175 East 2nd St, Suite 480 - Tulsa, OK 74103 - (918) 596-7526 - tulsaplanning.org

[X] SUBDIVISION PLAT	[] MINOR SUBDIVISION PLAT	
APPLICATION INFORMATION		
RECEIVED BY: NF DATE FILED:	11/2/2023 PLAT NAME: MAYBELLE VILLAS	
	IDP #81983-2020 (Z-7506)	

SUBDIVISION PLAT SCHEDULE		REFERENCE CASES	
PUBLIC AGENCY REVIEW:	11/16/2023	ZONING/PUD/CO CASE:	
		TMAPC DATE:	
TMAPC:	12/6/2023	BOA CASE:	
		BOA DATE:	

SUBJECT PROPERTY INFORMATION			
ADDRESS OR DESCRIPTIVE LOCATION: 8155 S MAYBELLE AVE W	TRACT SIZE	16	_ ± acres
LEGAL DESCRIPTION: SEE ATTACHED			
PRESENT USE: PARTIALLY DEVELOPED PRESENT ZONING: RS-3 T-R-S: 19-12-01 COUNCIL DISTRICT: 1 WATER SUPPLY: COT SANITARY SEWER: COT			
ELECTRIC: AEP/PSO GAS: ONG PHONE: AT&T TV: COX SCHOOL DISTRICT:			
INFORMATION ABOUT YOUR PROPOSAL			
PROPOSED USE: Single-family residential development			
PROPOSED ZONING: N/A LOTS PROPOSED: 59 BLOCKS P	ROPOSED:	7	

APPLICANT INFORMATION		PROPERTY OWNER INFORMATION	
NAME	Mike Thedford	NAME	Glenn Shaw Shaw Homes
ADDRESS	123 North Martin Luther King, Jr. Blvd.	ADDRESS	1420 West Kenosha
CITY, ST, ZIP	Tulsa, OK. 74103	CITY, ST, ZIP	Broken Arrow, Oklahoma 74012
DAYTIME PHONE	918.584.5858	DAYTIME PHONE	918.258.6161
EMAIL	mike.thedford@wallace.design	EMAIL	gshaw@shawhomes.com
I, THE UNDERSIGNED APPLICANT, CERTIFY THAT THE INFORMATION ON THIS APPLICATION IS TRUE AND CORRECT.			
SIGNATURE & DAT	TE: Bulfc		11/2/23

DOES OWNER CONSENT TO THIS APPLICATION [X] YES [] NO

WHAT IS APPLICANT'S RELATIONSHIP TO OWNER? CONSULTANT

APPLICATION FEES (Make checks payable to City of Tulsa)		PRELIMINARY PLAT DISPOSITION
PRELIMINARY PLAT FEE :	\$1,200	TMAPC ACTION: [] APPROVED [] DENIED
FINAL PLAT FEE :	\$900	DATE/VOTE:
MINOR PLAT FEE :	\$650	CONDITIONS:
TOTAL AMOUNT DUE:	\$1,200	
RECEIPT NUMBER:		

Application fees in whole or part will not be refunded after notification has been given.

SUBMITTAL REQUIREMENTS:

Checklists for all submittals are available at tulsaplanning.org.

Preliminary Plats – Application, Checklist, 4 folded full-size copies & PDF of plat, deed of dedication, and Conceptual Improvement Plan

Draft Final Plats – 4 folded full-size copies & PDF

Final Plats for Signatures - 8-10 rolled full-size copies, fully executed by owner, surveyor, and engineer

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SUBDIVISION PRE-APPLICATION REVIEW

PROJECT INFORMATION
Subdivision Location: 8155 S MAYBELLE AVE W
Acreage: 16 Number of Lots: 59 Project Name: MAYBELLE VILLAS
Owner of Property: Shaw Homes(Glenn Shaw)
Person Requesting Review: N/A Date:
COMPREHENSIVE PLAN STATUS
LAND USE DESIGNATION: Neighborhood
The property [X] CONFORMS [] DOES NOT CONFORM to the Major Street and Highway Plan.
ZONING AND PLATTING
The property is currently zoned RS-3
The proposed use of Single-family residential [X] WOULD or [] WOULD NOT conform to the zoning district classification.
Minimum lot size required: 6,900 (detached house)
Is the property is located within an approved development plan? [X] YES [] NO
If yes, does the project conform to all development standards? [x] YES [] NO
Is there a Rezoning or Board of Adjustment case pending on the site? [] YES [x] NO Case number: Z-7506
When are the anticipated TMAPC and City Council, or Board of Adjustment meeting dates? N/A
INFRASTRUCTURE NEEDS
A brief summary of major infrastructure to be provided and by whom:
Streets Developer - IDP #81983-2020
Water Developer - IDP #81983-2020
Sewer Developer - IDP #81983-2020
Sewer Developer - IDP #81983-2020
Storm Water/Drainage Developer - IDP #81983-2020
Park and Trail Dedications N/A

Please consider the items in this Pre-Application Review carefully.

This conceptual pre-development review is not intended to be all-inclusive, but rather to address the major development criteria, which should be thoroughly studied as development plans progress. Relevant Federal and State Statutes, as well as TMAPC Subdivision Regulations, Design Criteria, Zoning Codes, and other relevant local codes and policies should be reviewed and incorporated into future plans.

Contact the Tulsa Planning Office if you have questions about the development process in the City Tulsa: 918-596-5726, planning@cityoftulsa.org.

175 East 2nd St, Suite 480 - Tulsa, OK 74103 - (918) 596-7526 - tulsaplanning.org

SUBDIVISION PLAT PROCESS

MEETING COMEDINE

MEETING SCHEDULE	
Public Agency Review (PAR) Date (Preliminary plats): Thursday,1:30 p.m.	
Large Conference Room, 8th Floor, INCOG, 2 West 2nd Street	
Tulsa Metropolitan Area Planning Commission (TMAPC) Date (Preliminary plats): Wednesday,	1:30 p.m.
Tulsa City Council Room, 2nd Level, One Technology Center, 175 East 2nd Street	

PRELIMINARY PLAT PROCESS

- 1. Applicant submits preliminary plat/covenants, conceptual improvements plan, completed application, and fees. Plat is scheduled for PAR meeting and TMAPC public hearing.
- 2. Staff distributes preliminary plat to PAR members for review.
- 3. Applicant, staff, and PAR members meet to review requirements for approval of preliminary plat.
- 4. TMAPC holds public hearing to consider approval of preliminary plat. Approval of a preliminary plat expires after one year.

FINAL PLAT PROCESS

- 1. Applicant prepares "draft final" plat in accordance with all TMAPC and PAR requirements of preliminary plat approval. Staff will review and stamp "Draft Final" and digitally stamp "Draft Final" PDF submittal.
- 2. If revisions are made after the first "draft final" plat submittal, new plats shall be submitted and clearly identify all revisions on the face of the plat and in the covenants by either clouding or shading. There shall be a clear identifying mark (usually a small triangle) containing a revision number attached to each clouded or shaded item and a table of revision numbers and revision dates. In addition, a brief description of the nature of the revision should be included in the table.
- 3. Applicant distributes "draft final" for release as follows: 1 copy TMAPC staff; 2 copies Development Services; PDF Utility Providers
- 4. Release letters are required from the following: City of Tulsa Development Services OR County Engineer, water and sanitary sewer service providers; City Legal Department (if property is within the city limits of Tulsa); electric, gas, telephone and TV utility service providers. Release letters shall indicate the latest revision date for which the plat is being released.
- 5. Revisions submitted subsequent to being released shall be reviewed and released again. TMAPC staff must have the latest final plat incorporating all of the revisions before placing on the agenda for approval by the Planning Commission.
- 6. Staff will schedule "draft final" plat for TMAPC approval after we receive all release letters and have confirmed that the release letters pertain to the latest revised version of the plat. Submittals required per Section 3.6.5 of the Subdivision Regulations must be received before the Final Plat is considered by TMAPC.
- 7. TMAPC considers approval of final plat.
- 8. Applicant submits final recordable documents with original notarized signatures to TMAPC staff.
- 9. Staff obtains signatures from TMAPC, City Attorney, City Engineering, Mayor and City Council.
- 10. Staff returns final signed documents to applicant for filing with the County Clerk. Final documents must be filed within one year of TMAPC final plat approval. One filed paper copy and the 2 required electronic discs are delivered to staff.

SUBDIVISION STATISTICS AVIGATION NOTICE SUBDIVISION CONTAINS 59 (FIFTY-NINE) LOTS IN 7 (SEVEN) BLOCKS AND 4 (FOUR) NOTICE IS HEREBY GIVEN THAT OWNERS AND USERS OF AIRCRAFT OF ALL TYPES OPERAT ON A FREQUENT BASIS IN THE AIRSPACE ABOVE THIS PLAT OF LAND. SAID AIRCRAFT, WHEN **PRELIMINARY** OPERATED IN A LAWFUL MANNER. ARE ALLOWED FREE AND UNOBSTRUCTED PASSAGE IN SUBDIVISION CONTAINS 698,096.93 SQUARE FEET OR 16.03 ACRES. THE AIRSPACE ON, UPON, OVER, ACROSS, ADJACENT TO, ABOVE AND IN THE VICINITY OF R 12 E THIS PLAT OF LAND. THE LAWFUL OPERATION OF AIRCRAFT IS KNOWN TO GENERATE NOISE **MONUMENTATION** VIBRATION, AND OTHER EFFECTS AS MAY BE INHERENT IN THE OPERATION OF OR FLIGHT W. 81st ST. S. OR PASSAGE IN AND THROUGH SAID AIRSPACE WHICH RESULT DIRECTLY OR INDIRECTLY SET 3/8" IRON PIN W/ GREEN "FRITZ CA5848" CAP OR MAG NAIL W/ "FRITZ CA5848" WASHER AT ALL CORNERS UNLESS NOTED AND SHOWN OTHERWISE HEREON. INCLUDING BUT NOT LIMITED TO, GROUND AND FLIGHT OPERATIONS OF AIRCRAFT AT, OVER, ON OR IN THE VICINITY OF THE AIRPORT, AND REGARDLESS OF WHETHER ARRIVING, OPTIONAL DEVELOPMENT PLAN Z-7506 **BENCHMARK** DEPARTING, MANEUVERING, OR EN ROUTE, AND IT MUST BE FURTHER RECOGNIZED THAT ALL SUCH OPERATIONS MAY INCREASE IN THE FUTURE. **CUT "X" IN CONCRETE** N: 385730.9289; E: 2558922.4160 NOTICE IS ALSO GIVEN THAT RULES AND REGULATIONS DEFINED IN FEDERAL AVIATION ELEVATION: 683.53' A TRACT OF LAND THAT IS PART OF THE NORTH HALF OF THE NORTHEAST QUARTER (N/2 NE/4) OF SECTION OF BUILDINGS, STRUCTURES, POLES, TREES OR OTHER OBJECTS WHETHER NATURAL OR FOURTEEN (14), TOWNSHIP EIGHTEEN (18) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, **BASIS OF BEARINGS** OTHERWISE, LOCATED OR TO BE LOCATED ON PROPERTY WITHIN THIS PLAT OF LAND AND CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA WINCHESTER PARK HORIZONTAL DATUM BASED UPON NAD 83 (1993) OKLAHOMA STATE PLANE MAY REQUIRE, PRIOR TO CONSTRUCTION, THE SUBMISSION OF AN APPLICATION AS MAY BE COORDINATE SYSTEM NORTH ZONE 3501 VERTICAL DATUM BASED UPON NAVD 88 REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION TO ENSURE THAT THE SAFE USING S 01°05'12" E AS THE WEST LINE OF THE NE/4 OF SECTION 14, TOWNSHIP 18 OPERATION OF AIRCRAFT IS NOT IMPACTED BY SAID OBJECT. SURVEYOR: NORTH, RANGE 12 EAST OF THE INDIAN BASE AND MERIDIAN AS THE BEARING FOR OWNER: **ENGINEER:** THIS SURVEY. **LEGAL DESCRIPTION** Shaw Homes, Inc. Fritz Land Surveying, LLC Wallace Design A TRACT OF LAND THAT IS PART OF THE NORTH HALF OF THE NORTHEAST QUARTER (N/2 **ADDRESSES** Collective, PC 2020 W 91st Street NE/4) OF SECTION FOURTEEN (14), TOWNSHIP EIGHTEEN (18) NORTH, RANGE TWELVE (12) and W. 91st ST. S. ADDRESS SHOWN ON THIS PLAT WERE ACCURATE AT THE TIME THIS PLAT WAS FILED. EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, MORE Shaw Homes Oklahoma, Inc. 123 North Martin Luther King Jr Blvd. Tulsa, Oklahoma 74132 ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE **LOCATION MAP** PARTICULARLY DESCRIBED AS FOLLOWS: OF LEGAL DESCRIPTION. Phone: (918) 231-0575 Tulsa, Oklahoma, 74103 1420 W. Kenosha St. SCALE: 1"=2000' 1"=50' COMMENCING AT THE NORTHWEST CORNER OF THE NE/4 OF SAID SECTION 14; THENCE OK CA NO. CA 5848, EXPIRES 6/30/2024 Broken Arrow OK 74012 Phone: (918) 584-5858 **NOTES** SOUTH 01°05'12" EAST ALONG THE WEST LINE OF THE NE/4 A DISTANCE OF 889.37 FEET TO ANDY FRITZ, OK LICENSE 1694 fritzlandsurveying@gmail.com A. NICOLE WATTS, P.E. NO. 21511 THIS PLAT MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND THE POINT OF BEGINNING: THENCE NORTH 88°54'16" EAST 1597.45 FEET: THENCE SOUTH CONTACT: Glenn Shaw SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE OF 01°02'03" EAST 437.42 FEET TO A POINT ON THE SOUTH LINE OF THE N/2 OF THE NE/4 OF SAID PHONE: 918.258.61619 OK CA NO. 1460, EXPIRES 6/30/2025 PROFESSIONAL ENGINEERS AND LAND SURVEYORS SECTION 14;THENCE SOUTH 88°55'52" WEST ALONG SAID SOUTH LINE 1597.05 FEET TO THE nwatts@wallacesc.com WEST LINE OF THE NE/4 OF SECTION 14; THENCE NORTH 01°05'12" WEST ALONG SAID WEST WE HAVE EXAMINED A MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. LINE 436.67 FEET TO THE POINT OF BEGINNING. FLOOD INSURANCE RATE MAP. CITY OF TULSA. MAP NO. 40143C0342L AND SAID TRACT OF LAND CONTAINS 698,069.93 SQUARE FEET OR 16.03 ACRES. 40143C0361L - OCTOBER 16, 2012, WHICH INDICATES THE SUBJECT PROPERTY TO BE WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0,2% ANNUAL CHANCE FLOODPLAIN. **ADDITIONAL NOTE (*):** WEST 82ND PLACE AND S GUTHRIE PLACE RIGHT-OF-WAYS ARE NOT INTENDED TO BE A NORTHWEST CORNER PERMANENT DEAD-END STREET. IT IS PLATTED WITH THE INTENT OF BEING EXTENDED AND NORTHEAST QUARTER CONNECTED TO STREETS THAT MAY BE BUILT IN THE FUTURE. THEREBY PROVIDING ACCESS SEC. 14, T18N, R12E TO AND FROM ABUTTING PROPERTIES. **OKLAHOMA NATURAL GAS NOTE:** ONG'S EASEMENT(S) RECORDED IN BOOK 4411 PAGE 1765 REMAIN IN FULL FORCE AND EFFECT. ONG'S EASEMENT(S) PRE-DATE THE RIGHT-OF-WAY DEDICATION IN THIS PLAT AND UNPLATTED UNPLATTED MAY PROHIBIT OR LIMIT CERTAIN USES OF ONG'S RIGHT-OF-WAY, INCLUDING PAVING, OTHER UTILITY LINES, AND PERMANENT STRUCTURES, WITHOUT ONG'S PRIOR WRITTEN CONSENT. UNPLATTED 17.5' UTILITY EASEMENT 60.00' ROW 17.5' UTILITY EASEMENT DOC # 2012009557 DOC # 2022077772 PROPERTY LINE - N88°54'16"E - 1597.45 WEST 82nd PLACE RESERVE D WEST 82nd PLACE PRIVATE STREET & U/E <u>17.</u>50<u>' U/E</u> & <u>SW/E</u> ~551~ 25' WL/E BK 5882, PG 220 10' PIPELINE EASEMENT 25' B/L 17.50' U/E & SW/E BK 4411, PG 1765 17.50' U/E & SW/E 8,615.92 SF RESERVE A ~604~ ~608~ ~612~ ~616~ STORMWATER DETENTION ~654~ ~650~ ~658~ ~706~ ~710~ ~714~ **EASEMENT & UTILITY EASEMENT** ~750~ ~754~ ~758~ ~762~ WEST 82nd PLACE* ~766~ 8,487.02 SF 8,125.00 SF N88° 55' 52"E - 124.83' 8,125.00 SF N88° 55' 52"E - 132.50' 8,125.00 SF 8,125.00 SF 8,125.00 SF BK 3903, PG 433 8,125.00 SF 8,124.86 SF 8,125.00 SF 8,125.00 SF 8,125.00 SF 8,125.00 SF 8,125.45 SF 8,615.82 SF 1<u>1' U/</u>E 8.487.21 SF ___ 1<u>1' U/E</u> 10,352.18 SF ___ 1<u>1' U/E</u> ____ 11' U/E 11' U/E ~550~ ~807~ ~803~ 8,509.14 SF 8,625.27 SF 8,723.70 SF 8,621.66 SF 8,476.15 SF ~603~ ~607~ ~615~ ~651~ ~655~ ~659~ ~707~ ~703~ ~711~ ~751~ ~715~ ~759~ ~755~ ~763~ ~767~ 9,685.79 SF 8,143.58 SF 8,141.61 SF 8,139.63 SF 8,135.68 SF 8,128.69 SF 8,126.44 SF 8,124.72 SF 8,120.64SF 8,122.62 SF 8,118.67 SF 8,116.91 SF RESERVE D 17.50' U/E & SW/E PRIVATE STREET & U/E 10' PIPELINE EASEMENT 17.50' U/E & SW/E 17.50' U/E & SW/E BK 4411, PG 1765 WEST 83rd STREET ἷς [ૹ) 9,137.79 SF RESERVE D WEST 83rd STREET PRIVATE STREET & U/E 17.50' U/E <u>& SW/E</u> <u>17.</u>50<u>' U/E</u> & <u>SW/E</u> <u>17.</u>50<u>' U/E</u> & <u>SW/E</u> __ <u>25' B/L</u>__ 11,699.43 SF 🗀 8,255.00 SF 8,255.00 SF 8,469.94 SF 8,755.97 SF 10,636.42 SF 8,255.00 SF 8,255.00 SF 8,255.00 SF RESERVE C 8,255.00 SF 8,255.00 SF 8,255.00 SF STORMWATER DETENTION ~602~ ~606~ ~610~ ~808~ ~620~ EASEMENT & UTILITY EASEMENT ~812~ ~628~ ~624~ ~816~ ~702~ ~766~ ~710~ ~706~ ~718~ ~714~ ~750~ ~754~ ~758~ 8,980.02 SF ~762~ 8,255.00 SF 8,255.00 SF D/E 15,316.18 SF 8,255.00 SF ~ N05° 52′ 02"W L = 64.88' 17.50' U/E & OD/E BENCHMARK #1 -10' PIPELINE EASEMENT / ~ *SEE ADDITIONAL NOTE BK 4411. PG 176 RESERVE B F/LE UNPLATTED **UNPLATTED** UNPLATTED **UNPLATTED** BK PG D/E ESMT FL/E FINAL PLAT CERTIFICATE **ENDORSEMENT OF APPROVAL CURVE TABLE** LINE TABLE ROW I hereby certify that all real estate taxes involved in LENGTH | RADIUS CHORD LENGTH LENGTH | RADIUS CHORD LENGTH LENGTH | RADIUS **CHORD LENGTH** LENGTH OD/E this plat have been paid as reflected by the current CHORD BEARING CURVE# DELTA | CHORD BEARING CURVE# DELTA | CHORD BEARING BEARING SW/E (FT) (FT) (FT) (FT) (FT) (FT) (FT) Tulsa Metropolitan Area Planning Commission (FT) tax rolls. Security as required has been provided in ST/E the amount of \$___ __ per trust 31.18 | 252.00 S87° 31' 28"E 31.16 C11 **NOT USED** C21 57.18 42.00 S8° 51' 16"E 52.87 L1 4.60 S81° 25' 16"E CHAIR WL/E __ to be applied to 20_____ taxes. This certificate in NOT to be 28° 54.97 35.00 90° S43° 54' 32"W L2 2.30 N79° 16' 58"E 11.26 | 252.00 S82° 42' 03"E 11.25 C12 49.49 C22 20.19 42.00 S43° 55' 20"W 20.00 construed as payment of 20_____ taxes in full but is SURVEY CONTROL DATA MAYOR

39.27

54.98

39.26

39.28

20.63

0.37

25.00

35.00

25.00

25.00

24.99

42.00

25.00 90°

90°

NOT USED

90°

90°

90°

47°

S46° 05' 28"E

N43° 54' 32"E

S46° 05' 28"E

S46° 04' 40"E

S43° 55' 20"W

S24° 43' 26"E

S48° 06' 31"E

C13

C14

C15

C16

C18

C19

C20

31.18 | 252.00

252.00

23.00

23.00

48.00

48.00

35.00

65.00

11.26

13.82

22.31

32.04

54.97

52.58

C5

C10

N85° 23' 12"E

N80° 33' 45"E

N71° 42' 49"E

N26° 42' 16"E

S87° 00' 50"E

S63° 50' 22"E

S46° 04' 40"E

S67° 53' 40"E

31.16

11.26

13.62

21.45

6.79

31.44

49.49

51.16

C23

C24

C25

C26

C29

57.55

20.79

54.99

39.28

39.26

39.26

39.28

42.01

25.00

35.00

25.00

25.00

25.00

25.00

78°

90°

90°

90°

90°

35.36

35.35

91.93

49.50

35.35

35.36

20.05

0.37

N83° 02' 57"W

N67° 36' 42"W

N43° 55' 20"E

N43° 55' 20"E

S46° 04' 40"E

S46° 04' 40"E

N43° 55' 20"E

L3

L4

L5

L6

L7

L8

53.15

20.19

49.51

35.36

35.35

35.35

35.36

8.40 N88° 55' 52"E

14.63 | N88° 55' 52"E

25.46 | S46° 04' 40"E

12.29 | S46° 04' 40"E

0.16 | S88° 55' 52"W

NOT USED

TMAPC

Council of the City of Tulsa, Oklahoma

CITY ENGINEER

MAYBELLE VILLAS PRELIMINARY PLAT

3/8" IRON PIN

BUILDING LINE

BOOK & PAGE

EASEMENT

EASEMENT

RIGHT OF WAY

DRAINAGE EASEMENT

FENCE & LANDSCAPE

LIMITS OF NO ACCESS

POINT OF BEGINNING

SIDEWALK EASEMENT

WATERLINE EASEMENT

UTILITY EASEMENT

N: 385750.620 | 3/8" IRON PIN

STATION | COORDINATES | DESCRIPTION

E: 2559914.898

N: 385914.113

E: 2559920.207

<u></u> 1157

given in order that this plat may be filed on record.

JOHN M. FOTHERGILL

Tulsa County Treasurer

taxes may exceed the amount of the

security deposit.

ATTEST: CITY CLERK

CITY ATTORNEY

The approval of the Final Plat will expire one year

from the date of City Council approval if not filed in

the Office of the County Clerk before that date.

POINT OF COMMENCEMENT

STORM SEWER EASEMENT

OVERLAND DRAINAGE EASEMENT

/site/

UNPLATTED

UNPLATTED

30' EMERGENCY

- ACCESS EASEMEN

DOC # 2022044421

UNPLATTED

*SEE ADDITIONAL NOTE

NOVEMBER 2, 2023 SITE VISITS: 3/27/19 - 9/8/22 SHEET 1 OF 3

ELEVATION = 693.222

ELEVATION = 690.256

Maybelle Villas

A TRACT OF LAND THAT IS PART OF THE NORTH HALF OF THE NORTHEAST QUARTER (N/2 NE/4) OF SECTION FOURTEEN (14), TOWNSHIP EIGHTEEN (18) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN,

TULSA COUNTY. STATE OF OKLAHOMA

MAYBELLE VILLAS

DEED OF DEDICATION AND RESTRICTIVE COVENANTS

KNOW ALL MEN BY THESE PRESENTS:

SHAW HOMES INC & SHAW HOMES OKLAHOMA INC, HEREINAFTER REFERRED TO AS THE "OWNER", IS THE OWNER OF THE FOLLOWING DESCRIBED LAND IN THE CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA, TO WIT:

A TRACT OF LAND THAT IS PART OF THE NORTH HALF OF THE NORTHEAST QUARTER (N/2 NE/4) OF SECTION FOURTEEN (14), TOWNSHIP EIGHTEEN (18) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE NE/4 OF SAID SECTION 14; THENCE SOUTH 01°05'12" EAST ALONG THE WEST LINE OF THE NE/4 A DISTANCE OF 889.37 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88°54'16" EAST 1597.45 FEET; THENCE SOUTH 01°02'03" EAST 437.42 FEET TO A POINT ON THE SOUTH LINE OF THE N/2 OF THE NE/4 OF SAID SECTION 14; THENCE SOUTH 88°55'52" WEST ALONG SAID SOUTH LINE 1597.05 FEET TO THE WEST LINE OF THE NE/4 OF SECTION 14; THENCE NORTH 01°05'12" WEST ALONG SAID WEST LINE 436.67 FEET TO THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINS 698,069.93 SQUARE FEET OR 16.03 ACRES.

AND HAS CAUSED THE ABOVE DESCRIBED TRACT OF LAND TO BE SURVEYED, STAKED, PLATTED AND SUBDIVIDED INTO 59 LOTS, 7 BLOCKS, AND 4 RESERVES, IN CONFORMITY WITH THE ACCOMPANYING PLAT AND SURVEY (HEREINAFTER THE "PLAT"), AND HAS ENTITLED AND DESIGNATED THE SUBDIVISION AS "MAYBELLE VILLAS", A SUBDIVISION IN THE CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA (HEREINAFTER THE "SUBDIVISION" OR "PLATTED AREA" OR "MAYBELLE VILLAS").

SECTION I. EASEMENTS AND UTILITIES

A. PUBLIC UTILITY EASEMENTS

THE OWNER DOES HEREBY DEDICATE TO THE PUBLIC THE UTILITY EASEMENTS DESIGNATED ON THE ACCOMPANYING PLAT AS "U/E" OR "UTILITY EASEMENT" FOR THE SEVERAL PURPOSES OF CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING, REPLACING, AND/OR REMOVING ANY AND ALL PUBLIC UTILITIES, INCLUDING STORM SEWERS, SANITARY SEWERS, TELEPHONE AND COMMUNICATION LINES. ELECTRIC POWER LINES AND TRANSFORMERS, GAS LINES, WATER LINES AND CABLE TELEVISION LINES, TOGETHER WITH ALL FITTINGS, INCLUDING THE POLES, WIRES, CONDUITS, PIPES, VALVES, METERS, MANHOLES AND EQUIPMENT FOR EACH OF SUCH FACILITIES AND ANY OTHER APPURTENANCES THERETO, WITH THE RIGHTS OF INGRESS AND EGRESS TO AND UPON THE UTILITY EASEMENTS FOR THE USES AND PURPOSES AFORESAID, PROVIDED HOWEVER, THE OWNER HEREBY RESERVES THE RIGHT TO CONSTRUCT, MAINTAIN, OPERATE, LAY AND RE-LAY WATER LINES AND SEWER LINES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR SUCH CONSTRUCTION, MAINTENANCE, OPERATION, LAYING AND RELAYING OVER, ACROSS AND ALONG ALL OF THE UTILITY EASEMENTS DEPICTED ON THE PLAT, FOR THE PURPOSE OF FURNISHING WATER AND/OR SEWER SERVICES TO THE AREA INCLUDED IN THE PLAT. THE OWNER HEREIN IMPOSES A RESTRICTIVE COVENANT, WHICH COVENANT SHALL BE BINDING ON THE LOT OWNER AND SHALL BE ENFORCEABLE BY THE CITY OF TULSA, OKLAHOMA, AND BY THE SUPPLIER OF ANY AFFECTED UTILITY SERVICE, THAT WITHIN THE UTILITY EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT NO BUILDING, STRUCTURE OR OTHER ABOVE OR BELOW GROUND OBSTRUCTION THAT INTERFERES WITH THE ABOVE SET FORTH USES AND PURPOSES OF THE UTILITY EASEMENTS SHALL BE PLACED, ERECTED, INSTALLED OR MAINTAINED, PROVIDED HOWEVER, NOTHING HEREIN SHALL BE DEEMED TO PROHIBIT DRIVES, PARKING AREAS, CURBING, LANDSCAPING, AND CUSTOMARY SCREENING FENCES THAT DO NOT CONSTITUTE AN OBSTRUCTION.

B. UTILITY SERVICE

- 1. OVERHEAD POLES FOR THE SUPPLY OF ELECTRIC AND COMMUNICATION SERVICE MAY BE LOCATED IN THE PERIMETER UTILITY EASEMENT THE SUBDIVISION. STREET LIGHT POLES OR STANDARDS MAY BE SERVED BY OVERHEAD OR UNDERGROUND CABLE, AND ELSEWHERE THROUGHOUT THE SUBDIVISION, ALL SUPPLY LINES INCLUDING ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS LINES SHALL BE LOCATED UNDERGROUND IN EASEMENTS DEDICATED FOR GENERAL UTILITY SERVICES AND IN RESERVE D AS DEPICTED UPON THE ACCOMPANYING PLAT. SERVICE PEDESTALS AND TRANSFORMERS, AS SOURCES OF SUPPLY AT SECONDARY VOLTAGES, MAY ALSO BE LOCATED IN THE GENERAL UTILITY EASEMENTS.
- 2. UNDERGROUND SERVICE CABLES AND GAS SERVICE LINES TO ALL STRUCTURES WITHIN THE SUBDIVISION MAY BE EXTENDED FROM THE NEAREST GAS MAIN, SERVICE PEDESTAL OR TRANSFORMER TO THE POINT OF USAGE DETERMINED BY THE LOCATION AND CONSTRUCTION OF SUCH STRUCTURE UPON THE LOT, PROVIDED UPON INSTALLATION OF A SERVICE CABLE OR GAS SERVICE LINE TO A PARTICULAR STRUCTURE, THE SUPPLIER OF SERVICE SHALL THEREAFTER BE DEEMED TO HAVE A DEFINITIVE, PERMANENT AND NON-EXCLUSIVE EASEMENT ON THE LOT, COVERING A 5 FOOT STRIP EXTENDING 2.5 FEET ON EACH SIDE OF THE SERVICE CABLE OR LINE EXTENDING FROM THE GAS MAIN, SERVICE PEDESTAL OR TRANSFORMER TO THE SERVICE ENTRANCE ON THE STRUCTURE.
- 3. THE SUPPLIER OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS SERVICES, THROUGH ITS AUTHORIZED AGENTS AND EMPLOYEES, SHALL AT ALL TIMES HAVE RIGHT OF ACCESS TO ALL UTILITY EASEMENTS SHOWN ON THE PLAT OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF THE UNDERGROUND ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS SERVICE FACILITIES INSTALLED BY THE SUPPLIER OF THE UTILITY SERVICE.
- 4. THE LOT OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE OVERHEAD AND/OR UNDERGROUND SERVICE FACILITIES LOCATED ON THE OWNER'S LOT AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY CONSTRUCTION ACTIVITY WHICH MAY INTERFERE WITH SAID ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS FACILITIES. EACH SUPPLIER OF THESE SERVICES SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF OVERHEAD AND/OR UNDERGROUND FACILITIES, BUT THE LOT OWNER SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE LOT OWNER OR THE LOT OWNER'S AGENTS OR CONTRACTORS.
- 5. THE COVENANTS SET FORTH IN THIS SUBSECTION SHALL BE ENFORCEABLE BY EACH SUPPLIER OF THE ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS SERVICE AND THE LOT OWNER AGREES TO BE BOUND BY THESE COVENANTS.

C. WATER, SANITARY SEWER AND STORM SEWER SERVICE

- 1. THE LOT OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC WATER MAINS, SANITARY SEWER MAINS AND STORM SEWERS LOCATED ON THE LOT.
- 2. WITHIN THE UTILITY EASEMENTS, STORM SEWER EASEMENTS AND DRAINAGE EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, THE ALTERATION OF GRADE FROM THE CONTOURS EXISTING UPON THE COMPLETION OF INSTALLATION OF A PUBLIC WATER MAIN, SANITARY SEWER MAIN OR STORM SEWER, OR ANY CONSTRUCTION ACTIVITY WHICH WOULD, IN THE JUDGMENT OF THE CITY OF TULSA INTERFERE WITH PUBLIC WATER MAINS, SANITARY SEWER MAINS, AND STORM SEWERS SHALL BE PROHIBITED.
- 3. THE CITY OF TULSA, OKLAHOMA, OR ITS SUCCESSORS, SHALL BE RESPONSIBLE FOR THE ORDINARY MAINTENANCE OF PUBLIC WATER MAINS AND SANITARY SEWER MAINS AND STORM SEWERS, BUT THE LOT OWNER SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE LOT OWNER, OR THE LOT OWNER'S AGENTS AND /OR CONTRACTORS.
- 4. THE CITY OF TULSA, OKLAHOMA, OR ITS SUCCESSORS, SHALL AT ALL TIMES HAVE RIGHT OF ACCESS TO ALL UTILITY EASEMENTS, STORM SEWER EASEMENTS AND DRAINAGE EASEMENTS DEPICTED UPON THE ACCOMPANYING PLAT, OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION, FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING, OR REPLACING ANY PORTION OF UNDERGROUND PUBLIC WATER, SANITARY SEWER, OR STORM SEWER FACILITIES.
- 5. THE COVENANTS SET FORTH IN THIS SUBSECTION SHALL BE ENFORCEABLE BY THE CITY OF TULSA, OKLAHOMA OR ITS SUCCESSORS, AND THE LOT OWNER AGREES TO BE BOUND BY THESE COVENANTS.

D. GAS SERVICE

- 1. THE SUPPLIER OF GAS SERVICE, THROUGH ITS AGENTS AND EMPLOYEES SHALL AT ALL TIMES HAVE THE RIGHT OF ACCESS TO ALL UTILITY EASEMENTS SHOWN ON THE PLAT OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF THE FACILITIES INSTALLED BY THE SUPPLIER OF GAS SERVICE.
- 2. THE LOT OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND GAS FACILITIES LOCATED WITHIN THE LOT AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY OTHER CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH GAS SERVICE. THE SUPPLIER OF GAS SERVICES SHALL BE RESPONSIBLE FOR THE ORDINARY MAINTENANCE OF ITS FACILITIES, BUT THE LOT OWNER SHALL PAY FOR DAMAGE OR RELOCATION OF FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE LOT OWNER OR ITS AGENTS OR CONTRACTORS.
- 3. THE COVENANTS SET FORTH IN THIS SUBSECTION SHALL BE ENFORCEABLE BY THE SUPPLIER OF THE GAS SERVICE AND THE LOT OWNER AGREES TO BE BOUND BY THESE COVENANTS.

E. SURFACE DRAINAGE

EACH LOT SHALL RECEIVE AND DRAIN, IN AN UNOBSTRUCTED MANNER, THE STORMWATER FROM LOTS AND DRAINAGE AREAS OF HIGHER ELEVATION. THE LOT OWNER SHALL NOT CONSTRUCT OR PERMIT TO BE CONSTRUCTED ANY OBSTRUCTIONS WHICH WOULD IMPAIR THE DRAINAGE OF STORM AND SURFACE WATERS OVER AND ACROSS THE OWNER'S LOT. THE COVENANTS SET FORTH IN THIS SUBSECTION SHALL BE ENFORCEABLE BY ANY AFFECTED LOT OWNER AND BY THE CITY OF TULSA, OKLAHOMA.

F. SIDEWALKS; SIDEWALK EASEMENTS

SIDEWALKS SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE TULSA METROPOLITAN AREA SUBDIVISION AND DEVELOPMENT REGULATIONS, CITY OF TULSA ORDINANCES AND CITY OF TULSA DESIGN STANDARDS. THE OWNER SHALL BE RESPONSIBLE FOR CONSTRUCTION OF A SIDEWALK WITHIN THE RIGHT OF WAY OF SOUTH MAYBELLE AVENUE AND WITHIN RESERVES A AND C PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN THE SUBDIVISION. CONTINUOUS SIDEWALKS SHALL BE CONSTRUCTED AND MAINTAINED WITHIN THE AREAS DEPICTED ON THE ACCOMPANYING PLAT AS "SIDEWALK EASEMENT" OR "SWE". PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT FOR THE DWELLING WITHIN A LOT, THE OWNER OF THE PARTICULAR LOT SHALL CONSTRUCT THE SIDEWALK WITHIN THE SIDEWALK EASEMENT ON THE LOT, AND SHALL THEREAFTER MAINTAIN THE SIDEWALK WITHIN THE LOT. THE SIDEWALK SHALL BE CONTINUOUS WITHIN ANY EXISTING SIDEWALKS IN ADJOINING LOTS AT THE LOT BOUNDARY. WITH THE EXCEPTION OF A SIDEWALK, NO BUILDING, STRUCTURE, FENCE, WALL OR OTHER ABOVE GROUND OBSTRUCTION SHALL BE PLACED, ERECTED, INSTALLED OR MAINTAINED WITHIN A SIDEWALK EASEMENT.

THE OWNER HEREBY ESTABLISHES AN EASEMENT FOR ACCESS ON, OVER AND ACROSS THE AREAS DEPICTED IN THE ACCOMPANYING PLAT AS "SIDEWALK EASEMENT" OR "SW/E" FOR THE BENEFIT OF THE OWNERS OF LOTS WITHIN THE SUBDIVISION, THEIR RESPECTIVE TENANTS, AGENTS, GUESTS AND INVITEES. THE OWNER HEREBY RESERVES, FOR SUBSEQUENT CONVEYANCE TO THE HOMEOWNERS' ASSOCIATION TO BE FORMED PURSUANT TO SECTION III A PERPETUAL EASEMENT ON, OVER AND ACROSS THE LOCATION OF THE SIDEWALKS CONSTRUCTED WITHIN THE SUBDIVISION TO IMPROVE, MAINTAIN, OR REPLACE THE SIDEWALKS, AND ON, OVER AND ACROSS SUCH ADJOINING AREA AS IS NECESSARY TO ACCOMPLISH SUCH IMPROVEMENT, MAINTENANCE OR REPLACEMENT. THE HOMEOWNERS' ASSOCIATION SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO IMPROVE, MAINTAIN OR REPLACE THE SIDEWALKS CONSTRUCTED WITHIN THE SUBDIVISION

G. PAVING AND LANDSCAPING WITHIN EASEMENTS

THE LOT OWNER SHALL BE RESPONSIBLE FOR THE REPAIR OF DAMAGE TO LANDSCAPING AND PAVING OCCASIONED BY INSTALLATION OR NECESSARY MAINTENANCE OF UNDERGROUND WATER, SANITARY SEWER, STORM SEWER, NATURAL GAS, COMMUNICATION, CABLE TELEVISION, OR ELECTRIC FACILITIES WITHIN THE EASEMENT AREAS DEPICTED UPON THE ACCOMPANYING PLAT, PROVIDED THE CITY OF TULSA, OKLAHOMA, OR ITS SUCCESSORS, OR THE SUPPLIER OF THE UTILITY SERVICE SHALL USE REASONABLE CARE IN THE PERFORMANCE OF SUCH ACTIVITIES.

H. CERTIFICATE OF OCCUPANCY RESTRICTIONS

NO CERTIFICATE OF OCCUPANCY FOR A BUILDING WITHIN THE SUBDIVISION SHALL BE ISSUED BY THE CITY OF TULSA, OKLAHOMA UNTIL CONSTRUCTION OF THE REQUIRED INFRASTRUCTURE (STREETS, WATER, SANITARY SEWER, STORM SEWER SYSTEMS AND SIDEWALKS ALONG MAYBELLE AVENUE, RESERVE A AND RESERVE C SERVING THE ENTIRE SUBDIVISION HAS BEEN COMPLETED AND ACCEPTED BY THE CITY. NOTWITHSTANDING THE FOREGOING, THE CITY MAY AUTHORIZE THE ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY IF, IN THE CITY'S SOLE DISCRETION, THE CITY MAY AUTHORIZE THE PHASING OF THE CONSTRUCTION OF INFRASTRUCTURE WITHIN THE SUBDIVISION, AND IF PHASING IS AUTHORIZED, A CERTIFICATE OF OCCUPANCY FOR A BUILDING WITHIN AN AUTHORIZED PHASE MAY ISSUE UPON THE COMPLETION AND ACCEPTANCE OF THE INFRASTRUCTURE SERVING THE PARTICULAR PHASE. BUILDING CONSTRUCTION OCCURRING PRIOR TO THE CITY'S ACCEPTANCE OF THE INFRASTRUCTURE SHALL BE AT THE RISK OF THE OWNER OF THE LOT, NOTWITHSTANDING THE ISSUANCE OF A BUILDING PERMIT OR OF A TEMPORARY CERTIFICATE OF OCCUPANCY.

I. STORM SEWER EASEMENT

THE OWNER DOES HEREBY DEDICATE TO THE PUBLIC PERPETUAL EASEMENTS ON, OVER, AND ACROSS THOSE AREAS DEPICTED ON THE ACCOMPANYING PLAT AS "STORM SEWER EASEMENT" OR "ST/E" FOR THE PURPOSES OF CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING, REPLACING, AND/OR REMOVING STORM SEWERS, TOGETHER WITH ALL FITTINGS, INCLUDING THE PIPES, MANHOLES, AND EQUIPMENT AND OTHER APPURTENANCES THERETO, TOGETHER WITH RIGHTS OF INGRESS AND EGRESS TO AND UPON THE EASEMENTS FOR THE USES AND PURPOSES STATED.

J. DRAINAGE EASEMENT (D/E)

- 1. THE OWNER DOES HEREBY DEDICATE TO THE PUBLIC PERPETUAL EASEMENTS ON, OVER, AND ACROSS THOSE AREAS DEPICTED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENT" FOR THE PURPOSES OF PERMITTING THE OVERLAND FLOW, CONVEYANCE, AND DISCHARGE OF STORMWATER RUNOFF FROM THE VARIOUS LOTS WITHIN THE SUBDIVISION AND FROM PROPERTIES OUTSIDE THE SUBDIVISION AND FOR THE PURPOSES OF CONSTRUCTING, MAINTAINING, REPAIRING, REMOVING AND REPLACING STORM SEWERS, AND ANY APPURTENANCES THERETO, WITH THE RIGHTS OF INGRESS AND EGRESS TO AND UPON THE DRAINAGE EASEMENTS FOR THE USES AND PURPOSES STATED.
- 2. DRAINAGE FACILITIES LOCATED WITHIN DRAINAGE EASEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS APPROVED BY THE CITY OF TULSA, OKLAHOMA, OR ITS SUCCESSORS.
- 3. NO FENCE, WALL, BUILDING OR OTHER OBSTRUCTION SHALL BE PLACED OR MAINTAINED IN DRAINAGE EASEMENTS NOR SHALL THERE BE ANY ALTERATION OF GRADE IN THE EASEMENT AREAS UNLESS APPROVED BY THE CITY OF TULSA, OKLAHOMA, PROVIDED THE PLANTING OF TURF SHALL NOT REQUIRE THE APPROVAL OF THE CITY OF TULSA.
- 4. THE ABOVE GROUND AREA OF ANY DRAINAGE EASEMENT SHALL BE MAINTAINED BY THE OWNER OF THE LOT WITHIN WHICH THE EASEMENT IS LOCATED, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF TULSA, OKLAHOMA. IN THE EVENT THE LOT OWNER FAILS TO PROPERLY MAINTAIN THE DRAINAGE EASEMENT OR, IN THE EVENT OF THE PLACEMENT OF AN OBSTRUCTION WITHIN A DRAINAGE EASEMENT, OR THE ALTERATION OF THE GRADE THEREIN, THE CITY OF TULSA, OKLAHOMA, OR ITS DESIGNATED CONTRACTOR MAY ENTER THE EASEMENT AND PERFORM MAINTENANCE NECESSARY TO ACHIEVE THE INTENDED DRAINAGE FUNCTIONS AND MAY REMOVE ANY OBSTRUCTION OR CORRECT ANY ALTERATION OF GRADE, AND THE COSTS THEREOF SHALL BE PAID BY THE LOT OWNER. IN THE EVENT THE LOT OWNER FAILS TO PAY THE COST OF MAINTENANCE AFTER COMPLETION OF THE MAINTENANCE AND RECEIPT OF A STATEMENT OF COSTS, THE CITY OF TULSA, OKLAHOMA, MAY FILE OF RECORD A COPY OF THE STATEMENT OF COSTS, AND THEREAFTER THE COSTS SHALL BE A LIEN AGAINST THE LOT. A LIEN ESTABLISHED AS ABOVE PROVIDED MAY BE FORECLOSED BY THE CITY OF TULSA, OKLAHOMA.

K. FENCE AND LANDSCAPE EASEMENT (F/LE)

THE OWNER DOES HEREBY ESTABLISH AND GRANT FENCE AND LANDSCAPE EASEMENTS ON, OVER, AND ACROSS THE AREAS DESIGNATED AS "F/LE" OR "FENCE AND LANDSCAPE EASEMENT" AS SHOWN ON THE ACCOMPANYING PLAT FOR THE USE AND BENEFIT OF THE HOMEOWNER'S ASSOCIATION. THE FENCE AND LANDSCAPE EASEMENTS ARE FOR THE LIMITED PURPOSE OF CONSTRUCTING AND MAINTAINING PERIMETER DECORATIVE FENCES AND ENTRY FEATURES INCLUDING BUT NOT LIMITED TO GATES, FENCES, WALLS, IRRIGATION SYSTEMS, AND LANDSCAPING, AND FOR THE PURPOSE OF MAINTENANCE AND REPAIR THEREOF, TOGETHER WITH THE RIGHT OF ACCESS OVER, ACROSS AND ALONG SUCH EASEMENTS AND OVER, ACROSS AND ALONG LOTS IN WHICH CONTAIN SUCH EASEMENTS. THE RIGHTS HEREIN ESTABLISHED SHALL BE SUBORDINATE TO THE RIGHTS ESTABLISHED AND GRANTED BY UTILITY EASEMENTS ELSEWHERE DEDICATED HEREIN.

L. OVERLAND DRAINAGE EASEMENT (OD/E)

- 1. THE OWNER DOES HEREBY DEDICATE TO THE PUBLIC PERPETUAL EASEMENTS ON, OVER, AND ACROSS THOSE AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "OVERLAND DRAINAGE EASEMENT" FOR THE PURPOSE OF PERMITTING THE OVERLAND FLOW, CONVEYANCE, AND DISCHARGE OF STORMWATER RUNOFF FROM VARIOUS LOTS WITHIN THE SUBDIVISION AND FROM PROPERTIES OUTSIDE THE SUBDIVISION.
- 2. DRAINAGE FACILITIES LOCATED WITHIN OVERLAND DRAINAGE EASEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADOPTED STANDARDS OF THE CITY OF TULSA, OKLAHOMA, AND PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF TULSA, OKLAHOMA.
- 3. NO FENCE, WALL, BUILDING OR OTHER OBSTRUCTION SHALL BE PLACED OR MAINTAINED WITHIN AN OVERLAND DRAINAGE EASEMENT NOR SHALL THERE BE ANY ALTERATION OF THE GRADE IN THE EASEMENTS UNLESS APPROVED BY THE CITY OF TULSA, OKLAHOMA, PROVIDED THAT THE PLANTING OF TURF SHALL NOT REQUIRE THE APPROVAL OF THE CITY OF TULSA, OKLAHOMA.

4. OVERLAND DRAINAGE EASEMENTS LOCATED WITHIN A LOT SHALL BE MAINTAINED BY THE OWNER OF THE LOT AT THE OWNER'S EXPENSE IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF TULSA, OKLAHOMA. IN THE EVENT THE OWNER OF THE LOT FAILS TO PROPERLY MAINTAIN THE EASEMENTS LOCATED THEREON OR, IN THE EVENT OF THE PLACEMENT OF AN OBSTRUCTION WITHIN SUCH EASEMENTS, OR THE ALTERATION OF GRADE THEREIN, THE CITY OF TULSA, OKLAHOMA, OR ITS DESIGNATED CONTRACTOR MAY ENTER THE EASEMENTS AND PERFORM MAINTENANCE NECESSARY TO ACHIEVE THE INTENDED DRAINAGE FUNCTIONS AND MAY REMOVE ANY OBSTRUCTION OR CORRECT ANY ALTERATION OF GRADE, AND THE COSTS SHALL BE PAID BY THE LOT OWNER. IN THE EVENT THE LOT OWNER FAILS TO PAY THE COST OF MAINTENANCE AFTER RECEIPT OF A STATEMENT OF COSTS FROM THE CITY OF TULSA, OKLAHOMA, THE CITY MAY FILE OF RECORD A COPY OF THE STATEMENT OF COSTS IN THE LAND RECORDS OF THE TULSA COUNTY CLERK, AND THEREAFTER THE COSTS SHALL BE A LIEN AGAINST THE LOT. A LIEN ESTABLISHED AS PROVIDED ABOVE MAY BE FORECLOSED BY THE CITY OF TULSA, OKLAHOMA.

M. LIMITS OF NO ACCESS LNA

THE OWNER HEREBY RELINQUISHES RIGHTS OF VEHICULAR INGRESS OR EGRESS FROM ANY PORTION OF THE PROPERTY ADJACENT TO SOUTH MAYBELLE AVENUE WITHIN THE BOUNDS DESIGNATED AS "LIMITS OF NO ACCESS" ON THE ACCOMPANYING PLAT, WHICH LIMITS OF NO ACCESS MAY BE AMENDED OR RELEASED BY THE TULSA METROPOLITAN AREA PLANNING COMMISSION, OR ITS SUCCESSOR, WITH THE APPROVAL OF THE CITY OF TULSA, OKLAHOMA, OR AS OTHERWISE PROVIDED BY THE STATUTES AND LAWS OF THE STATE OF OKLAHOMA PERTAINING THERETO, AND THE LIMITS OF NO ACCESS ESTABLISHED ABOVE SHALL BE ENFORCEABLE BY THE CITY OF TULSA, OKLAHOMA.

SECTION II. RESERVES

A. RESERVE A AND C - STORMWATER DETENTION AND UTILITIES

- 1. THE USE OF RESERVES A AND C SHALL BE LIMITED TO OPEN SPACE, LANDSCAPING, STORMWATER DETENTION AND LOCATION OF UTILITIES. RESERVES A AND C ARE RESERVED FOR SUBSEQUENT CONVEYANCE TO THE HOMEOWNERS' ASSOCIATION REFERRED TO IN
- 2. THE OWNER HEREBY DEDICATES TO THE PUBLIC PERPETUAL EASEMENTS ON, OVER AND ACROSS RESERVE A AND C AS DESIGNATED ON THE ACCOMPANYING PLAT FOR THE PURPOSES OF PERMITTING THE FLOW, CONVEYANCE, RETENTION, DETENTION AND DISCHARGE OF STORM WATER RUNOFF FROM THE VARIOUS LOTS WITHIN THE SUBDIVISION AND FROM PROPERTIES OUTSIDE THE SUBDIVISION.
- STORM WATER DETENTION, RETENTION AND OTHER DRAINAGE FACILITIES LOCATED WITHIN THE STORMWATER DETENTION EASEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS APPROVED BY THE CITY OF TULSA.
- 4. NO FENCE, WALL, BUILDING, OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN RESERVES A OR C, NOR SHALL THERE BE ANY ALTERATION OF THE GRADE OR CONTOURS IN RESERVES A OR C UNLESS APPROVED BY THE CITY OF TULSA.
- 5. DETENTION, RETENTION AND OTHER DRAINAGE FACILITIES IN RESERVES A AND C SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION TO THE EXTENT NECESSARY TO ACHIEVE IN THE INTENDED DRAINAGE, RETENTION AND DETENTION FUNCTIONS, INCLUDING THE REPAIR OF APPURTENANCES AND REMOVAL OF OBSTRUCTIONS AND SILTATION. DETENTION FACILITIES SHALL BE MAINTAINED BY THE ASSOCIATION IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS:
- a. GRASS AREAS SHALL BE MOWED (IN SEASON) AT REGULAR INTERVALS OF FOUR WEEKS, OR LESS.
- b. CONCRETE APPURTENANCES SHALL BE MAINTAINED IN GOOD CONDITION AND REPLACED IF DAMAGED.

c. THE DETENTION EASEMENT SHALL BE KEPT FREE OF DEBRIS.

- d. CLEANING OF SILTATION AND VEGETATION FROM CONCRETE CHANNELS SHALL BE PERFORMED TWICE YEARLY.
- 6. LANDSCAPING APPROVED BY THE CITY OF TULSA SHALL BE ALLOWED IN RESERVES A AND C.
- 7. IN THE EVENT THE HOMEOWNERS' ASSOCIATION SHOULD FAIL TO PROPERLY MAINTAIN THE DETENTION, RETENTION, AND OTHER DRAINAGE FACILITIES OR, IN THE EVENT OF THE PLACEMENT OF AN OBSTRUCTION, OR THE ALTERATION OF GRADE WITHIN A DETENTION EASEMENT, THE CITY OF TULSA, OKLAHOMA, OR ITS DESIGNATED CONTRACTOR MAY ENTER AND PERFORM MAINTENANCE NECESSARY TO ACHIEVE THE INTENDED DRAINAGE FUNCTIONS AND MAY REMOVE ANY OBSTRUCTION OR CORRECT ANY ALTERATION OF GRADE, AND THE COSTS THEREOF SHALL BE PAID BY THE HOMEOWNERS' ASSOCIATION. IN THE EVENT THE HOMEOWNERS' ASSOCIATION FAILS TO PAY THE COST OF MAINTENANCE AFTER COMPLETION OF THE MAINTENANCE AND RECEIPT OF A STATEMENT OF COSTS, THE CITY OF TULSA, OKLAHOMA, MAY FILE OF RECORD A COPY OF THE STATEMENT OF COSTS IN THE LAND RECORDS OF THE TULSA COUNTY CLERK, AND THEREAFTER THE COSTS SHALL BE A LIEN AGAINST EACH LOT WITHIN THE SUBDIVISION, PROVIDED THE LIEN AGAINST EACH LOT SHALL NOT EXCEED 1/59TH OF THE COSTS. A LIEN ESTABLISHED AS ABOVE PROVIDED MAY BE FORECLOSED BY THE CITY OF TULSA.

B. RESERVE B

- 1. THE USE OF RESERVE B SHALL BE LIMITED TO A GREEN BELT AND TREE PRESERVATION AREA. RESERVE B IS RESERVED FOR SUBSEQUENT CONVEYANCE TO THE HOMEOWNERS' ASSOCIATION REFERRED TO IN SECTION III BELOW.
- 2. RESERVE B SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION, AND THE MAINTENANCE SHALL BE PERFORMED TO THE EXTENT NECESSARY TO ACHIEVE THE INTENDED TREE PRESERVATION AND OPEN SPACE FUNCTIONS. RESERVE B SHALL BE MAINTAINED IN AN ORDERLY CONDITION IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE NUISANCE ORDINANCES OF THE CITY OF TULSA.

C. RESERVE D - PRIVATE STREETS

- 1. USE OF RESERVE D SHALL BE LIMITED TO PRIVATE STREETS, OPEN SPACE, DRAINAGE, UTILITIES, ENTRANCE SECURITY, AND DECORATIVE FENCING AND LANDSCAPING. RESERVE D IS RESERVED FOR SUBSEQUENT CONVEYANCE TO THE HOMEOWNERS' ASSOCIATION, TO BE FORMED PURSUANT TO SECTION III HEREOF.
- 2. STREETS LOCATED WITHIN RESERVE D AS DEPICTED ON THE ACCOMPANYING PLAT, ARE ESTABLISHED BY GRANT OF THE OWNER AS PRIVATE STREETS FOR THE COMMON USE AND BENEFIT OF THE OWNERS OF THE RESIDENTIAL LOTS, THEIR GUESTS AND INVITEES, FOR THE PURPOSE OF PROVIDING VEHICULAR AND PEDESTRIAN ACCESS TO AND FROM THE VARIOUS RESIDENTIAL LOTS AND PUBLIC STREETS
- 3. THE OWNER HEREBY GRANTS TO THE CITY OF TULSA, OKLAHOMA, THE UNITED POSTAL SERVICE, ANY PUBLIC UTILITY PROVIDING UTILITY SERVICE TO THE SUBDIVISION, AND TO THE REFUSE COLLECTION SERVICE WHICH PROVIDES SERVICE WITHIN THE SUBDIVISION, THE RIGHT TO ENTER AND TRAVERSE THE PRIVATE STREETS WITHIN RESERVE D AND TO OPERATE THEREON ALL SERVICE, EMERGENCY AND GOVERNMENT VEHICLES INCLUDING, BUT NOT LIMITED TO POLICE AND FIRE VEHICLES AND EQUIPMENT.
- 4. THE OWNER, FOR ITSELF, ITS SUCCESORS, AND THE HOMEOWNERS' ASSOCIATION TO BE FORMED PURSUANT TO SECTION III. HEREOF, HEREBY COVENANTS WITH THE CITY OF TULSA, OKLAHOMA, WHICH COVENANTS SHALL RUN WITH THE LAND AND INURE TO THE BENEFIT OF THE CITY OF TULSA, OKLAHOMA, AND SHALL BE ENFORCEABLE BY THE CITY OF TULSA, OKLAHOMA, TO:
 - A. CONSTRUCT AND MAINTAIN STREET SURFACING EXTENDING THE FULL LENGTH OF THE PRIVATE STREETS DEPICTED WITHIN RESERVE D, IN ACCORDANCE WITH THE FOLLOWING:

 1. PROVIDE STREETS IN WHICH SURFACING WIDTH, CURBING, GUTTERING, GRADE,
 - BASE AND PAVING MATERIALS, AND ALL OTHER FEATURES MEET OR EXCEED CITY OF TULSA DESIGN STANDARDS FOR A RESIDENTIAL PUBLIC STREET.
 - PROHIBIT THE ERECTION OF ANY ARCH OR SIMILAR STRUCTURE OVER THE PRIVATE STREETS WITHIN RESERVE D WHICH WOULD OBSTRUCT THE PASSAGE OF ANY GOVERNMENTAL VEHICLE OR ANY EMERGENCY VEHICLE AND PARTICULARLY ANY FIRE SUPPRESSION VEHICLE.

- 3. SECURE INSPECTION BY THE CITY OF TULSA, OKLAHOMA OF THE PRIVATE STREETS AND SECURE CERTIFICATION BY THE CITY OF TULSA, OKLAHOMA THAT THE PRIVATE STREETS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS ABOVE SET FORTH, OR IF THE CITY OF TULSA, OKLAHOMA DECLINES TO INSPECT THE PRIVATE STREETS, CERTIFICATION SHALL BE SECURED FROM A LICENSED PROFESSIONAL ENGINEER THAT THE PRIVATE STREETS WERE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS ABOVE SET FORTH, AND THE REQUIRED CERTIFICATION SHALL BE FILED WITH THE TULSA ENGINEERING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR ANY LOT THAT DERIVES ITS ACCESS FROM A PRIVATE STREET.
- 4. THE OWNER ACKNOWLEDGES FOR ITSELF AND ITS SUCCESSORS IN TITLE THAT THE PRIVATE STREETS DEPICTED ON THE ACCOMPANYING PLAT DO NOT MEET THE CITY OF TULSA, OKLAHOMA STANDARDS AS TO WIDTH OF DEDICATED RIGHT-OF-WAY, AND FURTHER ACKNOWLEDGES THAT THE CITY OF TULSA, OKLAHOMA SHALL HAVE NO DUTY TO MAINTAIN ANY OF THE PRIVATE STREETS WITHIN THE SUBDIVISION, NOR HAVE ANY IMPLIED OBLIGATION TO ACCEPT ANY SUBSEQUENT TENDER OF DEDICATION OF ANY PRIVATE STREET WITHIN THE SUBDIVISION.

SECTION III. HOMEOWNERS' ASSOCIATION

A. FORMATION OF HOMEOWNERS' ASSOCIATION

THE OWNER HAS FORMED OR SHALL CAUSE TO BE FORMED IN ACCORDANCE WITH THE STATUTES OF THE STATE OF OKLAHOMA THE MAYBELLE VILLAS HOMEOWNERS' ASSOCIATION, INC., A NONPROFIT ENTITY (SOMETIMES REFERRED TO HEREIN AS THE HOMEOWNERS' ASSOCIATION OR ASSOCIATION"). THE HOMEOWNERS' ASSOCIATION SHALL BE FORMED FOR THE GENERAL PURPOSE OF MAINTAINING ALL RESERVE AREAS AND OTHER COMMON AREAS WITHIN MAYBELLE VILLAS, AND OTHERWISE ENHANCING THE VALUE, DESIRABILITY AND ATTRACTIVENESS OF THE SUBDIVISION.

B. MEMBERSHIP

EVERY PERSON OR ENTITY WHO IS A RECORD OWNER OF THE FEE INTEREST OF A LOT SHALL BE A MEMBER OF THE HOMEOWNERS' ASSOCIATION. MEMBERSHIP SHALL BE APPURTENANT TO AND SHALL NOT BE SEPARATED FROM THE OWNERSHIP OF A LOT. THE ACCEPTANCE OF A DEED TO A LOT SHALL CONSTITUTE ACCEPTANCE OF MEMBERSHIP TO THE HOMEOWNERS' ASSOCIATION AS OF THE DATE OF INCORPORATION, OR AS OF THE DATE OF RECORDING OF THE DEED, WHICHEVER OCCURS LAST.

C. COVENANT FOR ASSESSMENTS

THE OWNER AND EACH SUBSEQUENT OWNER OF A LOT, BY ACCEPTANCE OF A DEED THERETO, ARE DEEMED TO COVENANT AND AGREE TO PAY TO THE HOMEOWNERS' ASSOCIATION AN ANNUAL ASSESSMENT WHICH SHALL BE NO LESS THAN THE MINIMUM AMOUNT NECESSARY TO ADEQUATELY MAINTAIN AND SUPPORT ALL COMMON AREAS OF INTEREST INCLUDING, WITHOUT LIMITATION, ALL RESERVE AREAS DESIGNATED ON THE PLAT. SAID ASSESSMENTS WILL BE ESTABLISHED BY THE BOARD OF DIRECTORS IN ACCORDANCE WITH A DECLARATION TO BE EXECUTED AND RECORDED BY THE HOMEOWNERS' ASSOCIATION. AN UNPAID ASSESSMENT, PROPERLY FILED, SHALL BECOME A LIEN UPON THE LOT AGAINST WHICH IT IS MADE. THE LIEN, HOWEVER, SHALL BE SUBORDINATE TO THE LIEN OF ANY FIRST MORTGAGE.

D. SPECIAL ASSESSMENTS

IN ADDITION TO THE ASSESSMENTS AUTHORIZED ABOVE, THE HOMEOWNERS' ASSOCIATION MAY LEVY A SPECIAL ASSESSMENT FOR THE PURPOSE OF DEFRAYING, IN WHOLE OR IN PART, THE COSTS OF ANY CONSTRUCTION OR RECONSTRUCTION, REPAIR OR REPLACEMENT OF A CAPITAL IMPROVEMENT UPON THE COMMON AREA OR ENTRYWAYS, INCLUDING THE NECESSARY FIXTURES AND PERSONAL PROPERTY RELATED THERETO, AND PAYMENT FOR ANY EXPENSES DEEMED NECESSARY AND APPROPRIATE BY THE BOARD OF DIRECTORS, SUBJECT TO THE TERMS OF AND AS MORE PARTICULARLY PROVIDED IN THE HOMEOWNERS' ASSOCIATION'S BYLAWS.

E. ENFORCEMENT RIGHTS OF THE ASSOCIATION

WITHOUT IMITATION OF SUCH OTHER POWERS AND RIGHTS AS THE HOMEOWNERS' ASSOCIATION MAY HAVE, THE HOMEOWNERS' ASSOCIATION SHALL BE DEEMED A BENEFICIARY, TO THE SAME EXTENT AS A LOT OWNER, OF THE VARIOUS COVENANTS SET FORTH WITHIN THIS DEED OF DEDICATION, AND SHALL HAVE THE RIGHT TO ENFORCE ALL THE COVENANTS TO THE SAME EXTENT AS A LOT OWNER.

F. RESERVE AREAS

ALL RESERVE AREAS SHALL BE MAINTAINED BY THE OWNER UNTIL SUCH TIME AS THE HOMEOWNERS' ASSOCIATION IS FORMED AND OWNERSHIP OF SUCH RESERVE AREA IS CONVEYED TO THE ASSOCIATION. FROM AND AFTER SAID DATE, THE HOMEOWNERS' ASSOCIATION SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF SUCH RESERVE AREAS AND ALL COSTS AND EXPENSES ASSOCIATED THEREWITH, INCLUDING MAINTENANCE OF VARIOUS IMPROVEMENTS AND RECREATIONAL FACILITIES.

G. INDEMNIFICATION OF OWNER AND CITY

THE HOMEOWNERS' ASSOCIATION AND ITS MEMBERS SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE CITY OF TULSA, THEIR RESPECTIVE AGENTS AND REPRESENTATIVES, FROM ANY CLAIMS, LIABILITIES OR DAMAGES ARISING IN CONNECTION WITH THE OWNERSHIP AND USE OF THE FACILITIES AND IMPROVEMENTS CONSTRUCTED OR SITUATED IN THE RESERVES.

SECTION IV. OPTIONAL DEVELOPMENT PLAN RESTRICTIONS

WHEREAS, THE PROPERTY WITHIN THE SUBDIVISION WAS MADE SUBJECT TO AN OPTIONAL DEVELOPMENT PLAN IN ACCORDANCE WITH THE TERMS OF SECTION 70.040 OF THE TULSA ZONING CODE, WHICH WAS AFFIRMATIVELY RECOMMENDED BY THE TULSA METROPOLITAN AREA PLANNING COMMISSION (THE "TMAPC") ON AUGUST 19, 2020 IN CASE NO. Z-7506, AND WAS APPROVED BY THE TULSA CITY COUNCIL ON SEPTEMBER 23, 2020, THE IMPLEMENTING ORDINANCE NO. 24451 BEING ADOPTED ON SEPTEMBER 30, 2020; AND

WHEREAS, THE PROVISIONS OF THE TULSA ZONING CODE REQUIRE THE ESTABLISHMENT OF COVENANTS OF RECORD, INURING TO AND ENFORCEABLE BY THE CITY OF TULSA, OKLAHOMA, SUFFICIENT TO ASSURE THE IMPLEMENTATION AND CONTINUED COMPLIANCE WITH THE APPROVED OPTIONAL DEVELOPMENT PLAN; AND

WHEREAS, THE OWNER DESIRES TO ESTABLISH RESTRICTIONS FOR THE PURPOSE OF PROVIDING FOR AN ORDERLY DEVELOPMENT OF THE SUBDIVISION IN ACCORDANCE WITH THE APPROVED OPTIONAL DEVELOPMENT PLAN AND TO INSURE ADEQUATE RESTRICTIONS FOR THE MUTUAL BENEFIT OF OWNER, ITS SUCCESSORS AND ASSIGNS, AND THE CITY OF TULSA, OKLAHOMA.

THEREFORE, THE OWNER DOES HEREBY IMPOSE THE FOLLOWING RESTRICTIONS AND COVENANTS WHICH SHALL BE COVENANTS RUNNING WITH THE LAND AND SHALL BE BINDING UPON THE OWNER, ITS SUCCESSORS AND ASSIGNS, AND SHALL BE ENFORCEABLE AS HEREINAFTER SET FORTH.

USE AND DEVELOPMENT OF THE PROPERTY WITHIN THE SUBDIVISION SHALL BE SUBJECT TO THE FOLLOWING DEVELOPMENT STANDARDS:

THE OPTIONAL DEVELOPMENT PLAN STANDARDS WILL CONFORM TO THE PROVISIONS OF THE TULSA ZONING CODE FOR DEVELOPMENT IN AN RS-3 DISTRICT WITH ITS SUPPLEMENTAL REGULATIONS EXCEPT AS FURTHER REFINED BELOW. ALL USE CATEGORIES, SUBCATEGORIES OR SPECIFIC USES AND RESIDENTIAL BUILDING TYPES THAT ARE NOT LISTED IN THE FOLLOWING PERMITTED USES CATEGORIES ARE PROHIBITED.

A. PERMITTED USE CATEGORY

RESIDENTIA

HOUSEHOLD LIVING (IF ALLOWED BELOW)

SINGLE HOUSEHOLD
DETACHED HOUSE

B. PERMITTED RESIDENTIAL BUILDING TYPES

SINGLE HOUSEHOLD

HOUSEHOLD LIVING

DETACHED HOUSE

C. SIDEWALKS

SIDEWALKS WILL BE REQUIRED AND CONSTRUCTED AS DEFINED IN THE SUBDIVISION AND DEVELOPMENT REGULATIONS FOR THE TULSA METROPOLITAN AREA. SIDEWALKS IN THE PUBLIC STREET RIGHT-OF-WAY AND ADJACENT TO PRIVATE STREETS WHERE THEY ABUT COMMON OPEN SPACE SHALL BE CONSTRUCTED PRIOR TO ISSUANCE OF ANY BUILDING PERMIT FOR RESIDENTIAL BUILDING TYPES.

D. VEHICULAR ACCESS

- 1. VEHICULAR ACCESS WILL BE PROVIDED BY A PRIVATELY OWNED AND MAINTAINED STREET.
- 2. PRIVATE STREETS WILL CONFORM TO THE CITY OF TULSA ENGINEERING STANDARDS FOR A MINOR RESIDENTIAL STREET.
- 3. PRIVATE STREETS WILL CONFORM TO THE SUBDIVISION REGULATIONS FOR THE CITY OF TULSA.
- 4. A SITE PLAN WITH THE GATE ASSEMBLY AND TURN AROUND AREAS MUST BE APPROVED BY DEVELOPMENT SERVICES PRIOR TO PRELIMINARY PLAT APPROVAL AT THE PLANNING COMMISSION.
- A MANDATORY HOMEOWNERS ASSOCIATION SHALL BE ESTABLISHED FOR MAINTENANCE OF THE STREET SYSTEM. THE CITY OF TULSA SHALL HAVE NO STREET MAINTENANCE OR REPAIR OBLIGATIONS OF ANY KIND.

E. LANDSCAPING:

STREET TREES ALONG SOUTH MAYBELLE AVENUE SHALL BE INSTALLED AND MAINTAINED PRIOR TO ISSUANCE OF A PERMIT FOR ANY RESIDENTIAL BUILDING TYPE AS FOLLOWS:

- 1. TREES SHALL BE INSTALLED AND MAINTAINED SO THE MAXIMUM SPACING OF THE TREES SHALL NOT EXCEED 35 FEET. AT THE TIME THE TREES ARE PLANTED THE MINIMUM HEIGHT SHALL BE 12 FEET WITH A MINIMUM CALIPER OF 2.5 INCHES.
- 2. TREES SHALL BE ON A LOT, OR IN A RESERVE AREA WITHIN 20 FEET OF THE PUBLIC STREET RIGHT OF WAY FOR SOUTH MAYBELLE.
- 3. REQUIRED STREET TREES SHALL BE INSTALLED AND MAINTAINED AS PART OF THE PROPERTY OWNER'S ASSOCIATION.
- 4. ADDITIONAL TREES AND LANDSCAPING MAY BE INSTALLED HOWEVER THE REQUIRED TREES MUST BE SELECTED FROM THE APPROVED TREE LIST ESTABLISHED AND PUBLISHED BY THE LAND USE ADMINISTRATOR.
- 5. ALL STREET YARDS AND RIGHT OF WAY WHERE TREES ARE REQUIRED SHALL BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.

SECTION V. ENFORCEMENT, DURATION, AMENDMENT AND SEVERABILITY

A. ENFORCEMENT

THE RESTRICTIONS HEREIN SET FORTH ARE COVENANTS TO RUN WITH THE LAND AND SHALL BE BINDING UPON THE OWNER AND ITS SUCCESSORS AND ASSIGNS IN TITLE. WITHIN THE PROVISIONS OF SECTION I. EASEMENTS AND UTILITIES ARE SET FORTH CERTAIN COVENANTS AND THE ENFORCEMENT RIGHTS PERTAINING THERETO, AND ADDITIONALLY THE COVENANTS WITHIN SECTION I, WHETHER OR NOT SPECIFICALLY THEREIN SO STATED SHALL INURE TO THE BENEFIT OF AND SHALL BE ENFORCEABLE BY THE CITY OF TULSA, OKLAHOMA. IN ANY JUDICIAL ACTION BROUGHT TO ENFORCE THE COVENANTS ESTABLISHED WITHIN THIS DEED OF DEDICATION, THE DEFENSE THAT THE PARTY INITIATING THE EQUITABLE PROCEEDING HAS AN ADEQUATE REMEDY AT LAW IS HEREBY WAIVED.

B. DURATION

ANY EVENT SHALL BE IN FORCE AND EFFECT FOR A TERM OF NOT LESS THAN THIRTY (30) YEARS FROM THE DATE OF THE RECORDING OF THIS DEED OF DEDICATION UNLESS TERMINATED OR AMENDED AS HEREINAFTER PROVIDED.

THESE RESTRICTIONS. TO THE EXTENT PERMITTED BY APPLICABLE LAW. SHALL BE PERPETUAL BUT IN

C. AMENDMENT

THE COVENANTS CONTAINED WITHIN SECTION I. EASEMENTS AND UTILITIES AND SECTION II, RESERVES, MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER OF THE LAND TO WHICH THE AMENDMENT OR TERMINATION IS TO BE APPLICABLE AND APPROVED BY THE TULSA METROPOLITAN AREA PLANNING COMMISSION OR ITS SUCCESSORS, AND THE CITY OF TULSA, OKLAHOMA. THE COVENANTS CONTAINED WITHIN SECTION IV. OPTIONAL DEVELOPMENT PLAN RESTRICTIONS, MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER OF THE LAND TO WHICH THE AMENDMENT OR TERMINATION IS TO BE APPLICABLE AND APPROVED BY THE TULSA METROPOLITAN

D. SEVERABILITY

FORCE AND EFFECT.

AREA PLANNING COMMISSION OR ITS SUCCESSORS.

INVALIDATION OF ANY RESTRICTION SET FORTH HEREIN, OR ANY PART THEREOF, BY AN ORDER, JUDGMENT, OR DECREE OF ANY COURT, OR OTHERWISE, SHALL NOT INVALIDATE OR AFFECT ANY OF THE OTHER RESTRICTIONS OR ANY PART THEREOF AS SET FORTH HEREIN, WHICH SHALL REMAIN IN FULL

DEED OF DEDICATION Maybelle Villas THAT IS PART OF THE NORTH HALF OF THE NORTHEAST QUARTER

A TRACT OF LAND THAT IS PART OF THE NORTH HALF OF THE NORTHEAST QUARTER (N/2 NE/4) OF SECTION FOURTEEN (14), TOWNSHIP EIGHTEEN (18) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA

SHAW HOMES INC & SHA	(W HOMES OKLAHOMA	110		
BY:				
NAME:				
TITLE: PRESID	ENT OF SHAW HOMES			
ACKNOWLEDGMENT)			
STATE OF OKLAHOMA) SS:			
COUNTY OF TULSA)				
THIS INSTRUMENT WAS A	ACKNOWLEDGED BEFOR	E ME THIS DAY	OF	, 2023
BY AS P	RESIDENT OF SHAW HO	MES INC & SHAW HC	MES OKLAHOM	IA INC
NOTARY PUBLIC				
MY COMMISSION NO:				
MY COMMISSION EXPIRE	S:			
[SEAL]				
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MAYBELLE VILLAS PRELIMINARY PLAT NOVEMBER 2, 2023 SHEET 3 OF 3

- 1. ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY STANDARDS AND SPECIFICATIONS
- EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN AND LOCATIONS HAVE BEEN VERIFIED BY THE OWNERS OF SAID LINES. THE EXACT LOCATIONS AND NOTIFICATIONS OF THE PROPER AGENCY IS THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO ANY EXCAVATION
- AFTER CONSTRUCTION IS COMPLETE, ALL DISTURBED AREAS SHALL BE RESEEDED ACCORDING TO CITY SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR SEEDED AREAS UNTIL GROWTH IS ESTABLISHED.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY WORK ORDERS AND PERMITS FROM THE CITY, INCLUDING PROVISIONS OF BONDS AND INSURANCE AS REQUIRED.
- DESIGNED SUBGRADES OR FOUNDATIONS, OR DETERMINED THE SUITABILITY OF THE LOCAL SOIL TO BE USED IN BUILDING SUBGRADES. REFER TO THE GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION SPECIFICS.

BUILDING SITES ARE SHOWN HEREON FOR FINAL GRADING INFORMATION ONLY. WALLACE ENGINEERING HAS NOT

- 6. ALL WASTE OR SPOIL SHALL BE TAKEN TO A CITY APPROVED SITE OR SPREAD IN AREAS OUTSIDE OF THE STREET RIGHTS-OF-WAY AS DIRECTED BY THE OWNER AND ENGINEER.
- . A RIGHT-OF-WAY PERMIT WILL BE REQUIRED FOR ALL WORK IN THE CITY RIGHT-OF-WAY. CALL 918-569-7344 FOR PERMIT
- 8. ALL GRADES ARE BASED ON NAVD 1988 U.S.G.S. VERTICAL DATUM.

Engineering Statement

BY MY SIGNATURE ON THESE CONSTRUCTION DOCUMENTS, I HEREBY CERTIFY THAT I AM FAMILIAR WITH THE ADOPTED ORDINANCES AND REGULATIONS OF THE CITY OF TULSA GOVERNING THIS IDP CONSISTING OF THE ITEMS LISTED IN THE IDP DESCRIPTION TO SERVE THIS SUBJECT PROPERTY; THAT THESE PLANS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION; THE ABOVE AND FOREGOING PLANS COMPLY WITH ALL GOVERNING ORDINANCES AND THE ADOPTED STANDARDS OF THE CITY OF TULSA TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Right of Way Construction Permit

BEFORE BLOCKING ANY LANE OF TRAFFIC, ANY SIDEWALK OR ANY PARKING METER OR BEFORE CUTTING ANY STREET, SIDEWALK, OR ALLEY YOU MUST FIRST APPLY FOR AND BE GRANTED A RIGHT OF WAY CONSTRUCTION PERMIT. PERMIT APPLICATIONS CAN BE PICKED UP ON THE 4TH FLOOR OF CITY HALL (175 E 2ND ST TULSA, OK). APPLICATION PACKETS CAN BE SUBMITTED TO THE STREETS AND STORMWATER DEPARTMENT ON THE 4TH FLOOR OF CITY HALL OR THEY CAN BE ELECTRONICALLY SUBMITTED AT ROWPERMITS@CITYOFTULSA.ORG.

CHRIS KOVAC

TULSA, OK 74120

PHONE: (918) 596-7285

SBC TELEPHONE COMPANY WALLACE DESIGN COLLECTIVE AEP/PSO STEVE SPRADLIN NICOLE WATTS KATHY BLEVINS 123 NORTH MARTIN LUTHER 212 EAST 6TH STREET 5305 EAST 71ST ST KING JR. BOULEVARD TULSA, OK 74136 TULSA, OK 74102 TULSA, OK 74013 PHONE: (918) 599-6503 PHONE: (918) 596-6588 PHONE: (918) 584-5858 COX COMMUNICATIONS OKLAHOMA NATURAL GAS CITY OF TULSA

PHONE: (918) 831-8386

Contact List

SCOTT GIDEON - NEW SERVICE ROBERT DREW 5848 EAST 15TH STREET 11811 EAST 51ST STREET 175 EAST SECOND STREET TULSA, OK 74145 TULSA, OK 74112

PHONE: (918) 286-4657

Civil Plans

Maybelle Villas

IDP NO. 81983-2020

THE SOUTH FIVE (5) ACRES OF THE WEST TEN (10) ACRES OF THE SOUTH TWENTY-SIX AND 2/3 (26 2/3) ACRES OF THE NORTH HALF OF THE NORTHEAST QUARTER (N/2 NE/4) OF SECTION 14, TOWNSHIP 18 NORTH, RANGE 12 EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEROF.

OWNER:

UNPLATTED

Maybelle Estates, LLC 8166 South Memorial Drive Tulsa, Oklahoma 74133-4309

Wallace Design Collective, PC 123 North Martin Luther King Jr Blvd. Tulsa, Oklahoma, 74103 Phone: (918) 584-5858

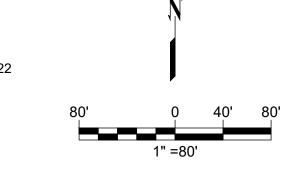
A. NICOLE WATTS, P.E. NO. 21511 OK CA NO. 1460, EXPIRES 6/30/2023 nwatts@wallacesc.com

ENGINEER:

SURVEYOR: Fritz Land Surveying, LLC 2020 W 91st Street

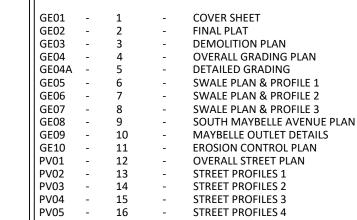
Tulsa, Oklahoma 74132 Phone: (918) 231-0575 OK CA NO. CA 5848, EXPIRES 6/30/2022

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Sheet Index IDP INDEX SHEET NO. SHEET TITLE

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STREET PROFILES 1 STREET PROFILES 2 STREET PROFILES 3 STREET PROFILES 4 STREET PROFILES 5 INTERSECTION DETAIL **INTERSECTION DETAIL 2** SIGNING & STRIPING PLAN DRAINAGE AREA MAP OVERALL STORM SEWER PLAN STORM SEWER PROFILES 1 STORM SEWER PROFILES 3 STORM SEWER PROFILES 4 STORM SEWER DETAILS 1 STORM SEWER DETAILS 2 NORTH DETENTION POND SW09A NORTH DETENTION DETAILS SW10 SOUTH DETENTION POND **OVERALL SANITARY SEWER PLAN** SANITARY SEWER PROFILES 1 SANITARY SEWER PROFILES 2 SS04 SANITARY SEWER PROFILES 3

R 12 I

W. 81st ST. S.

W. 91st ST. S.

LOCATION MAP

SITE

*NOTED SHEETS FOR IDP REVIEW PURPOSED ONLY AND NOT INCLUDED IN THE REVIEW FEE CALCULATION

DETAIL SHEET

SANITARY SEWER DETAILS

OVERALL WATERLINE PLAN WATERLINE PROFILES 1

WATERLINE PROFILES 2

WATERLINE PROFILES 3 WATERLINE PROFILES 4

SURVEY DATA SHEET

THE FOLLOWING STANDARD DRAWINGS FROM THE CITY OF TULSA ENGINEERING SERVICES AND ODOT WILL BE REQUIRED 126 STANDARD SILT FENCE & CONSTRUCTION ENTRANCE

304 BEDDING DETAIL - RIGID PIPE 305 BEDDING DETAIL - SEMI RIGID PIPE 308 STANDARD COMBINATION AIR VACUUM/AIR RELIEF VALVE

309 FIRE HYDRANT 310 BLOWOFF HYDRANT 311 SAMPLING TAP ON 4" - 12" WATER LINES 313 VALVE BOX

314 MANHOLE STEPS 315 THRUST BLOCKS AND TRENCH CONDITIONS 351 BEDDING DETAIL PVC FLEXIBLE SANITARY SEWER PIPE 353 FRAME AND LID FOR 4' I.D. SANITARY MANHOLE 358 SANITARY SEWER PRE-CAST SANITARY SEWER MANHOLES

366 MANHOLE STEP LOCATION AND INVERT DETAILS 401 MANHOLE GRADE ADJUSTMENT 608A STREET NAME SIGNS

608B TRAFFIC SIGNS 702 RESIDENTIAL CONCRETE DRIVEWAY ASPHALT STREET 704 RESIDENTIAL ASPHALT DRIVEWAY ASPHALT STREET 726 ASPHALT PAVEMENT STANDARD DETAILS FOR RESIDENTIAL AND COLLECTOR STREETS (TYPE 4)

751 PIPE BEDDING DETAIL FOR STORM SEWER 754 FRAME AND LID FOR 4',5',6' AND 8' I.D. STORMWATER MANHOLE AND JUNCTION BOXES 755 CONFIGURATIONS OF CAST IRON CURB INLETS

757 PUBLIC OR PRIVATE STORM SEWER CONNECTED TO PUBLIC STORM 764 STANDARD REINFORCED CONCRETE STORMWATER INLETS 765 STANDARD STORMWATER FRAMES

766 STANDARD STORMWATER GRATES 767 STANDARD CAST IRON CURB 770 STANDARD DROP INLET 15", 18", AND 24" 775 STANDARD PRECAST CONCRETE STORMWATER MANHOLE

779 STANDARD ENERGY DISSIPATOR 790 STANDARD SIDEWALK RAMP 792 SPECIAL TYPE II DROP INLET R-30 PREFABRICATED CULVERT END SECTIONS (PCES-4-1)

221(K) ODOT STD TFL-1

Fire Access Note

OFFSITE EMERGENCY ACCESS EASEMENT FOR SECONDARY FIRE ACCESS FOR THIS PROPERTY WILL BE PROVIDED PRIOR TO FINAL PLAT APPROVAL

APPROVED FOR IDP PERMIT ONLY

MICHAEL LING, PE DATE INFRASTRUCTURE DEVELOPMENT MANAGER CITY OF TULSA

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> OKLAHOMA TULS,

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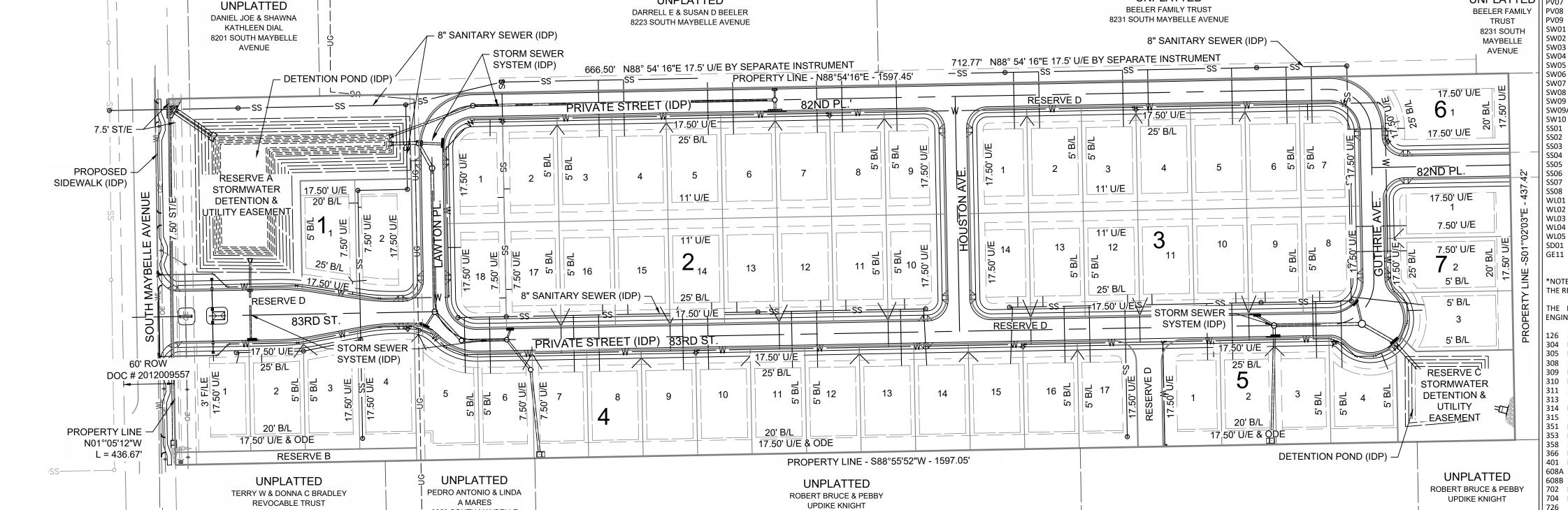
6-30-2021

	ISSUE LOG			
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HORT SCALE VERT SCALE IDP NO. ATLAS NO. MANAGER DRAWN BY

COVER SHEET

1 OF 46



LEGAL DESCRIPTION

IDP Description

WATERMAIN EXTENSION

SIDEWALKS & ADA RAMPS

STORM SEWER

A TRACT OF LAND THAT IS PART OF THE NORTH HALF OF THE NORTHEAST QUARTER (N/2 NE/4) OF SECTION FOURTEEN (14), TOWNSHIP EIGHTEEN (18) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, MORE PARTICULARLY

THE FOLLOWING ARE IN EASEMENTS & RESERVE AREAS TO SERVE THE SUBJECT PROPERTY (IDP 81983-2020):

SANITARY SEWER EXTENSION

UTILITY BY SEPARATE INSTRUMENT

DETENTION PONDS

SANITARY SEWER LONG SERVICE LINES

8359 SOUTH MAYBELLE

AVE

DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE NE/4 OF SAID SECTION 14; THENCE SOUTH 01°05'12" EAST ALONG THE WEST LINE OF THE NE/4 A DISTANCE OF 889.37 FEET TO THE POINT OF BEGINNING: THENCE NORTH 88°54'16" EAST 1597.45 FEET: THENCE SOUTH 01°02'03" EAST 437.42 FEET TO A POINT ON THE SOUTH LINE OF THE N/2 OF THE NE/4 OF SAID SECTION 14; THENCE SOUTH 88°55'52" WEST ALONG SAID SOUTH LINE 1597.05 FEET TO THE WEST LINE OF THE NE/4 OF SECTION 14; THENCE NORTH 01°05'12" WEST ALONG SAID WEST LINE 436.67 FEET TO THE POINT OF BEGINNING SAID TRACT OF LAND CONTAINS 16.03 ACRES.

ADS Benchmark Location

Legend

BUILDING LINE

CHISELED BOX, SET

LECTRIC METER

ASEMENT

FIRE HYDRAN

GUY ANCHOR

IRON PIN FOUND IRON PIN SET

IRRIGATION CONDUIT

MUTUAL ACCESS EASEMENT OVERHEAD ELECTRIC

LECTRIC PEDESTAL

FLOWLINE (INVERT)

FIRE PROTECTION

VER CLEAN-OUT

CORRUGATED POLYPROPYLENE PIPE

HIGH-PERFORMANCE POLYPROPLENE PIPE

STATION	COORDINATES	DESCRIPTION
TBG0023	N: 381651.133	5/8" REBAR - RED
	E: 2557002.642	CAP-STAMPED 'NORTH FO L.S. 1159'. SOUTH OF W. 9
	EL : 683.033'	ST AND EAST OF HYY, 75.

ADS Benchmark Location

8355 SOUTH MAYBELLE AVE

POLYVINYL CHLORIDE PIPE

REINFORCED CONCRETE PIPE

ROOF DRAIN
RESTRICTED WATERLINE EASEMEN

RESERVE AREA

SQUARE FEFT

SQUARE YARD

TOP OF GUTTER TOP OF PAVING

TOP OF WALL

STORM SEWER PIPE

STORM SEWER MANHOLE

SANITARY SEWER MANHOLE STORM SEWER

STORM SEWER EASEMENT

SANITARY SEWER PIPE

ELEPHONE PEDESTAL

UNDERGROUND ELECTRIC

UNDERGROUND TELEPHONE

OP OF SIDEWALK

UTILITY EASEMENT

WATER LINE WATER LINE EASEMENT

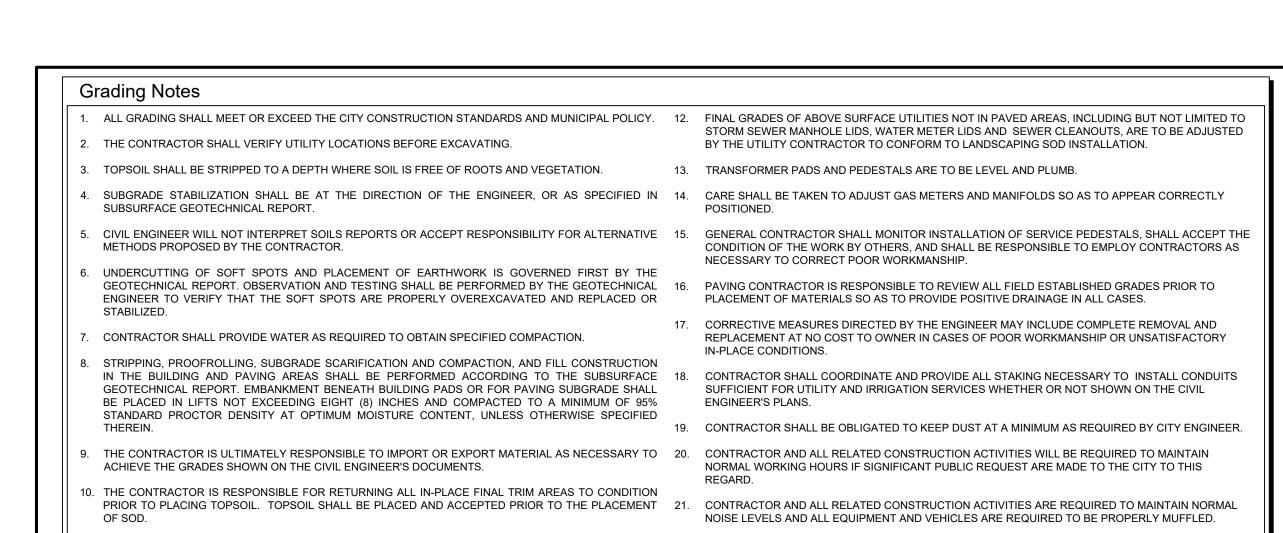
WATER SERVICE LINE

WATER MANHOLE

WATER VALVE TRANSFORMER

STATION	COORDINATES	DESCRIPTION
GPS 1	N: 386921.918	1/2" REBAR - 2" ALUMINUM
	E: 2557613.031	CAP-FLUSH-STAMPED. SET THE CENTER MEDIAN OF H
	EL: 721.698	75 AND SOUTH OF W. 81st

Impervious Area TOTAL SITE AREA: 698,069.93 SF (16.03 AC) 698,069.93 SF (16.03 AC) TOTAL DISTURBED AREA **EXISTING IMPERVIOUS AREA:** .. 4,746.48 SF (0.11 AC) PROPOSED IMPERVIOUS AREA:.. . 130,550.74 SF (3.00 AC) NET INCREASE: . +125,804.26 SF



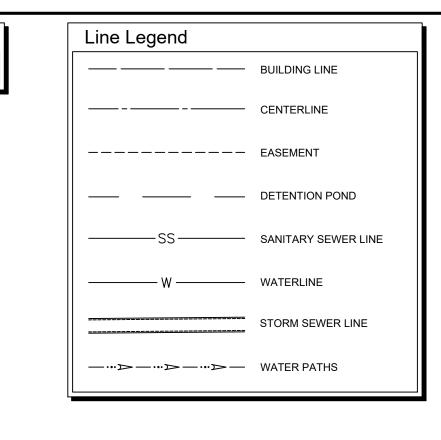
22. SITE GRADING IS EXPECTED TO BE PERFORMED IN A MANNER CONSISTENT WITH THE STORM WATER

POLLUTION PREVENTION PLAN (SWP3) SUBMITTED FOR THIS PROJECT.

11. THE SIDEWALK CONTRACTOR IS RESPONSIBLE FOR ALL REMAINING FINAL TRIM.

E:2557002.642

ELEV: 683.033 (NAVD 1988)





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6-30-2021 ISSUE LOG

	2-5-2021	1st IDP SUBMITTAL
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	TCCALE	- 1"- 60'

HORT SCALE VERT SCALE IDP NO. ATLAS NO. MANAGER DRAWN BY

OVERALL GRADING PLAN

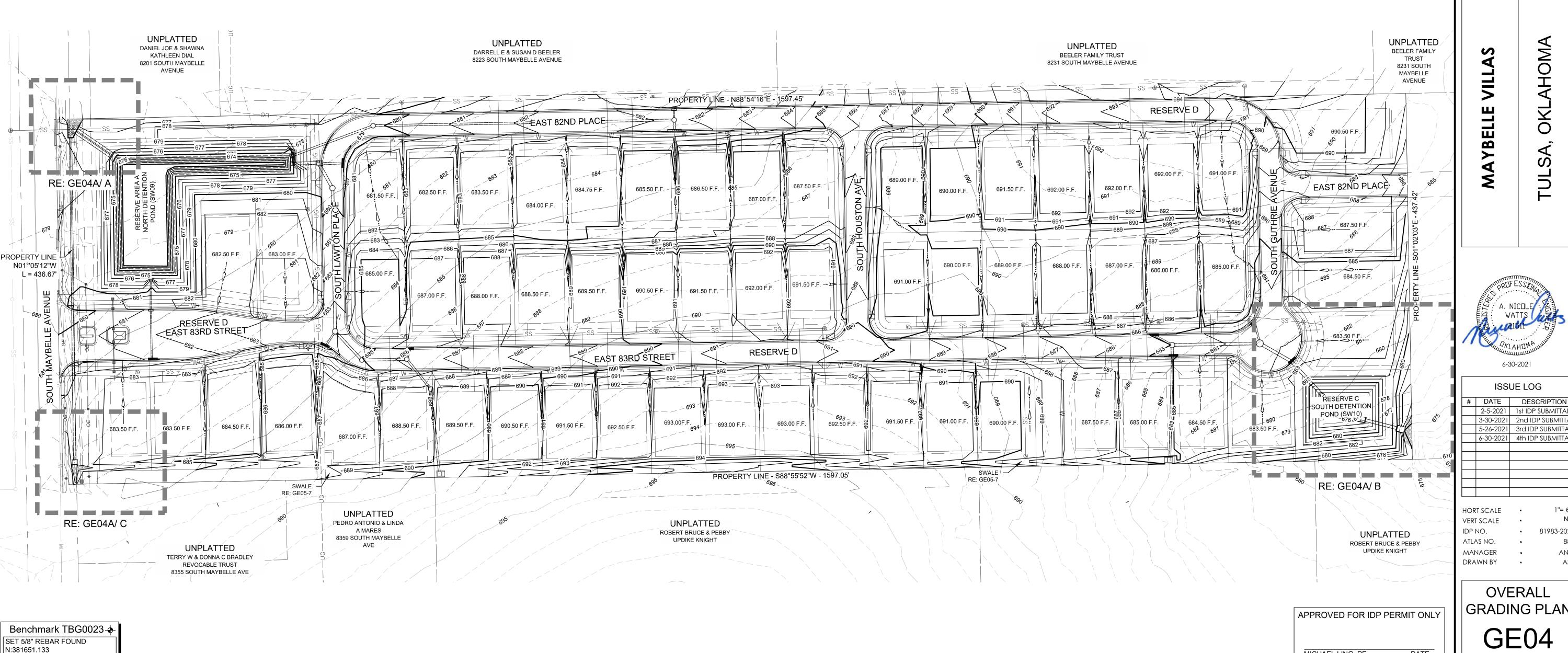
DATE

MICHAEL LING, PE

CITY OF TULSA

INFRASTRUCTURE DEVELOPMENT MANAGER

4 OF 46



ALL GRADES SHOWN ARE TO THE TOP OF

CURB TRANSITION

EDGE OF PAVING

FINISH FLOOR

FINISH GRADE

TOP OF GRATE

TOP OF PAVING TOP OF RIM

TOP OF SIDEWALK OR STEP

TOP OF WALL FINISH GRADE

FLOWLINE

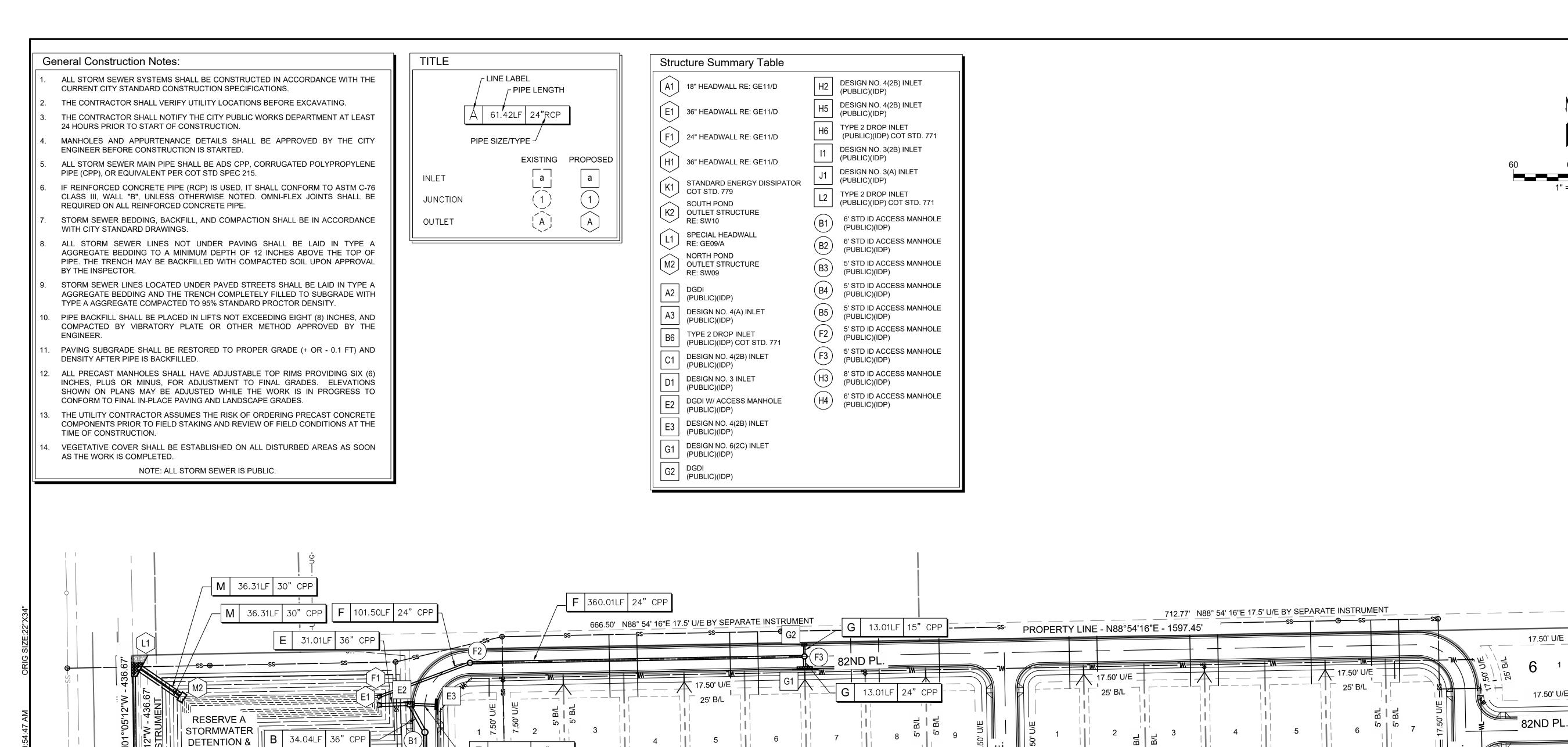
GUTTER TOP OF CURB

EXISTING GROUND

PAVEMENT.

TG

Grading Legend



83RD ST

PROPERTY LINE - S88°55'52"W - 1597.05'

E 28.14LF 24" CPF

<u>-</u>| **B** |171.26LF | 36" CPP |

B | 101.75LF | 24" CPF

B | 53.83LF | 24" CPP

UTILITY

EASEMENT

DOC # 2012009557

17.50' U/E

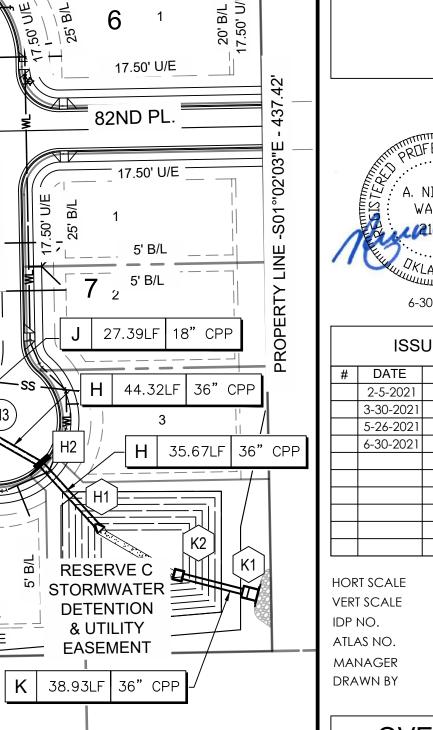
33.18LF | 18" CPP

83RD ST.

17.50' U/E & ODE

📆 **C** | 20.69LF | 18" CPF

B | 46.77LF | 30" CPF



STORMWATER

DETENTION

& UTILITY

EASEMENT

MICHAEL LING, PE

CITY OF TULSA

APPROVED FOR IDP PERMIT ONLY

INFRASTRUCTURE DEVELOPMENT MANAGER

20' B/L

17.50' U/E & ODE

| **H** |104.79LF|36" CPF

| 24.90LF | 18" CPF

H | 125.08LF | 24" CPF

20' B/L

17.50' U/E & ODE

6-30-2021

wallace design collective, pc

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tulsa, oklahoma 74103

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ISSUE LOG # DATE DESCRIPTION 2-5-2021 1st IDP SUBMITTAL 2nd IDP SUBMITTAL 5-26-2021 3rd IDP SUBMITTAL 6-30-2021 4th IDP SUBMITTAL

OVERALL STORM SEWER

PLAN

Waterline Notes

- 1. ALL WATER DISTRIBUTION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE CURRENT CITY LAND SUBDIVISION CODE AND ALL CONSTRUCTION INSTALLATION SHALL MEET OR EXCEED THE CITY CONSTRUCTION STANDARDS AND MUNICIPAL POLICY.
- THE PROJECT RESPONSIBLE CONTRACTOR AND ANY OTHER SUB-CONTRACTORS UNDER SEPARATE CONTRACT, IS/ARE REQUIRED TO HAVE A PRE- CONSTRUCTION MEETING WITH CITY STAFF. SUCH A MEETING IS REQUIRED BEFORE ANY INFRASTRUCTURE CONSTRUCTION IS PERFORMED. SHOULD THE RESPONSIBLE CONTRACTOR(S) REPRESENTATIVE FAIL TO PARTICIPATE WITHIN A MUTUALLY SCHEDULED PRE-CONSTRUCTION MEETING, ALL CONSTRUCTION ACTIVITIES SHALL BE IMMEDIATELY TERMINATED INDEFINITELY BY THE CITY. SUCH MEETINGS WILL ALSO BE MANDATORY, UPON CITY'S REQUEST, DURING THE CONSTRUCTION PROCESS, IF NECESSARY.
- ALL WATER DISTRIBUTION SYSTEM CONSTRUCTION SHALL BE INSPECTED BY THE PUBLIC WORKS DEPARTMENT UTILITY INSPECTORS.
- 4. DIG THROUGH LOCATOR TAPE WILL BE BURIED 2 FEET ABOVE THE LINE.
- 5. WHEN C-900 PVC IS USED, A NO. 8 BARE COPPER WIRE SHALL BE TAPED TO THE TOP SURFACE OF THE PIPE AND CONNECTED TO EACH FIRE HYDRANT BY ATTACHING TO A BOLT, JUST ABOVE GROUND LEVEL
- 6. ALL IRON PIPE AND FITTINGS SHALL BE POLYWRAPPED.
- 7. ALL DISTRIBUTION LINES IN CONDUIT AND AT DRAINAGE FEATURE CROSSINGS SHALL BE CONSTRUCTED
- 8. ALL MAIN LINES SHALL HAVE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF EIGHT (8) FEET OF COVER, UNLESS OTHERWISE SHOWN HEREIN.
- 9. BEDDING, BACKFILL, AND COMPACTION OVER WATER LINES SHALL BE IN ACCORDANCE WITH STANDARD DRAWINGS 304 & 305. BACKFILL AND COMPACTION REQUIREMENT FOR STREET CROWNING SHALL EXTEND TWO (2) FEET BACK OF CURB.
- 10. ALL WATER DISTRIBUTION SYSTEM LINES, EXCEPT DEAD END FOR FIRE HYDRANTS ONLY, SHALL BE LOOPED TO PROVIDE CIRCULATION.
- 11. DISTRIBUTION LINES SMALLER THAN FOUR (4) INCHES SHALL NOT BE INSTALLED.

Waterline Notes

12. FIRE HYDRANTS:

MIDCO GRIP RINGS.

- a. FIRE HYDRANTS SHALL BE A MINIMUM 5 1/4 INCH NOZZLE TYPE AND OF THE KENNEDY, MUELLER, OR AMERICAN DARLING BRAND NAME.
- EACH HYDRANT SHALL BE SET WITH THE STREAMER NOZZLE FACING THE STREET AND WITH A MINIMUM CLEARANCE OF EIGHTEEN (18) INCHES ABOVE THE FINISHED GRADE.
- c. ALL EXPOSED PORTIONS OF FIRE HYDRANTS SHALL BE PAINTED WITH A SAFETY YELLOW ENAMEL AS MANUFACTURED BY GLIDDEN OR DUPONT.
- 13. WHEN WORKING IN OR ADJACENT TO EXISTING SUBDIVISIONS ONLY ONE (1) DAYS WORTH OF TRENCH MAY BE OPEN AT A GIVEN TIME. THIS REQUIREMENT MAY BE MODIFIED, IN WRITING BY THE PUBLIC WORKS DIRECTOR, FOR A SPECIFIC PROJECT.
- 14. ROAD CLOSURES MUST BE COORDINATED A MINIMUM OF TWENTY FOUR (24) HOURS IN ADVANCE. ROADS WILL NOT BE CLOSED FOR OVER EIGHT (8) HOURS WITHOUT WRITTEN PERMISSION FROM THE PUBLIC
- 15. ALL FITTING BENDS, TEES AND FIRE HYDRANTS SHALL HAVE MECHANICAL JOINT RESTRAINTS, WITH
- 16. NO CONSTRUCTION ACTIVITIES ON THE WATER SYSTEM ARE PERMITTED UNTIL THE CITY ENGINEER'S OFFICE HAS RECEIVED A COPY OF THE ODEQ 'PERMIT TO CONSTRUCT' AND AUTHORIZATION TO PROCEED WITH THE WATER SYSTEM HAS BEEN PROVIDED BY THE CITY ENGINEER.
- 17. ALL WATERLINE CONDUIT FOR SERVICE LINES SHALL BE 4" SCH40 AND WILL BE INSTALLED UNDER THE
- 18. METERS AND SERVICE LINES ARE SHOWN AS REPRESENTATIONS ONLY AND ARE NOT PART OF THIS IDP SET OF PLANS. THE CONDUIT LINES WILL ONLY BE INSTALLED UNDER THE IDP. SEPARATE PERMITS ARE REQUIRED FOR SETTING SERVICE METERS.
- 19. CONTACT THE WATER DISTRIBUTION DEPARTMENT AT THE CITY OF TULSA 72 HOURS PRIOR TO EXCAVATING AROUND THE 60 INCH WATERLINE. CONTACT JOSH BILBY (918)596-9480.

Waterline Quantities ITEM# QUANTITY DESCRIPTION

2503 CY

302

307	1340 LF	8" PVC C900
307	2039 LF	6" PVC C900
307A	170 LF	6" DIP
312	4 EA	8"x6"x8" TEE
312	4 EA	6"x6"x6" TEE
312	1 EA	BLOW OFF VALV
312	2 EA	8" 11.25° BEND
312	2 EA	8" 22.50° BEND
312	2 EA	8" 45°BEND
312	2 EA	6" 11.25° BEND
312	5 EA	6" 22.5°BEND

l	312	8 EA	6" 45°BEND
l	312 312 315 317 317 317	1 EA	6" 90°BEND
l	315	2 EA	8" HOT TAP*
l	317	7 EA	6" GATE VALVE
l	317	8 EA	8" GATE VALVE
l	317	8 EA	3-WAY FIRE HYDRANT ASSEMBLY

317 1 EA BLOW OFF FIRE HYDRANT 318 15 EA VALVE BOX

CONNECT TO EXISTING WATERLINE SPECIAL 2 EA

EXCAVATION & BACKFILL, UNCLASSIFIED



tulsa, oklahoma 74103

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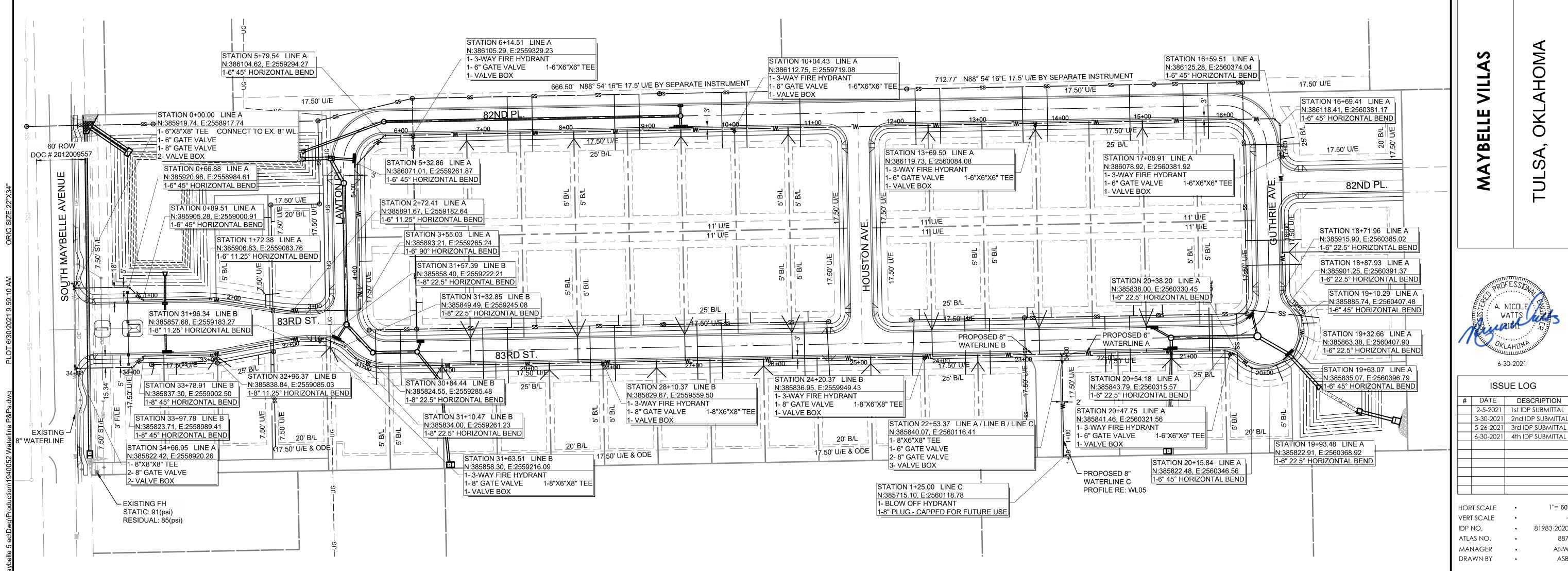
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MICHAEL LING, PE

DATE INFRASTRUCTURE DEVELOPMENT MANAGER CITY OF TULSA

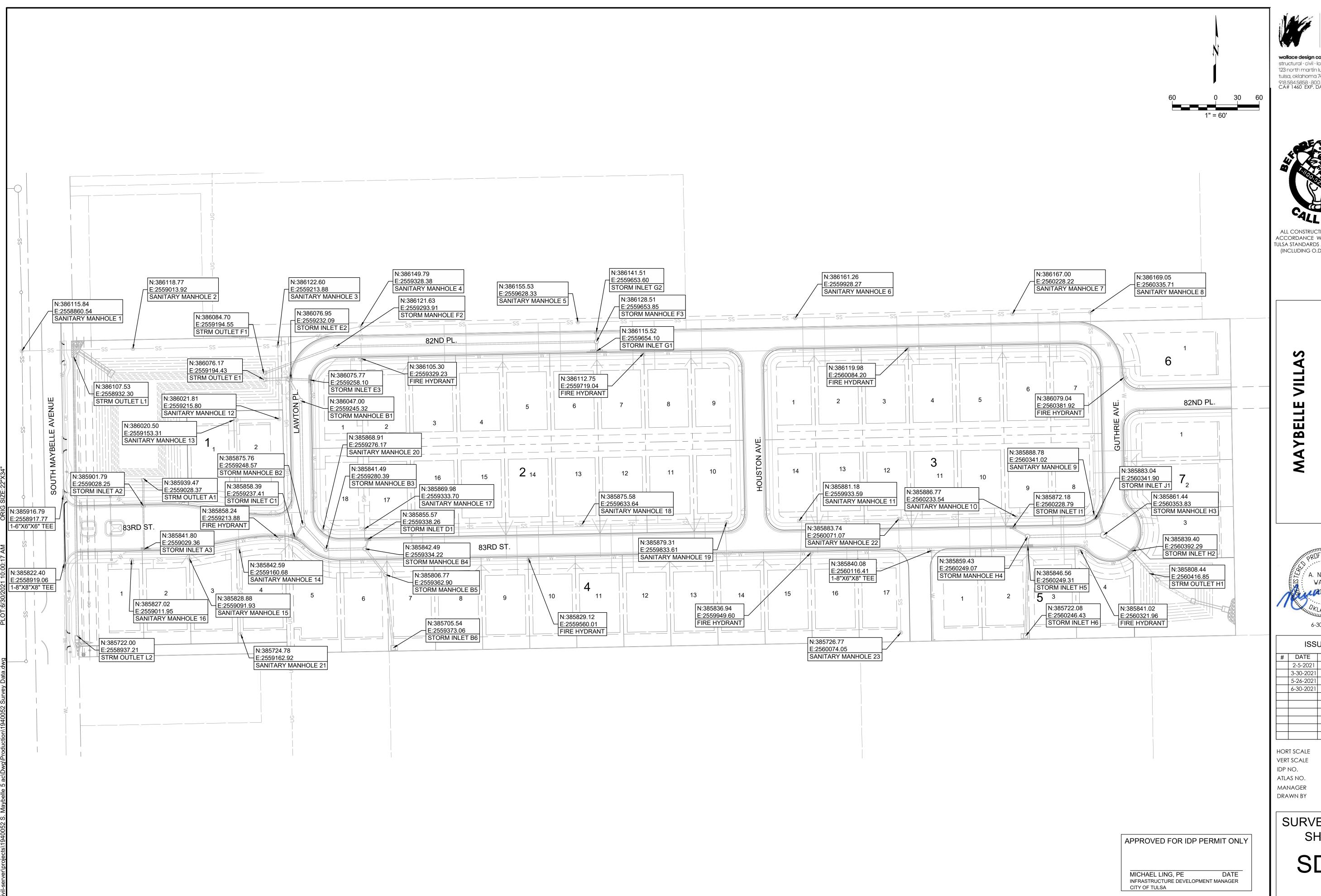
OVERALL WATERLINE PLAN

6-30-2021

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TULSA, OKLAHOMA



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HORT SCALE • 1"= 60'

VERT SCALE • -
IDP NO. • 81983-2020

ATLAS NO. • 887

MANAGER • ANW

DRAWN BY • ASB

SURVEY DATA SHEET

SD01

45OF 46