

TULSA METROPOLITAN AREA PLANNING COMMISSIONINCOG - 2 West 2nd Street, Suite 800 - Tulsa, Oklahoma 74103 - (918) 584-7526 - FAX (918) 583-1024www.tmapc.org**[X] SUBDIVISION PLAT [] MINOR SUBDIVISION PLAT****APPLICATION INFORMATION**RECEIVED BY: NF DATE FILED: 7/6/2022 PLAT NAME: Magnolia Ridge Phase III[] CITY [X] COUNTY REFERRAL CITIES: Owasso

SUBDIVISION PLAT SCHEDULE		REFERENCE CASES	
PUBLIC AGENCY REVIEW:	<u>7/21/22</u>	ZONING/PUD/CO CASE:	CZ-459
		TMAPC DATE:	
TMAPC:	<u>8/3/22</u>	BOA CASE:	
		BOA DATE:	

SUBJECT PROPERTY INFORMATIONADDRESS OR DESCRIPTIVE LOCATION: East of the Northeast Corner of E. 86th St. N. & N. Sheridan Rd. TRACT SIZE: 40.12 + acresLEGAL DESCRIPTION: See AttachedPRESENT USE: Vacant PRESENT ZONING: RS T-R-S: 21-13-23 COUNCIL DISTRICT: _____ CO COMM DISTRICT: NO. 1WATER SUPPLY: RWD#3 Washington County SANITARY SEWER: City of OwassoELECTRIC: PSO GAS: ONG PHONE: AT&T TV: COX SCHOOL DISTRICT: Owasso Public School**INFORMATION ABOUT YOUR PROPOSAL**PROPOSED USE: Single Family ResidentialPROPOSED ZONING RE _____ LOTS PROPOSED: 144 BLOCKS PROPOSED: 11

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION
NAME <u>Kellogg Engineering Inc.</u>	NAME <u>K&S Developments, Inc.</u>
ADDRESS <u>6755 S. 4060 Road</u>	ADDRESS <u>12150 E, 96th St. N., Suite 200</u>
CITY, ST, ZIP <u>Talala, OK 74080</u>	CITY, ST, ZIP <u>Owasso, OK 74055</u>
DAYTIME PHONE <u>(918) 275-4080</u>	DAYTIME PHONE <u>(918) 274-0406</u>
EMAIL <u>kelloggengineering@totalcsi.com</u>	EMAIL <u>cord.bugg@simmonsourtis.com</u>
I, THE UNDERSIGNED APPLICANT, CERTIFY THAT THE INFORMATION ON THIS APPLICATION IS TRUE AND CORRECT.	
SIGNATURE & DATE: <u></u> Agent <u>06/23/2022</u>	

DOES OWNER CONSENT TO THIS APPLICATION [X] YES [] NO

WHAT IS APPLICANT'S RELATIONSHIP TO OWNER? Agent / Engineer

APPLICATION FEES (Make checks payable to INCOG)		PRELIMINARY PLAT DISPOSITION
PRELIMINARY PLAT FEE:	\$1,200	TMAPC ACTION: [] APPROVED [] DENIED
FINAL PLAT FEE:	\$900	DATE/VOTE:
MINOR PLAT FEE:	\$650	CONDITIONS:
TOTAL AMOUNT DUE:	\$1,200.00	
RECEIPT NUMBER:		

APPLICATION FEES IN WHOLE OR PART WILL NOT BE REFUNDED AFTER NOTIFICATION HAS BEEN GIVEN.

SUBMITTAL REQUIREMENTS:Checklists for all submittals are available at www.tmapc.org**Preliminary Plats** – Application, Checklist, 4 folded full-size copies & PDF of plat, deed of dedication, and Conceptual Improvement Plan**Draft Final Plats** – 4 folded full-size copies & PDF**Final Plats for Signatures** – 8-10 rolled full-size copies, fully executed by owner, surveyor, and engineer

TULSA METROPOLITAN AREA PLANNING COMMISSION

INCOG - 2 West 2nd Street, Suite 800 - Tulsa, Oklahoma 74103 - (918) 584-7526 - FAX (918) 583-1024

www.tmapc.org

SUBDIVISION PRE-APPLICATION REVIEW

PROJECT INFORMATION

Subdivision Location: East of the Northeast Corner of E. 86th St. N. & N. Sheridan Rd.
Acreage: 40.12 Number of Lots: 144 Project Name: Magnolia Ridge Phase III
Owner of Property: K&S Developments, Inc.
Person Requesting Review: Kellogg Engineering Inc. Date: 07/01/2022

COMPREHENSIVE PLAN STATUS

LAND USE DESIGNATION: Residential Single Family GROWTH OR STABILITY DESIGNATION: _____

The property CONFORMS DOES NOT CONFORM to the Major Street and Highway Plan.

ZONING AND PLATTING

The property is currently zoned RS
The proposed use of Res. Single Family WOULD or WOULD NOT conform to the zoning district classification.
Minimum lot size required: 6,900 S.F.
Is the property is located within an approved development plan? YES NO
If yes, does the project conform to all development standards? YES NO
Is there a Rezoning or Board of Adjustment case pending on the site? YES NO Case number: _____
When are the anticipated TMAPC and City Council, or Board of Adjustment meeting dates? TMAPC 08/03/2022

INFRASTRUCTURE NEEDS

A brief summary of major infrastructure to be provided and by whom:
Streets Tulsa County, Asphalt Streets with Curb and Gutter

Water Rural Water District No.3, Washington County

Sewer City of Owasso

Storm Water/Drainage Curb & Gutter / Inlet & Storm Drain Piping

Park and Trail Dedications None

Please consider the items in this Pre-Application Review carefully.

This conceptual pre-development review is not intended to be all-inclusive, but rather to address the major development criteria, which should be thoroughly studied as development plans progress. Relevant Federal and State Statutes, as well as TMAPC Subdivision Regulations, Design Criteria, Zoning Codes, and other relevant local codes and policies should be reviewed and incorporated into future plans.

Please contact the Subdivision Coordinator at any time at 584-7526 if you have questions about the development process in the Tulsa Metropolitan Area.

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SUBDIVISION PLAT PROCESS

MEETING SCHEDULE

Public Agency Review (PAR) Date (Preliminary plats): Thursday, July 21 1:30 p.m.

Large Conference Room, 8th Floor, INCOG, 2 West 2nd Street

Tulsa Metropolitan Area Planning Commission (TMAPC) Date (Preliminary plats): Wednesday, August 03 1:30 p.m.

Tulsa City Council Room, 2nd Level, One Technology Center, 175 East 2nd Street

PRELIMINARY PLAT PROCESS

1. Applicant submits preliminary plat/covenants, conceptual improvements plan, completed application, and fees. Plat is scheduled for PAR meeting and TMAPC public hearing.
2. Staff distributes preliminary plat to PAR members for review.
3. Applicant, staff, and PAR members meet to review requirements for approval of preliminary plat.
4. TMAPC holds public hearing to consider approval of preliminary plat. Approval of a preliminary plat expires after one year.

FINAL PLAT PROCESS

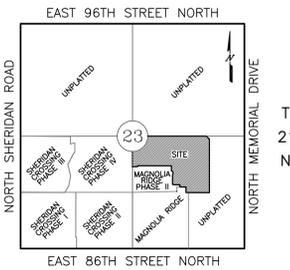
1. Applicant prepares "draft final" plat in accordance with all TMAPC and PAR requirements of preliminary plat approval. Staff will review and stamp "Draft Final" and digitally stamp "Draft Final" PDF submittal.
2. If revisions are made after the first "draft final" plat submittal, new plats shall be submitted and clearly identify all revisions on the face of the plat and in the covenants by either clouding or shading. There shall be a clear identifying mark (usually a small triangle) containing a revision number attached to each clouded or shaded item and a table of revision numbers and revision dates. In addition, a brief description of the nature of the revision should be included in the table.
3. Applicant distributes "draft final" for release as follows: 1 copy - TMAPC staff; 2 copies - Development Services; PDF – Utility Providers
4. Release letters are required from the following: City of Tulsa Development Services OR County Engineer, water and sanitary sewer service providers; City Legal Department (if property is within the city limits of Tulsa); electric, gas, telephone and TV utility service providers. Release letters shall indicate the latest revision date for which the plat is being released.
5. Revisions submitted subsequent to being released shall be reviewed and released again. TMAPC staff must have the latest final plat incorporating all of the revisions before placing on the agenda for approval by the Planning Commission.
6. Staff will schedule "draft final" plat for TMAPC approval after we receive all release letters and have confirmed that the release letters pertain to the latest revised version of the plat. Submittals required per Section 3.6.5 of the Subdivision Regulations must be received before the Final Plat is considered by TMAPC.
7. TMAPC considers approval of final plat.
8. Applicant submits final recordable documents with original notarized signatures to TMAPC staff.
9. Staff obtains signatures from TMAPC, City Attorney, City Engineering, Mayor and City Council for plats in City of Tulsa. For plats in unincorporated Tulsa County, staff obtains signatures from TMAPC and County Engineer.
10. Staff returns final signed documents to applicant for filing with the County Clerk. Final documents must be filed within one year of TMAPC final plat approval. One filed paper copy and the 2 required electronic discs are delivered to staff.

A tract of land located in the Southeast Quarter (SE/4) of Section Twenty-three (23) of Township Twenty-one (21) North and Range Thirteen (13) East of the Indian Base and Meridian (I.B.&M.), according to the U.S. Government Survey, thereof, Tulsa County, State of Oklahoma; being more particularly described as follows:

COMMENCING at the SW corner of the SE/4 of Sec. 23, T-21-N, R-13-E, I.B.&M.; THENCE N 01°25'11" W along the west line of said SE/4 a distance of 1916.67 feet to the POINT OF BEGINNING being the NW corner of Lot 1 in Block 1 of MAGNOLIA RIDGE PHASE II, according to the Recorded Plat No. 6998, thereof; THENCE N 01°25'11"W a distance of 716.67 feet to the NW corner of said SE/4; THENCE N 88°54'11"E along the north line of said SE/4 a distance of 1741.55 feet; THENCE S 46°14'38"E a distance of 100.77 feet; THENCE S 01°23'27"E a distance of 1242.31 feet to the south line of the NE/4 of said SE/4; THENCE S 88°47'57"W along the south line of said NE/4 SE/4 a distance of 547.98 feet to the boundary of MAGNOLIA RIDGE PHASE I, according to the Recorded Plat No. 6871, thereof; THENCE N 01°18'18"W along said boundary of MAGNOLIA RIDGE PHASE I (until otherwise noted) a distance of 129.95 feet; THENCE S 88°41'42"W a distance of 112.36 feet; THENCE along a curve to the right having a radius of 5025.00 feet, with a central angle of 00°20'34", a chord bearing of S 88°51'59"W, a chord length of 30.06 feet, for a distance of 30.06 feet to the boundary of said MAGNOLIA RIDGE PHASE II; THENCE N 00°57'44"W along the boundary of said MAGNOLIA RIDGE PHASE II (until otherwise noted and leaving the boundary of said MAGNOLIA RIDGE PHASE I) a distance of 50.00 feet; THENCE along a curve to the right having a radius of 4975.00 feet, with a central angle of 00°11'45", a chord bearing of S 89°08'08"W, a chord length of 17.00 feet, for a distance of 17.00 feet; THENCE S 89°14'01"W a distance of 82.74 feet; THENCE S 89°13'00"W a distance of 50.42 feet; THENCE along a curve to the right having a radius of 25.00 feet, with a central angle of 89°28'44", a chord bearing of N 46°02'38"W, a chord length of 35.19 feet, for a distance of 39.04 feet; THENCE N 01°18'16"W a distance of 198.92 feet; THENCE along a curve to the right having a radius of 25.00 feet, with a central angle of 35°39'33", a chord bearing of N 16°31'31"E, a chord length of 15.31 feet, for a distance of 15.56 feet; THENCE along a curve to the left having a radius of 55.00 feet, with a central angle of 109°09'51", a chord bearing of N 20°13'38"W, a chord length of 89.64 feet, for a distance of 104.79 feet; THENCE N 01°18'18"W a distance of 117.26 feet; THENCE S 88°41'42"W a distance of 790.00 feet; THENCE S 01°18'18"E a distance of 19.91 feet; THENCE S 88°48'00"W a distance of 133.72 feet to the POINT OF BEGINNING, and containing 40.115 acres, more or less.

Basis of bearing is the Oklahoma State Plane Coordinate System.

R 13 E



SECTION 23
TULSA COUNTY

LOCATION MAP

SCALE: 1"=2000'

AVIGATION NOTICE

Notice is hereby given that owners and users of aircraft of all types operate on a frequent basis in the airspace above this plat of land. Said aircraft, when operated in a lawful manner, are allowed free and unobstructed passage in the airspace on, upon, over, across, adjacent to, above and in the vicinity of the plat of land. The lawful operation of aircraft is known to generate noise, vibrations, and other effects as may be inherent in the operation of flight or passage in and through said airspace which results directly or indirectly from the operations of aircraft or the airport, now and in the future, including but not limited to, ground and flight operations of aircraft at, over or in the vicinity of the airport, and regardless of whether arriving, departing, maneuvering, or en route, and it must be further recognized that all such operation may increase in the future.

Notice is also given that rules and regulations defined in Federal Aviation Regulations (FARs), include but not limited to FAR Part 77, may limit the height of buildings, structures, poles, trees or other objects whether natural or otherwise, located or to be located on property within this plat of land and may require, prior to construction, the submission of an application as may be required by the Federal Aviation Administration to ensure that the safe operation of aircraft is not impacted by said object.

ENGINEER:

KELLOGG ENGINEERING, INC.
6755 SOUTH 4060 ROAD
TALALA, OKLAHOMA 74080
PHONE: (918) 275-4080
FAX: (918) 275-7171
EMAIL: kelloggengineering@totalcsi.com
CERT. OF AUTHORIZATION NO. 2788
RENEWAL DATE: JUNE 30, 2023

SURVEYOR:

**BENCHMARK SURVEYING
AND LAND SERVICES, INC.**
P.O. BOX 1078
OWASSO, OKLAHOMA 74055
PHONE: (918) 274-9081
FAX: (918) 274-0807
EMAIL: benchmark@atlasok.com
CERT. OF AUTHORIZATION NO. 2235
RENEWAL DATE: JUNE 30, 2022

OWNER/DEVELOPER:

K&S DEVELOPMENTS, INC.
12150 E. 96TH ST. N., SUITE 200
OWASSO, OKLAHOMA 74055
PHONE: (918) 274-0406
EMAIL: brian@simmonskourtis.com

LEGEND

---	PROPOSED BOUNDARY
---	PROPOSED ROW
---	PROPOSED LOT LINE
---	PROPOSED BUILDING LINE
---	PROPOSED EASEMENT
---	ADJACENT LOT LINE
---	PROPOSED CENTER LINE

SITE DATA

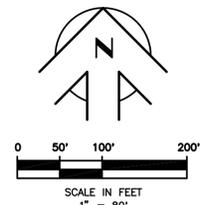
EXISTING ZONING	- RS
PROPOSED USE	- SINGLE FAMILY RESIDENTIAL
EXISTING LAND USE	- AGRICULTURE
TOTAL ACREAGE	- 40.12 ACRE
TOTAL NUMBER OF LOTS	- 144 LOTS
DENSITY	- 3.59 LOTS/ACRE
AVERAGE LOT SIZE	- 8,395 SF
SMALLEST LOT SIZE	- 7,517 SF
LARGEST LOT SIZE	- 13,397 SF
RESERVE AREAS	- 4 RESERVE AREA

LEGAL DESCRIPTION:
A TRACT OF LAND LOCATED IN THE SOUTHEAST QUARTER (SE/4) OF SECTION TWENTY-THREE (23) OF TOWNSHIP TWENTY-ONE (21) NORTH AND RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN (I.B.&M.), ACCORDING TO THE U.S. GOVERNMENT SURVEY, THEREOF, TULSA COUNTY, STATE OF OKLAHOMA; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
**COMMENCING AT THE SW CORNER OF THE SE/4 OF SEC. 23, T-21-N, R-13-E, I.B.&M.; THENCE N 01°25'11" W ALONG THE WEST LINE OF SAID SE/4 A DISTANCE OF 1916.67 FEET TO THE POINT OF BEGINNING BEING THE NW CORNER OF LOT 1 IN BLOCK 1 OF MAGNOLIA RIDGE PHASE II, ACCORDING TO THE RECORDED PLAT NO. 6998, THEREOF; THENCE N 01°25'11" W A DISTANCE OF 716.67 FEET TO THE NW CORNER OF SAID SE/4; THENCE N 88°54'11" E ALONG THE NORTH LINE OF SAID SE/4 A DISTANCE OF 1741.55 FEET; THENCE S 46°14'38" E A DISTANCE OF 100.77 FEET; THENCE S 01°23'27" E A DISTANCE OF 1242.31 FEET TO THE SOUTH LINE OF THE NE/4 OF SAID SE/4; THENCE S 88°41'42" W ALONG THE SOUTH LINE OF SAID NE/4 SE/4 A DISTANCE OF 547.98 FEET TO THE BOUNDARY OF MAGNOLIA RIDGE PHASE I, ACCORDING TO THE RECORDED PLAT NO. 6871, THEREOF; THENCE N 01°18'18" W ALONG SAID BOUNDARY OF MAGNOLIA RIDGE PHASE I (UNTIL OTHERWISE NOTED) A DISTANCE OF 129.95 FEET; THENCE S 88°41'42" W A DISTANCE OF 112.36 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 5025.00 FEET, WITH A CENTRAL ANGLE OF 0°02'30.4", A CHORD BEARING OF S 89°51'59" W, A CHORD LENGTH OF 30.06 FEET, FOR A DISTANCE OF 30.06 FEET TO THE BOUNDARY OF SAID MAGNOLIA RIDGE PHASE II; THENCE N 18°13'31" E A CHORD LENGTH OF 15.31 FEET, FOR A DISTANCE OF 15.36 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 55.00 FEET, WITH A CENTRAL ANGLE OF 10°09'09.51", A CHORD BEARING OF N 20°13'38" W, A CHORD LENGTH OF 89.64 FEET, FOR A DISTANCE OF 104.79 FEET; THENCE N 01°18'18" E A DISTANCE OF 117.26 FEET; THENCE S 88°41'42" W A DISTANCE OF 790.00 FEET; THENCE S 01°18'18" E A DISTANCE OF 19.91 FEET; THENCE S 88°48'00" W A DISTANCE OF 133.72 FEET TO THE POINT OF BEGINNING, AND CONTAINING 40.115 ACRES, MORE OR LESS.
BASIS OF BEARING IS THE OKLAHOMA STATE PLANE COORDINATE SYSTEM.**

PRELIMINARY PLAT MAGNOLIA RIDGE PHASE III

PART OF THE SE/4 OF SECTION 23, T-21-N, R-13-E,
OF THE INDIAN BASE AND MERIDIAN
TULSA COUNTY, STATE OF OKLAHOMA

ZONED: RS
ADDITION HAS 144 LOTS IN 11 BLOCKS AND 4 RESERVE
ALL CONTAINED IN 40.12 ACRES MORE OR LESS



ADDRESSES SHOWN ON THIS PLAT ARE ACCURATE AS OF THE TIME THE PLAT WAS FILED. ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF THE LEGAL DESCRIPTION.
THE CULVERT NOTATIONS REPRESENT THE MINIMUM SIZE OF SMOOTH HDPE PIPES OR SMOOTH PVC PIPES OR SMOOTH STEEL PIPES REQUIRED FOR PROPER DRAINAGE.
THE RESPECTIVE OWNER OF EACH LOT SHALL BE RESPONSIBLE FOR CONSTRUCTING A SIDEWALK ACROSS THE FRONT OF THE LOT AS REQUIRED BY THE TULSA COUNTY BOARD OF COUNTY COMMISSIONERS.

- GENERAL NOTES:
1. WATER SERVICE. POTABLE WATER SHALL BE PURCHASED FROM RURAL WATER DISTRICT NO.3, WASHINGTON COUNTY.
 2. SANITARY SEWER DISPOSAL. SEWAGE DISPOSED SERVICE SHALL BE PURCHASED AND PROVIDED BY THE CITY OF OWASSO OR ITS ASSIGNEES.
 3. STORMWATER DETENTION. DETENTION PROVIDED ON-SITE DETENTION FACILITY.

CURVE NUMBER	L	R	Cb	Ch	D
C-1	30.06'	5,025.00'	S 88°51'59" W	30.06'	00°20'34"
C-2	17.00'	4,975.00'	S 89°08'08" W	17.00'	00°11'45"
C-3	39.04'	25.00'	N 16°31'31" E	35.19'	89°28'43"
C-4	15.56'	25.00'	N 16°31'31" E	15.31'	35°28'43"
C-5	104.79'	55.00'	N 20°13'38" W	89.64'	10°09'09.51"

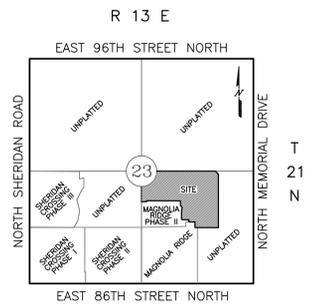
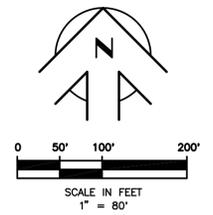
ACC ACCESS PERMITTED
B/L BUILDING SETBACK LINE
D/E DRAINAGE EASEMENT
LNA LIMITS OF NO ACCESS
LNA RESERVE AREA
R/W RIGHT-OF-WAY
U/E UTILITY EASEMENT
F/E FENCE EASEMENT
L/E LANDSCAPE EASEMENT
A/E ACCESS EASEMENT

BENCHMARK:
TOP OF FOUND BRASS CAP AT THE SW CORNER OF SECTION 23, T-21-N, R-13-E
DATUM: NGVD 29
ELEVATION = 666.90

CONCEPTUAL PLAN MAGNOLIA RIDGE PHASE III

PART OF THE SE/4 OF SECTION 23, T-21-N, R-13-E,
OF THE INDIAN BASE AND MERIDIAN
TULSA COUNTY, STATE OF OKLAHOMA

ZONED: RS
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SCALE: 1"=2000'

BENCHMARK:
TOP OF FOUND BRASS CAP AT THE SW CORNER OF SECTION 23, T-21-N, R-13-E.
DATUM: NGVD 29 ELEVATION = 666.90

AVIGATION NOTICE

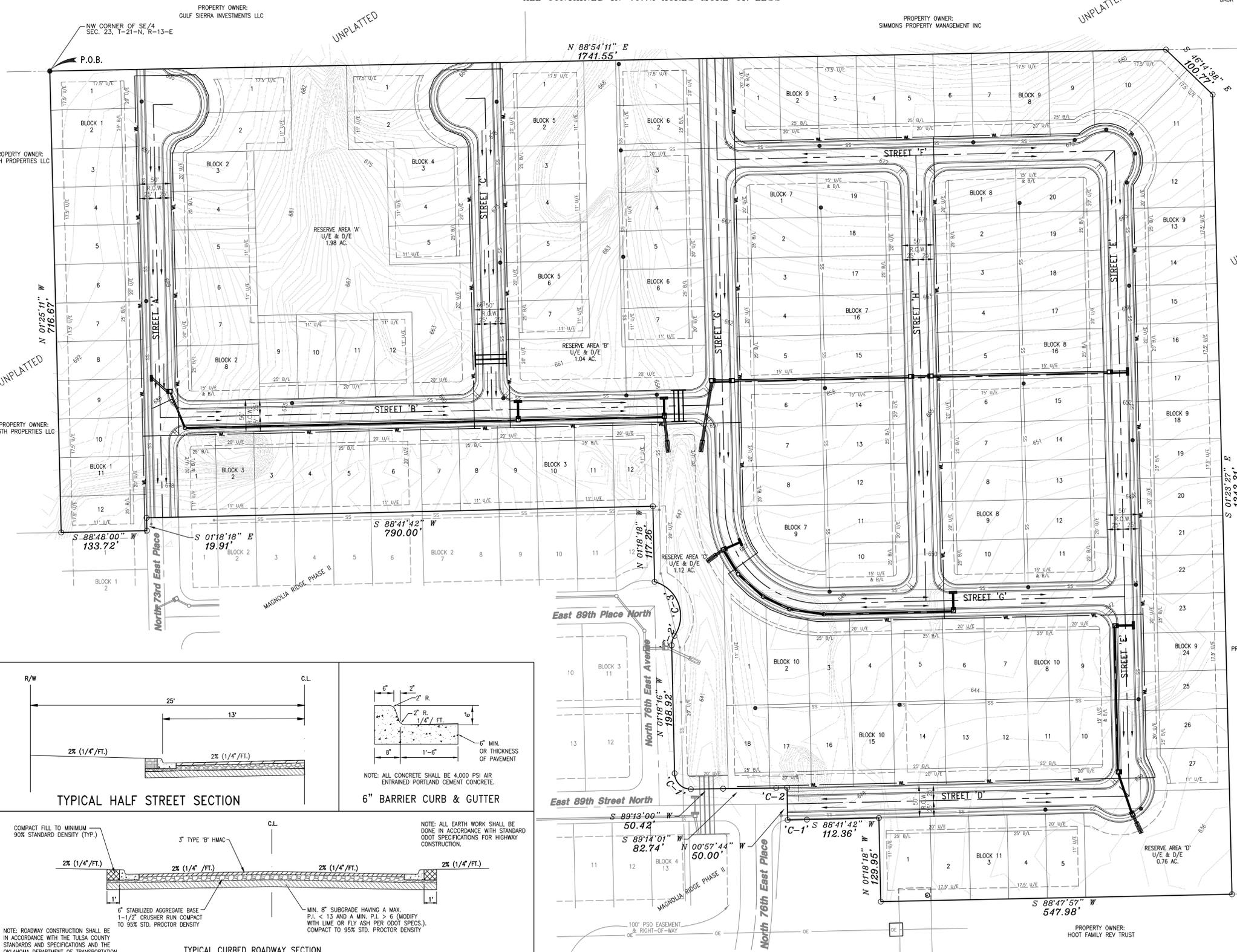
Notice is hereby given that owners and users of aircraft of all types operate on a frequent basis in the airspace above this plot of land. Said aircraft, when operated in a lawful manner, are allowed free and unobstructed passage in the airspace on, upon, over, across, adjacent to, above and in the vicinity of the plot of land. The lawful operation of aircraft is known to generate noise, vibrations, and other effects as may be inherent in the operation of or flight or passage in and through said airspace which results directly or indirectly from the operations of aircraft at, over or in the vicinity of the airport, and regardless of whether arriving, departing, maneuvering, or en route, and it must be further recognized that all such operation may increase in the future.

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K&S DEVELOPMENTS, INC.
12150 E. 96TH ST. N., SUITE 200
OWASSO, OKLAHOMA 74055
PHONE: (918) 274-0406
EMAIL: brian@simmons-kourtis.com



MINIMUM SETBACKS

FRONT YARD	- 25 FEET
SIDE YARD	- 5 FEET
OTHER SIDE YARD	- 5 FEET
BACK YARD	- 25 FEET

SITE DATA

EXISTING ZONING	- RS
PROPOSED USE	- SINGLE FAMILY RESIDENTIAL
EXISTING LAND USE	- AGRICULTURE
TOTAL ACREAGE	- 40.12 ACRE
TOTAL NUMBER OF LOTS	- 144 LOTS
DENSITY	- 3.59 LOTS/ACRE
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LEGEND

	PROPOSED BOUNDARY
	PROPOSED ROW
	PROPOSED LOT LINE
	PROPOSED BUILDING LINE
	PROPOSED EASEMENT
	ADJACENT LOT LINE
	EXISTING CONTOURS
	PROPOSED CENTER LINE
	PROPOSED CURB
	PROPOSED GUTTER
	PROPOSED SIDEWALK
	PROPOSED STORM DRAIN
	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER
	DRAINAGE FLOW ARROW

- GENERAL NOTES:**
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 - SANITARY SEWER DISPOSAL. SEWAGE DISPOSED SERVICE SHALL BE PURCHASED AND PROVIDED BY THE CITY OF OWASSO OR ITS ASSIGNEES.
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CURVE TABLE

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C-3	39.04'	25.00'	N 46°02'38" W	35.19'	89°28'44"
C-4	15.56'	25.00'	N 16°31'31" E	15.31'	35°39'33"
C-5	104.79'	55.00'	N 20°13'38" W	89.64'	109°09'51"

ACC	ACCESS PERMITTED
B/L	BUILDING SETBACK LINE
D/E	DRAINAGE EASEMENT
LNA	LIMITS OF NO ACCESS
RA	RESERVE AREA
R/W	RIGHT-OF-WAY
U/E	UTILITY EASEMENT
F/E	FENCE EASEMENT
L/E	LANDSCAPE EASEMENT
A/E	ACCESS EASEMENT

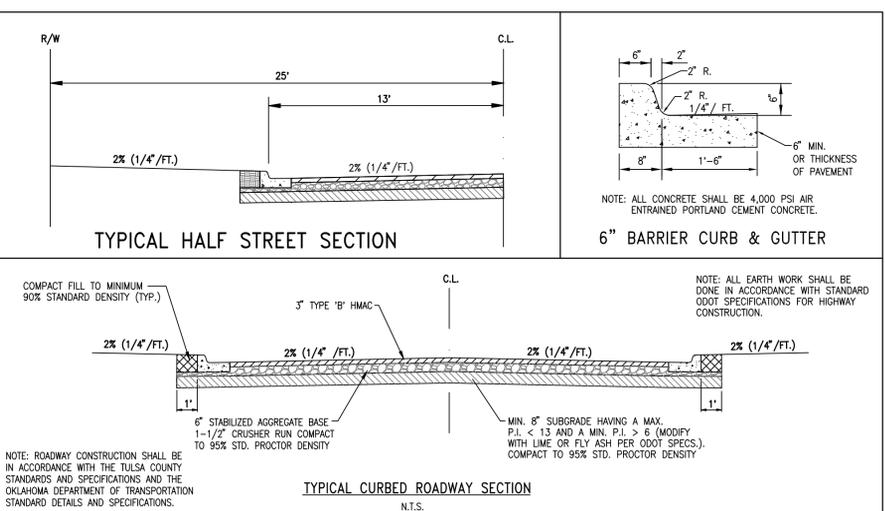
NOTE:
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH DETAILS PROVIDED IN THE CONSTRUCTION PLAN, WITH THE TULSA COUNTY STANDARDS AND SPECIFICATIONS, AND WITH THE O.D.O.T. STANDARD DETAILS AND SPECIFICATIONS.

NOTE:
ALL WATER LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH DETAILS PROVIDED IN THE CONSTRUCTION PLANS & WITH THE WASH. CO. RWD #3 STANDARD DETAILS AND SPECIFICATIONS.

NOTE:
ALL PAVEMENT AND SUBGRADE WORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION.

NOTE:
ALL CULVERTS UNDER ROADWAYS SHALL BE ROUND SMOOTH STEEL PIPE HAVING A MINIMUM OF 1/4" WALL THICKNESS.

NOTE:
ALL UTILITY ROAD CROSSINGS SHALL BE BACKFILLED WITH ODOT TYPE "A" AGGREGATE FROM TOP OF PIPE TO THE BASE OF PAVEMENT PER ROGERS COUNTY STANDARD DETAILS AND SPECIFICATIONS.



CLOSURE REPORT
MAGNOLIA RIDGE PHASE III

Courses from Point of Commencement to Point of Beginning

<u>Bearing</u>	<u>Distance</u>
POINT OF COMMENCEMENT	
N 01°25'11" E	1916.67'
.POINT OF BEGINNING	

Courses of Drainage Easement

<u>Bearing</u>	<u>Distance</u>
.POINT OF BEGINNING	
N 01°25'11" W	716.67'
N 88°54'11" E	1741.55'
S 46°14'38" E	100.77'
S 01°23'27" E	1242.31'
S 88°47'57" W	547.98'
N 01°18'18" W	129.95'
S 88°41'42" W	112.36'
N 00°57'44" W	50.00'
S 89°13'01" W	150.16'

Curve No.1

Radius: 5025.00 Chord: 30.06 Degree: 1°08'25" Dir: Right

Length: 30.06 Delta: 0°20'34" Chord BRG: S 88°51'59" W

N 00°57'44" W 50.00'

Curve No.2

Radius: 4975.00 Chord: 17.00 Degree: 1°09'06" Dir: Right

Length: 17.00 Delta: 0°11'45" Chord BRG: S 89°08'08"

S 89°14'01" W 82.74'

S 89°13'00" W 50.42'

Curve No.3

Radius: 25.00 Chord: 35.19 Degree: 229°10'59" Dir: Right

Length: 39.04 Delta: 89°28'44" Chord BRG: N 46°02'38" W
N 01°18'16" W 198.92'

Curve No.4

Radius: 25.00 Chord: 15.31 Degree: 229°10'59" Dir: Right

Length: 15.56 Delta: 35°39'33" Chord BRG: N 16°31'31"

Curve No.5

Radius: 55.00 Chord: 89.64 Degree: 104°10'27" Dir: Left

Length: 104.79 Delta: 109°09'51" Chord BRG: N 20°13'38" W

N 01°18'18" W 117.26'

S 88°41'42" W 790.00'

S 01°18'18" E 19.91'

S 88°48'00" W 133.72'

.POINT OF BEGINNING

Aggregate Course Length = 6241.01 feet

Computed Closure = S 90° E 0.00 feet

Basis of bearing is the Oklahoma State Plane Coordinate System.

I, Kevin M Newlun, Benchmark Surveying and Land Services, Inc., certify the legal description for MAGNOLIA RIDGE PHASE III closes in accord with existing records and is a true representation of the real property as described, and meets the minimum technical standards for land surveying the State of Oklahoma.



Kevin M Newlun

Oklahoma LS No. 1289

