS REPRESENTATIONS ONLY AND ARE NOT PART OF THIS IDP SET OF PLANS. THE CONDUIT LINES WILL ONLY BE INSTALLED UNDER THE IDP. SEPARATE PERMITS ARE REQUIRED FOR SETTING SERVICE METERS.
- CONTACT THE WATER DISTRIBUTION DEPARTMENT AT THE CITY OF TULSA 72 HOURS PRIOR TO EXCAVATING AROUND THE 60 INCH WATERLINE. CONTACT JOSH BILBY (918)596-9480.

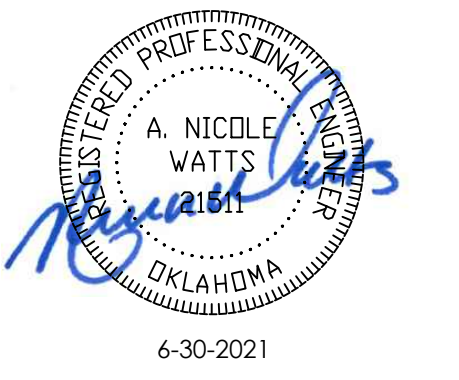
**Waterline Quantities**

ITEM #	QUANTITY	DESCRIPTION
302	2503 CY	EXCAVATION & BACKFILL, UNCLASSIFIED
307	1340 LF	8" PVC C900
307	2039 LF	6" PVC C900
307A	170 LF	6" DIP
312	4 EA	8"x6"x8" TEE
312	4 EA	6"x6"x6" TEE
312	1 EA	BLOW OFF VALVE
312	2 EA	8" 11.25° BEND
312	2 EA	8" 22.50° BEND
312	2 EA	8" 45° BEND
312	2 EA	6" 11.25° BEND
312	5 EA	6" 22.5° BEND
312	8 EA	6" 45° BEND
312	1 EA	6" 90° BEND
315	2 EA	8" HOT TAP*
317	7 EA	6" GATE VALVE
317	8 EA	8" GATE VALVE
317	8 EA	1- 3-WAY FIRE HYDRANT ASSEMBLY
317	1 EA	BLOW OFF FIRE HYDRANT
318	15 EA	VALVE BOX
SPECIAL	2 EA	CONNECT TO EXISTING WATERLINE



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MAYBELLE VILLAS  
TULSA, OKLAHOMA

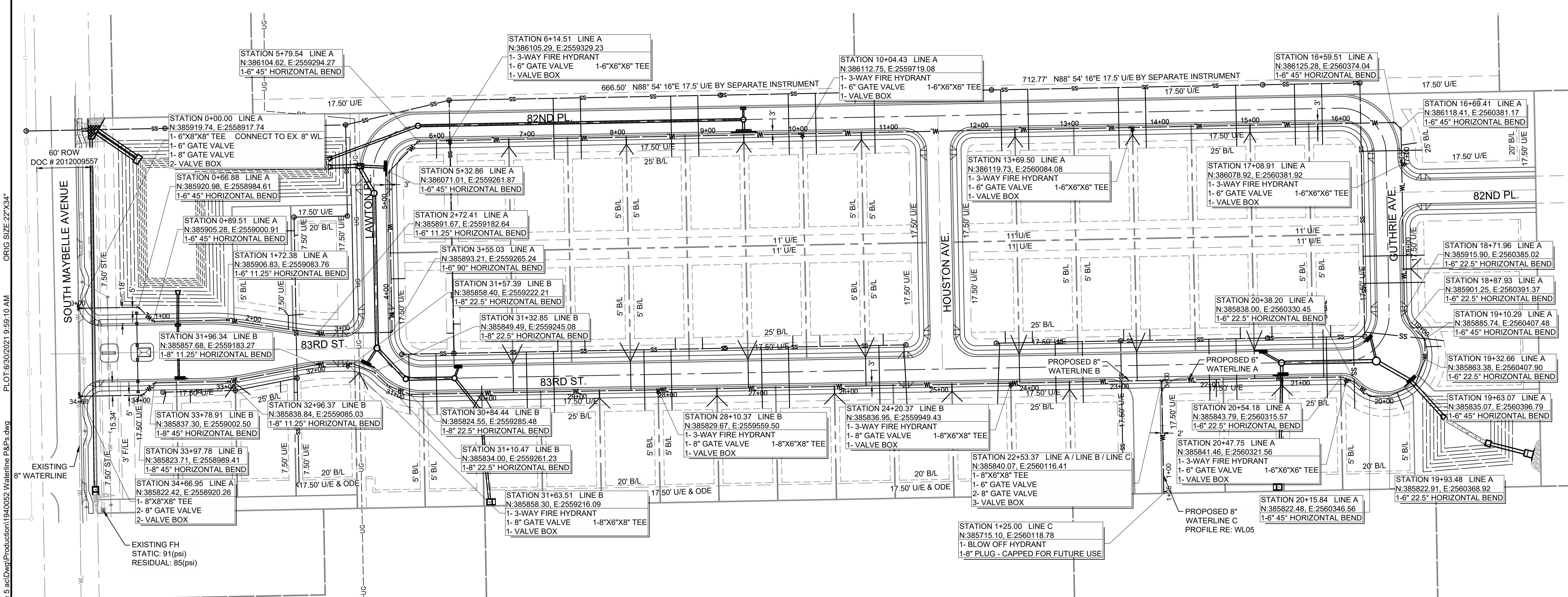


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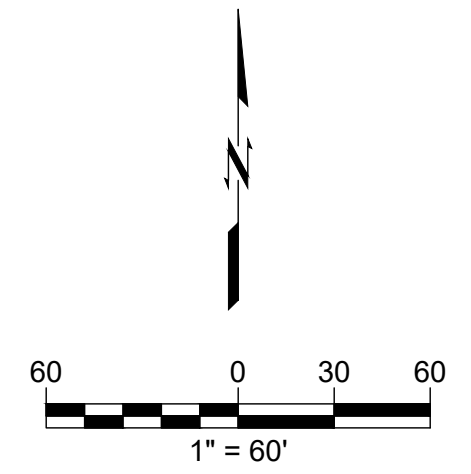
**OVERALL WATERLINE PLAN**  
**WL01**  
 40 OF 46



APPROVED FOR IDP PERMIT ONLY

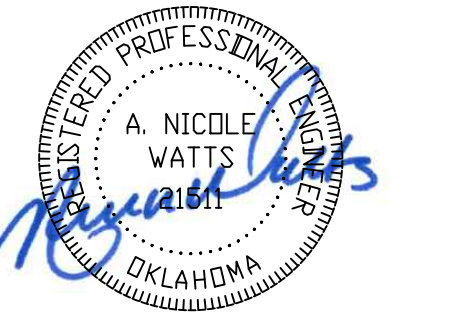
MICHAEL LING, PE DATE  
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 CITY OF TULSA

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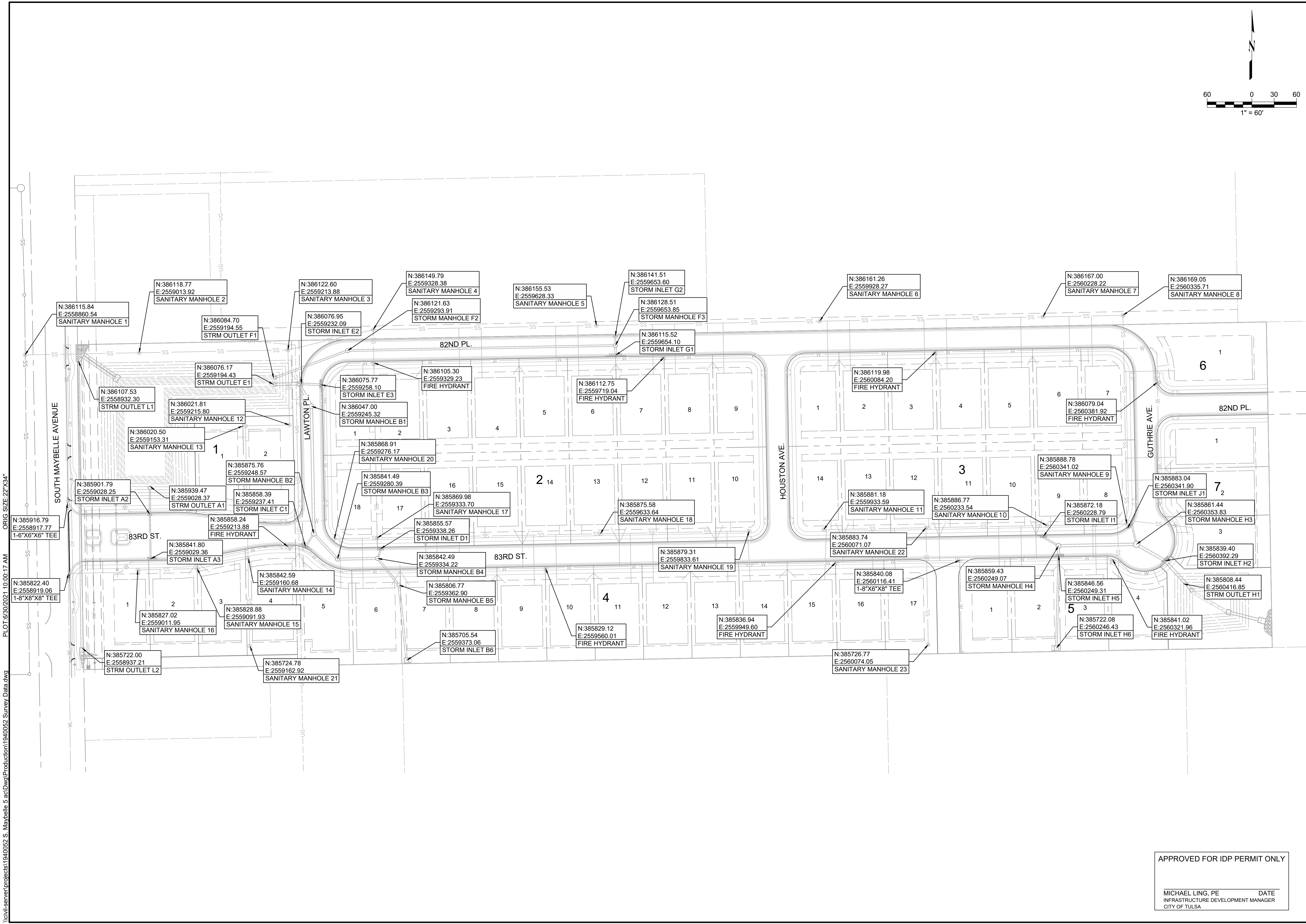
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IDP NO. · 81983-2020  
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MANAGER · ANW  
DRAWN BY · ASB

SURVEY DATA SHEET  
**SD01**  
45 OF 46



APPROVED FOR IDP PERMIT ONLY

MICHAEL LING, PE DATE  
INFRASTRUCTURE DEVELOPMENT MANAGER  
CITY OF TULSA

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