



**Board of Adjustment**

**Staff Report  
BOA-24010**

**Hearing Date:** February 24, 2026  
**Prepared by:** Erin Roark  
eroark@cityoftulsa.org  
918-596-7618

**Owner and Applicant Information**

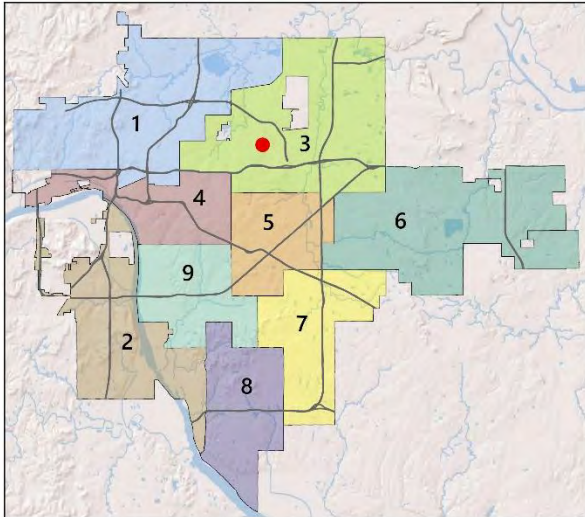
Applicant: Ruben M. Espinoza  
Property Owner: Meno Properties LLC

**Property Location**

6732 East Oklahoma Place  
  
Tract Size: ±0.24 acres

**Location within the City of Tulsa**

*(shown with City Council districts)*



**Elected Representatives**

City Council: District 3, Jackie Dutton  
County Commission: District 2, Lonnie Sims

**Public Notice Required**

Newspaper Notice – min. 10 days in advance  
Mailed Notice to 300’ radius – min. 10 days in advance  
Posted Sign – min. 10 days in advance

**Request Summary**

Special Exception to permit a duplex in the RS-3 district (Section 5.020, Table 5-2, Table 5-2.5).

**Zoning**

Zoning District: RS-3  
Zoning Overlays: N/A

**Comprehensive Plan Considerations**

**Land Use**

Land Use Plan: Neighborhood  
Small Area Plans: None  
Development Era: Early Automobile Era

**Transportation**

Major Street & Highway Plan: N/A  
planitulsa Street Type: N/A  
Transit: N/A  
Existing Bike/Ped Facilities: N/A  
Planned Bike/Ped Facilities: Sidewalks

**Environment**

Flood Area: N/A  
Tree Canopy Coverage: 20-29%  
Parks & Open Space: N/A

**Staff Analysis**

The applicant is requesting a special exception to permit a duplex in the RS-3 district (Section 5.020, Table 5-2, Table 5-2.5). The proposed 2,300 square foot duplex is composed of identical, mirrored 2-bedroom units, with finished floor areas of 1,150 square feet each.

**Section 5.020 Use Regulations**

Principal uses are allowed in R districts in accordance with Table 5-2.

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*Table 5-2: R District Use Regulations*

USE CATEGORY Subcategory Specific use	RE	RS-					RD	RT	RM-				RMH	Supplemental Regulations
		1	2	3	4	5			0	1	2	3		
<b>RESIDENTIAL</b>														
Household Living (if in allowed building type identified in Table 5-2.5)														
Single household	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Two households on single lot	-	-	-	S	S	S	P	P	P	P	P	P	-	

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*Table 5-2.5: R District Building Type Regulations for Household Living*

USE CATEGORY Subcategory Specific Uses Building Type	RE	RS-					RD	RT	RM-				RMH	Supplemental Regulations
		1	2	3	4	5			0	1	2	3		
<b>RESIDENTIAL</b>														
Household Living														
Two households on single lot														
Duplex	-	-	-	S	S	S	P	P	P	P	P	P	-	

Relevant Case History

- None found.

**Comprehensive Plan Considerations**

**Land Use Plan**

The subject property is designated as Neighborhood. Neighborhoods are mostly residential uses, which includes detached, missing middle, and multi-dwelling unit housing types. Churches, schools, and other low intensity uses that support residents’ daily needs are often acceptable, particularly for properties abutting Multiple Use, Local Center, or Regional Center land use areas. Multi-dwelling unit housing that takes access off an arterial is considered Multiple Use, Local Center, or Regional Center. If a multi-dwelling unit housing property takes access from a lower-order street separated from the arterial, then it would be considered Neighborhood.

Surrounding Properties:

<u>Location</u>	<u>Existing Zoning/Overlay</u>	<u>Existing Land Use Designation</u>	<u>Existing Use</u>
North	RS-3	Neighborhood	Residential
East	RS-3	Neighborhood	Residential
South	RS-3	Neighborhood	Residential
West	RS-3	Neighborhood	Residential

**Small Area Plans**

The subject property is not included in a Small Area Plan.

**Development Era**

The subject property is in an area developed during the Early Automobile Era (1930s-50s), which retained a high degree of connectivity from neighborhood streets to the arterial network, with mostly commercial, office, industrial, and other active uses along major streets and a mix of housing options and neighborhood-based uses like schools, churches, and libraries in the interior sections. Priorities in these areas include walkability, bikeability, access to public transit, historic preservation, housing type variety, mixed-use development, commercial revitalization, compatibility of scale for neighborhood development, and transitions between commercial corridors and residential areas.

**Transportation**

Major Street & Highway Plan: N/A

Comprehensive Plan Street Designation: N/A

Transit: N/A

Existing Bike/Ped Facilities: N/A

Planned Bike/Ped Facilities: Sidewalks are recommended along street frontages.

Arterial Traffic per Lane: N/A

**Environmental Considerations**

Flood Area: The subject property is not located within a designated flood area.

Tree Canopy Coverage: Tree canopy in the area is 20%. Significant effort should be given to the preservation of mature stands of trees. Tree canopy removal should be minimized, and replacement of trees that need removing should be encouraged.

Parks & Open Space: N/A

**Site Photos**



View south from East Oklahoma Place, April 2025 (Image from Google Street View)

**Sample Motion**

I move to approve or deny a special exception to permit a duplex in the RS-3 district (Section 5.020, Table 5-2, Table 5-2.5);

- per the conceptual plan(s) shown on page(s) \_\_\_\_\_ of the agenda packet.
- subject to the following conditions (including time limitation, if any): \_\_\_\_\_.

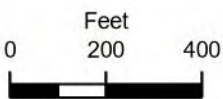
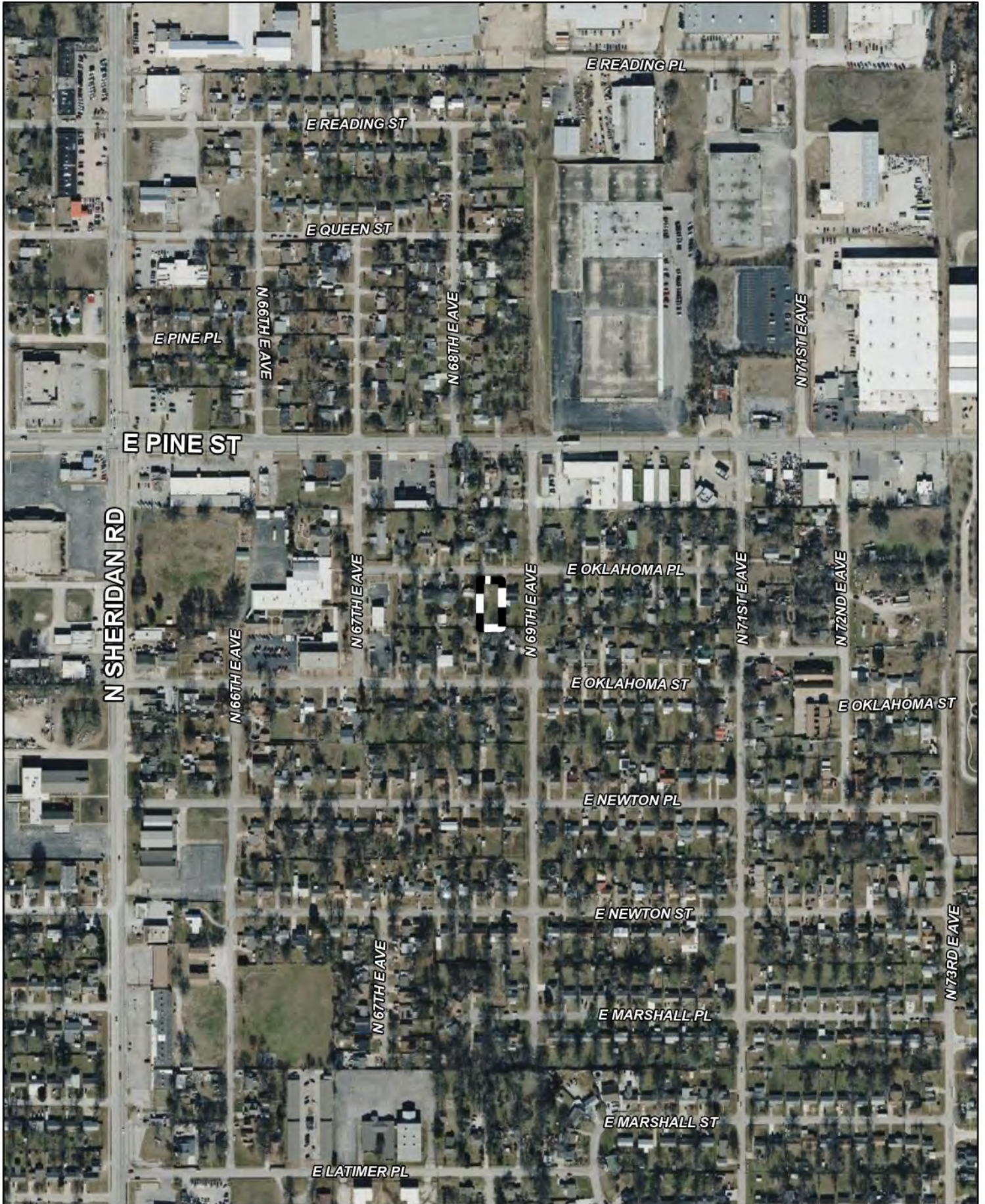
The Board finds that the requested Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

**Property Description**

LOT 2, BLOCK 5, SAINT PETER AND PAUL SUBDIVISION, City of Tulsa, Tulsa County, State of Oklahoma

**Exhibits**

- Case map
- Aerial (small scale)
- Aerial (large scale)
- Tulsa Comprehensive Plan Land Use Map



Subject Tract

**BOA-24010**

20-13 35

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2025



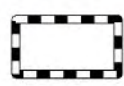
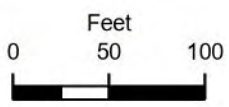
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N 69TH E AVE

E OKLAHOMA PL

E OKLAHOMA ST



Subject Tract

**BOA-24010**

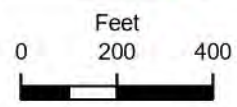
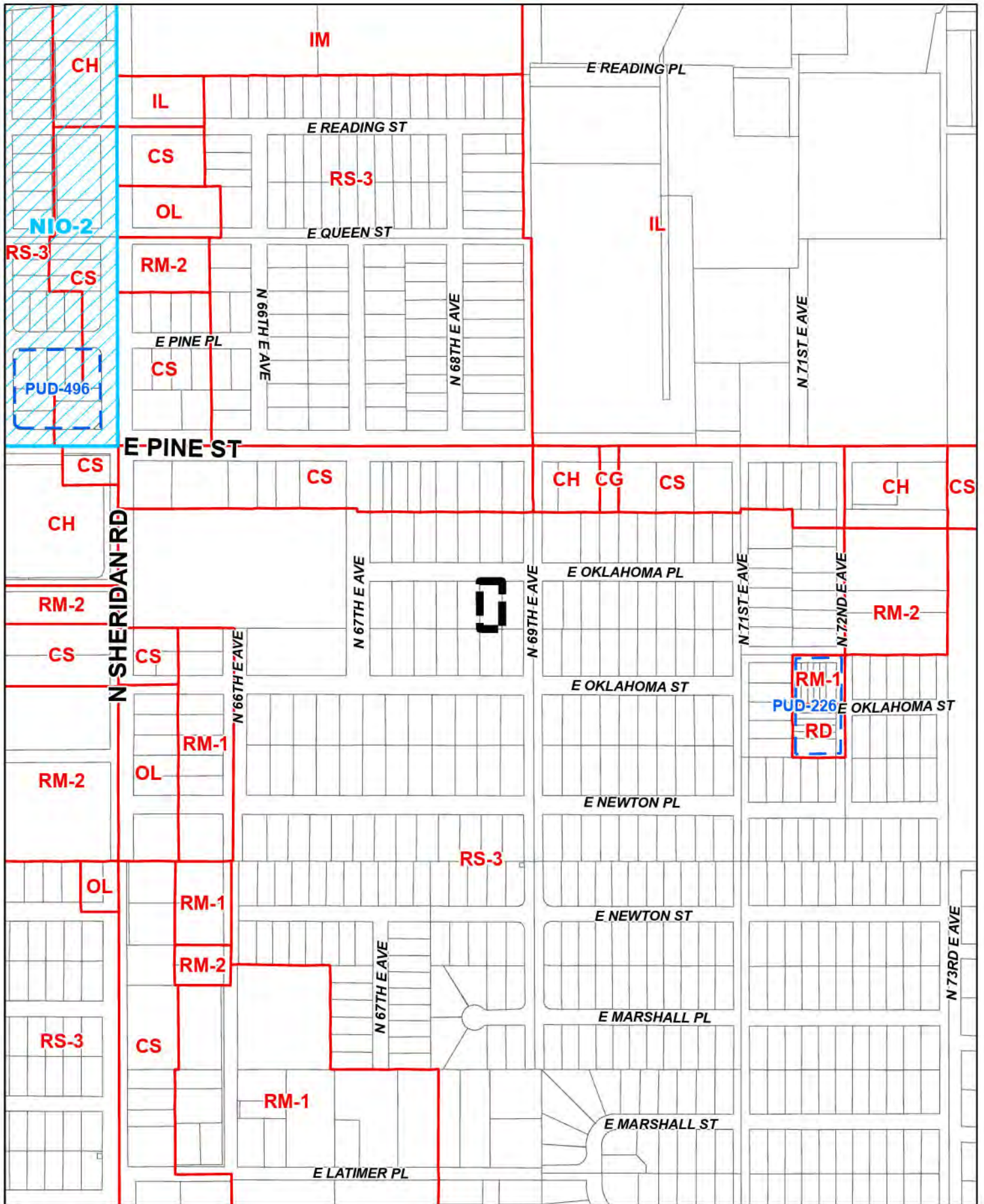
20-13 35

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Aerial Photo Date: 2025



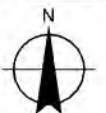
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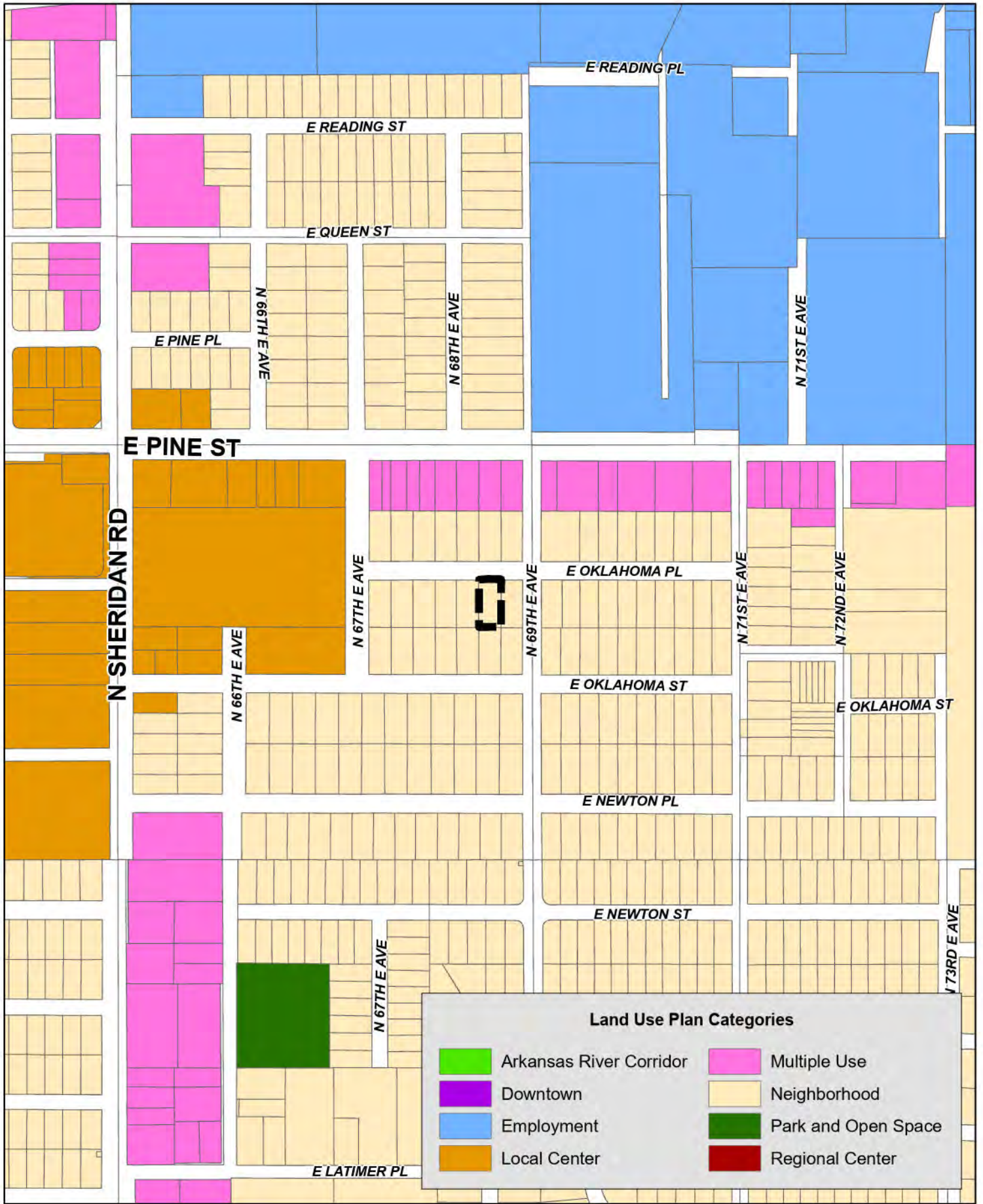
 Subject Tract

**BOA-24010**









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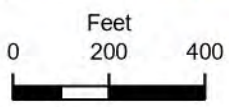


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**Land Use Plan Categories**

	Arkansas River Corridor		Multiple Use
	Downtown		Neighborhood
	Employment		Park and Open Space
	Local Center		Regional Center



 Subject Tract

**BOA-24010**

20-13 35



## Special Exceptions

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The Board of Adjustment is allowed to approve special exceptions only after determining that the following conditions exist. Below, explain how your requests satisfy these conditions:

1. The special exception will be in harmony with the spirit and intent of the Zoning Code; and

***The proposed single-story duplex is consistent with the intent of RS-3 zoning, as it maintains a residential scale and appearance similar to nearby single-family homes while allowing compatible infill development.***

2. The special exception will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

***The single-story design will not negatively impact the surrounding neighborhood, traffic, or public safety and will function similarly to a single-family residence while meeting all applicable code requirements.***

### Conditions

In granting any special exception, the Board may make appropriate conditions or safeguards, may limit the approval to a specified period of time and may require a bond or other guarantee necessary to enforce compliance with the conditions.

**If your application is approved, you will likely need additional permits.**

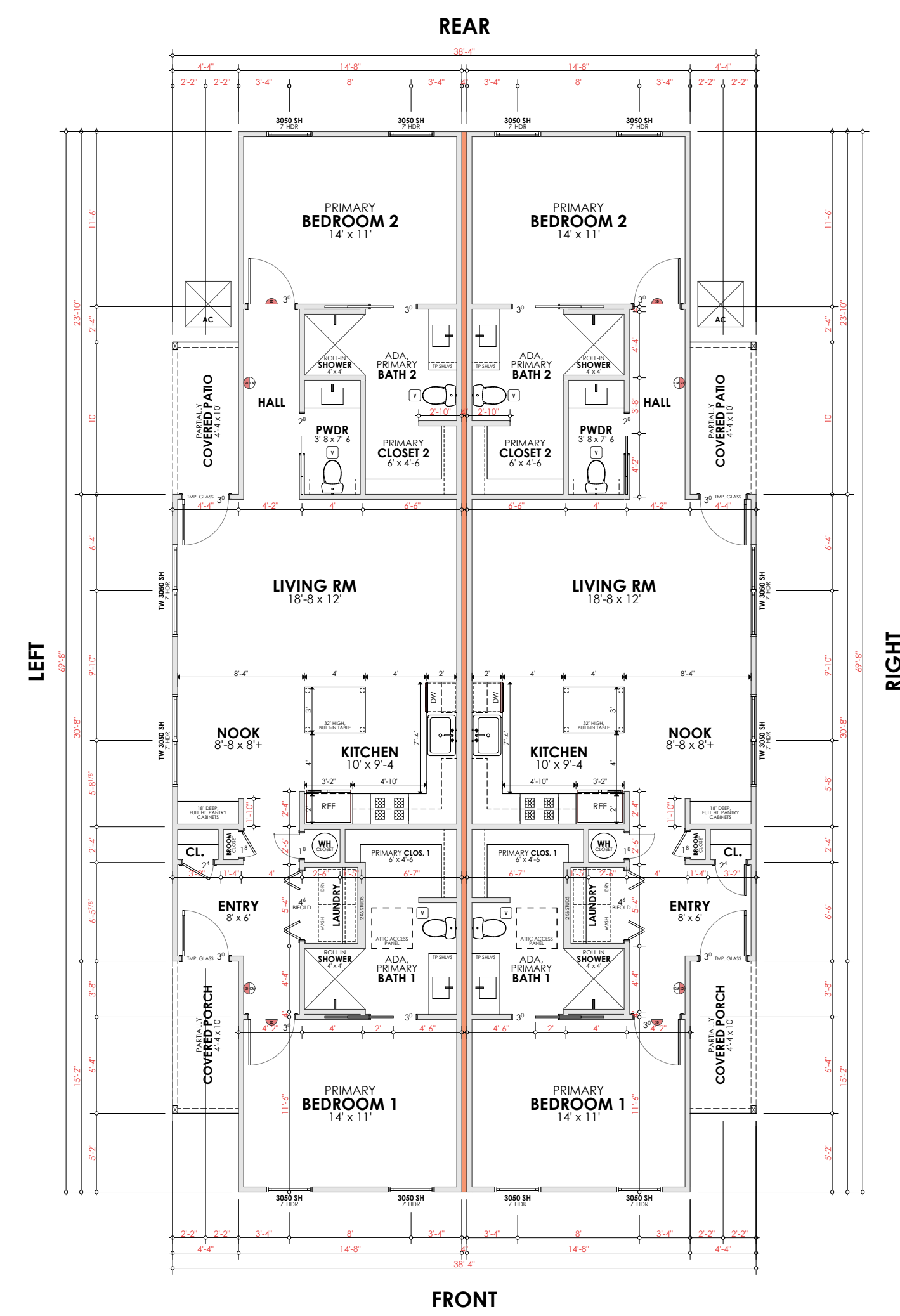
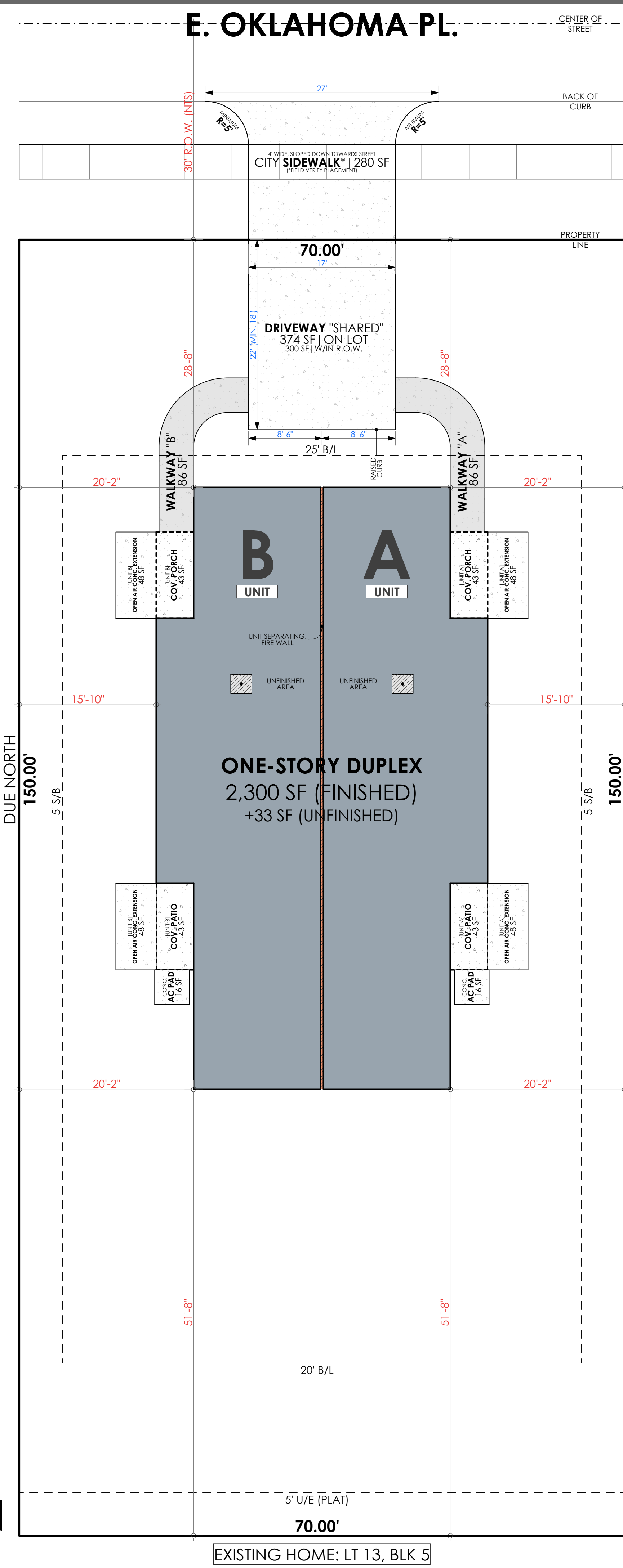
Call 918.596.9456 to speak with the Permit Center or Development Services Plans Review.

**SITE PLAN NOTES**

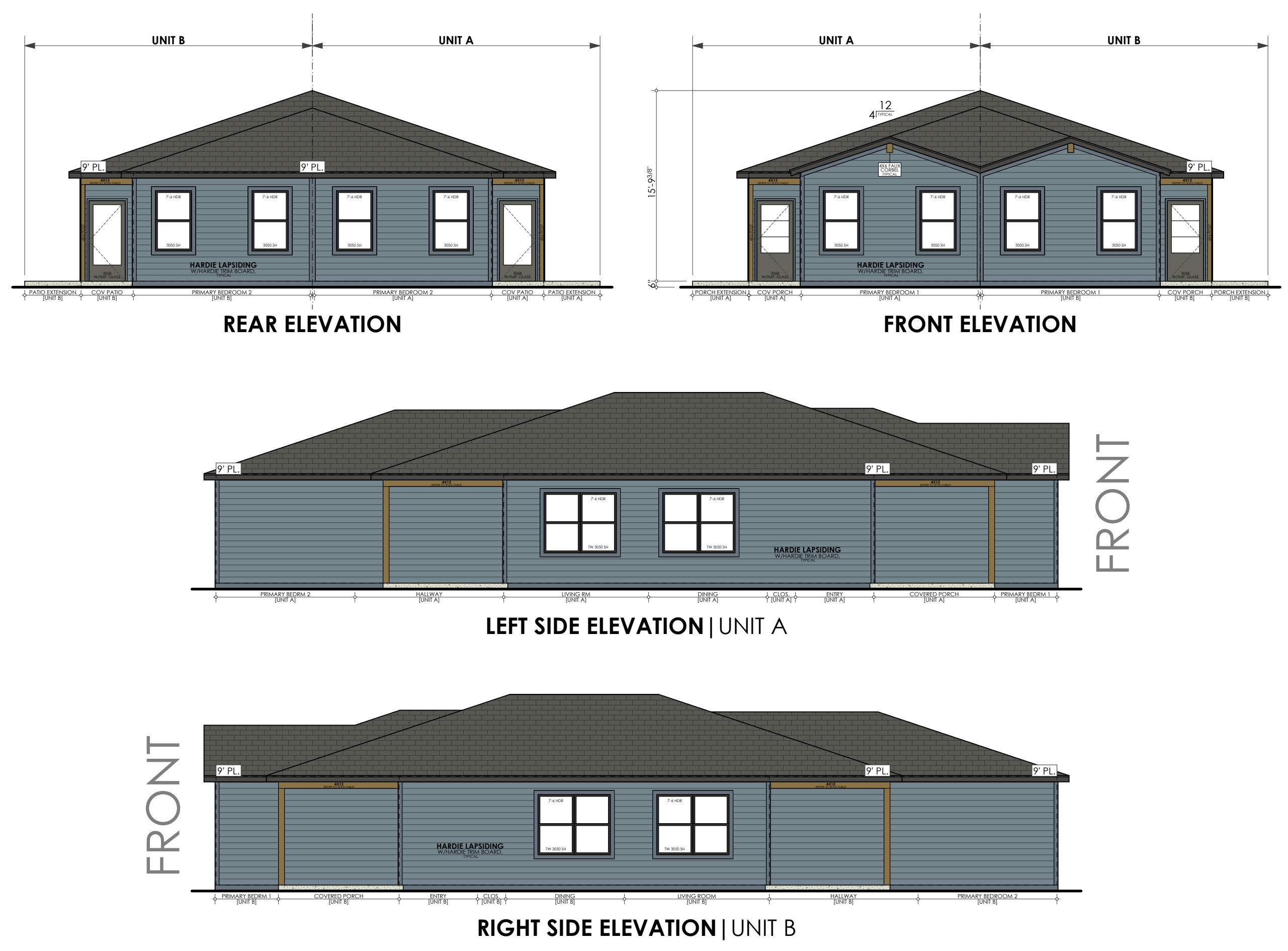
- CALL 811 BEFORE YOU DIG TO VERIFY ALL UNDERGROUND UTILITIES.
- UNDERGROUND UTILITIES AND EASEMENTS WERE NOT VERIFIED PRIOR TO THIS DRAWING BEING MADE. CONTRACTOR RESPONSIBLE FOR IDENTIFYING AND VERIFYING ACCURACY OF DRAWINGS. PRIOR TO STARTING CONSTRUCTION.

**FINISHED FLOOR NOTES**

- FINISHED FLOOR MUST BE AT LEAST 12" ABV. FLOW-LINE\* OF STREET. (I.e. \*GRADE AT STREET LEVEL)



PROPOSED  
**FLOOR PLAN & ELEVATIONS**



PLAN DESIGNER/DRAFTSMAN



STRUCTURAL ENGINEERING BY OTHERS

BUILDER/GC

**MEÑO PROPERTIES**  
RUBEN: (918) 946-0254

PROJECT + ADDRESS

**EVERGREEN | DUPLEX**

SAINT PETER & PAUL SUB: LT 2, BLK 5  
6732 E. OKLAHOMA PL., UNIT "A", TULSA, OK 74115  
6732 E. OKLAHOMA PL., UNIT "B", TULSA, OK 74115  
TULSA COUNTY

FOOTAGES

EACH UNIT: 1,150 SF  
TOTAL: 2,300 SF

ITEM	SIZE	UNIT
OTHER	33	SF
COVERED PORCHES	86	SF
COVERED PATIOS	86	SF
PORCH/PATIO EXTENSIONS	192	SF
DRIVEWAY	374	SF
WALKWAY TO DOOR	172	SF
AC PAD	32	SF
LOT SIZE	10,500	SF
(R.O.W.) DRIVEWAY	300*	SF
(R.O.W.) SIDEWALK	280*	SF

DATE: 1/20/26

SCALE: 1/8" = 1'-0"

SHEET: **A1**

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