

SPIDELL ADU CONVERSION

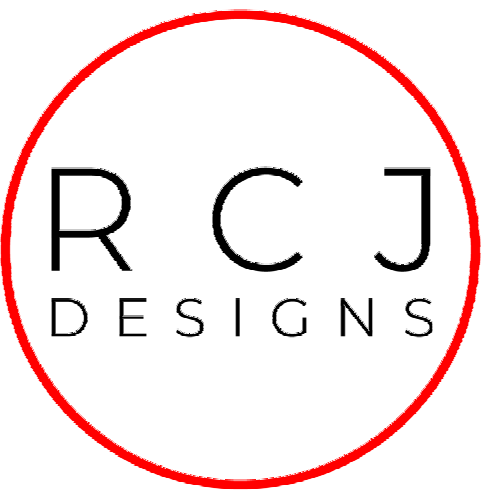
4244 S 27TH W AVE
TULSA OK 74107

PROJECT NUMBER

24119

PERMIT SET

09.13.2024



TULSA, OK
918.859.9343
WWW.RCJDESIGNS.COM



FOR REFERENCE PURPOSES ONLY

PROJECT TEAM

DESIGN:

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8246 E 73RD ST
TULSA, OK. 74133

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SCOPE OF WORK

SUMMARY:

AN ADDITION TO AN EXISTING GARAGE STRUCTURE &
CONVERTING IT INTO A ACCESSORY DWELLING UNIT.

SHEET INDEX

CS	COVER SHEET
A0	SITE PLAN
D1	DEMOLITION FLOOR PLAN
A1	FLOOR PLAN & SECOND FLOOR PLAN
A3	EXTERIOR ELEVATIONS
A5	ROOF PLAN

LEGEND SITE PLAN

NOT ALL ITEMS MAY BE USED

- EXISTING BUILDING FOOTPRINT: AREA NOT IN SCOPE OF WORK
- ASPHALT PAVING
- TULSA REGULATORY FLOOD PLAIN
- CONCRETE DRIVEWAY/WALKWAY
- PROPERTY LINE
- BUILDING SETBACKS
- BUILDING OUTLINE
- SILT FENCE
- DRAINAGE FLOW
- STRAW WATTLE
- DOWNSPOUTS

PROJECT INFORMATION

LEGAL DESCRIPTION
 SUBDIVISION: PARK ADDN - RED FORK (31125)
 LEGAL: LOTS-11 & 12, BLK-3
 SECTION: 27 TOWNSHIP; 19 RANGE; 12

GENERAL INFORMATION
 ZONING: RS-3
 LOT SIZE: 0.31 ACRES / 13,500 SQ FT

ADDITIONAL INFORMATION

MAIN RES. INFORMATION

EXISTING LIVABLE AREA	1,635 SQ FT
EXISTING FRONT COVERED PORCH	36 SQ FT
EXISTING REAR UNCOVERED PORCH	40 SQ FT
EXISTING WALKWAY	20 SQ FT
EXISTING DRIVEWAY	247 SQ FT
EXISTING STORAGE BLDG.	60 SQ FT
TOTAL	2,038 SQ FT

ADU INFORMATION

1ST FLOOR

EXISTING STRUCTURE	477 SQ FT
PROPOSED ADDITION	165 SQ FT

2ND FLOOR

2ND FLOOR LIVABLE:	318 SQ FT
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TOTAL FIRST FLOOR LIVABLE 642 SQ FT
NEW WALKWAY 88 SQ FT
NEW DRIVEWAY 1,025 SQ FT
TOTAL 1,755 SQ FT
GRAND TOTAL 3,793 SQ FT

REGULATIONS

MIN. OPEN SPACE REQ'D	4,000 SQ FT
OPEN SPACE PROPOSED	9,707 SQ FT
MAX ADU BUILDING HEIGHT	18' - 0"
ADU STRUCTURE HEIGHT	+/- 24' 5"
MAX ADU TOP PLATE HEIGHT	10' - 0"
ADU TOP PLATE HEIGHT	8' - 0"

SURVEY DISCLAIMER SITE PLAN

THIS SITE PLAN IS DRAWN WITHOUT THE BENEFIT OF A BOUNDARY SURVEY. BOUNDARY AND EXISTING STRUCTURE LOCATIONS ARE APPROXIMATE BASED ON FIELD INFORMATION AND FOR ILLUSTRATIVE PURPOSES ONLY.

CAUTION

BEFORE YOU DIG...
 NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.

CALL OKIE
 1-800-522-6543

SILT FENCE DETAIL SITE PLAN

- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE.
- THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
- THE TRENCH SHOULD BE A MINIMUM OF 6 INCHES DEEP AND 3 TO 4 INCHES WIDE TO ALLOW FOR THE SILT FENCE TO BE LAID IN THE TRENCH 4 INCHES AND BACKFILLED.
- SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POSTS.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE, IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES AND DISPOSED OF IN AN APPROVED SPOIL SITE OR AS IN NO. 7 ABOVE.

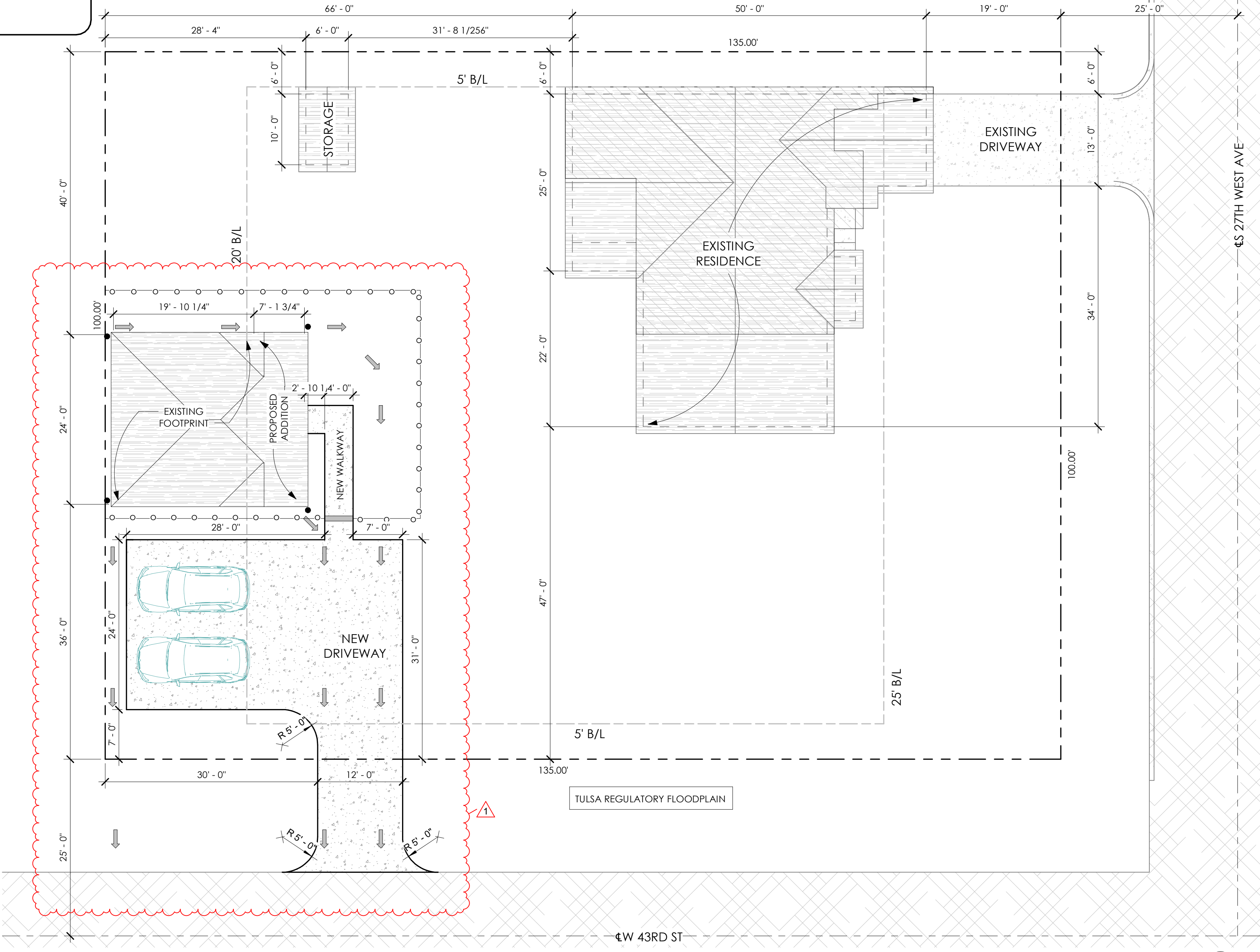
SCALE: NOT TO SCALE

KEYNOTES # SITE PLAN

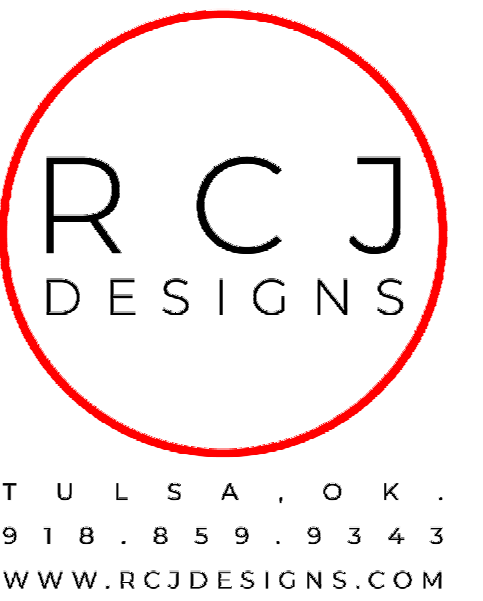
MAX SQUARE FOOTAGE OF ACCESSORY BUILDING: 40% OF RESIDENCE OR 500 SQ FT, WHICHEVER IS GREATER
 1,635 SQ FT X 40% = 654 SQ FT MAX.
 PROPOSED AREA: 641 SQ FT

MAXIMUM COVERAGE OF REAR SETBACK FOR RS-3 LOTS: 30% OF REAR SETBACK.
 2,000 SQ FT X 30% = 600 SQ FT MAX.
 ACCESSORY BUILDING COVERAGE: 456 SQ FT

TULSA REGULATORY FLOODPLAIN COVERS THE SOUTHWEST CORNER OF THE PROPERTY.



1 SITE PLAN
 1" = 10'-0"



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GENERAL NOTES DEMOLITION FLOOR PLAN

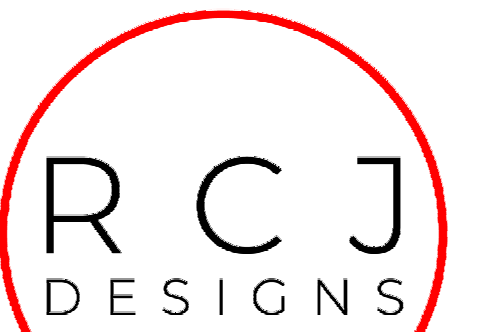
1. ALL EXTERIOR WALLS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
2. GENERAL CONTRACTOR SHALL VISIT SITE AND BECOME FAMILIAR WITH SITE CONDITIONS.
3. NOTIFY DESIGNER IMMEDIATELY IF DIFFERENT CONDITIONS EXIST FROM WHAT IS DESCRIBED.
4. CONTRACTOR SHALL INCLUDE AND PERFORM ALL DEMOLITION WORK REQUIRED TO ACCOMMODATE NEW WORK.
5. ALL AREAS AFFECTED BY DEMOLITION SHALL BE PATCHED AND/OR REPAIRED TO MATCH EXISTING ADJACENT SURFACES AND FINISHES.
6. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CITY AND FEDERAL CODES, STANDARDS, AND ORDINANCES.
7. WHERE DASH LINE IS REPRESENTED, REMOVE WALLS, DOORS, WINDOWS, AND ALL ASSOCIATED COMPONENTS.
8. PROTECT ALL WORK TO REMAIN FROM DAMAGE DURING DEMOLITION. MAINTAIN EXISTING STRUCTURAL INTEGRITY OF BUILDING AT ALL TIMES. WHERE STRUCTURAL ELEMENTS ARE NOT IDENTIFIED ON THE PLANS, NOTIFY DESIGNER/OWNER PRIOR TO REMOVAL.

KEYNOTES # DEMOLITION ROOF PLAN

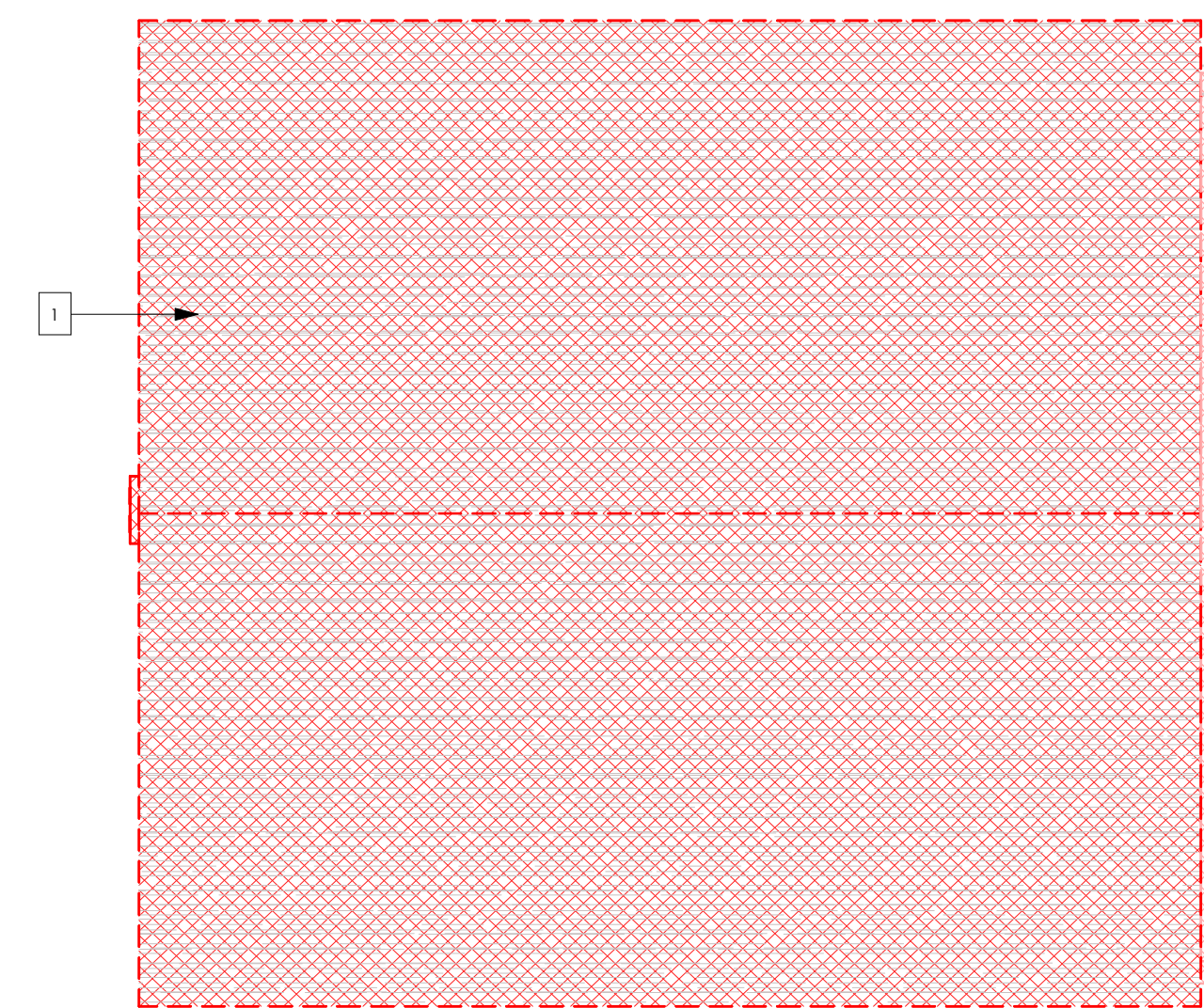
1. REMOVE & DEMOLISH EXISTING ROOF.

KEYNOTES # DEMOLITION FLOOR PLAN

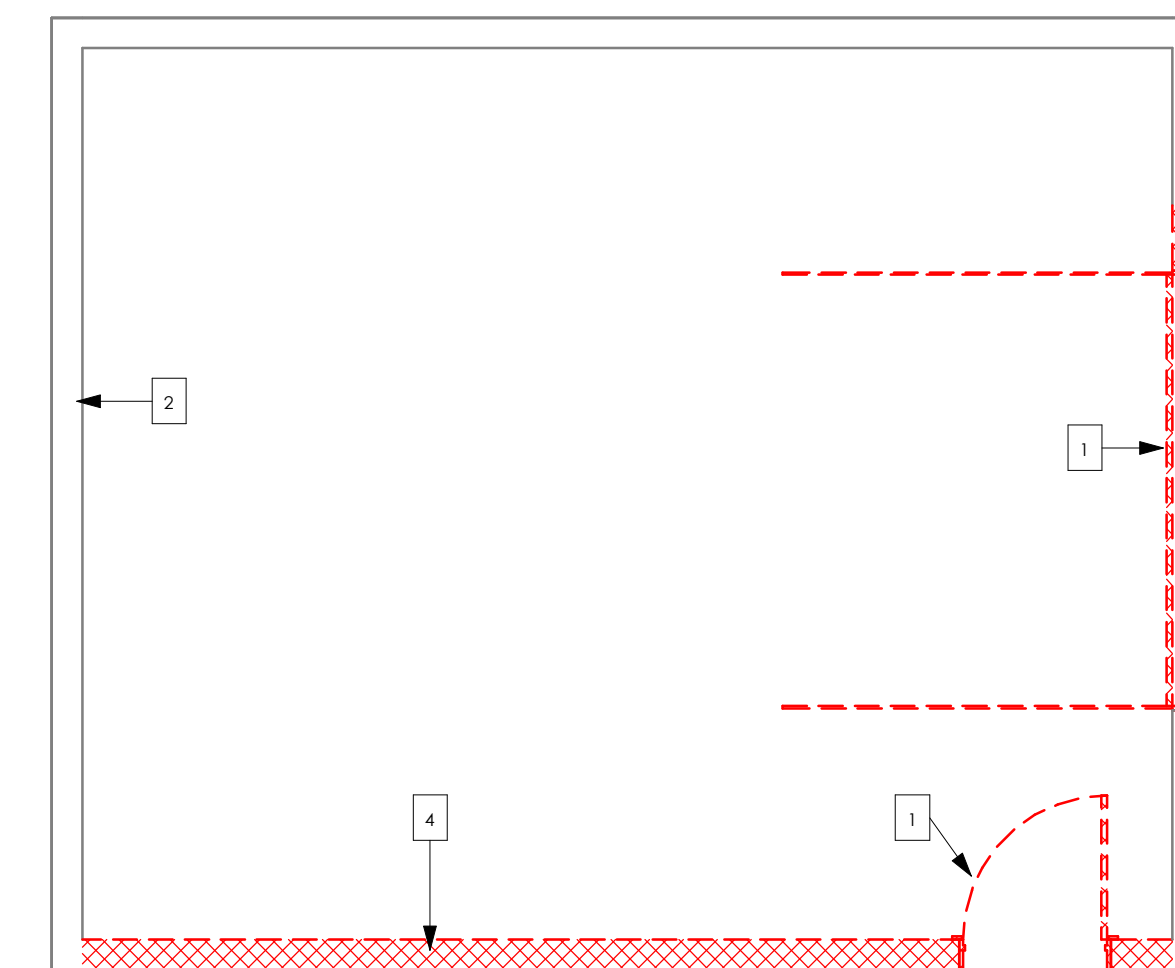
1. REMOVE & DEMOLISH DOOR.
2. REMOVE & DEMOLISH EXTERIOR WALL PORTION. PREPARED FOR NEW WINDOW.
3. REMOVE & DEMOLISH INTERIOR WALL.
4. REMOVE & DEMOLISH EXTERIOR WALL PARTION.



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2 DEMOLITION ROOF PLAN
1/4" = 1'-0"



1 DEMO FLOOR PLAN
1/4" = 1'-0"



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DEMOLITION FLOOR PLAN

D1

GENERAL NOTES		FLOOR PLAN
1.	ALL INTERIOR WALLS TO BE A4 U.N.O.	
2.	ALL DIMENSIONS ARE TO FACE OF EXISTING WALLS AND CENTERLINE OF NEW WALL/ROUGH OPENING U.N.O.	
3.	ALL INTERIOR FINISHES INCLUDING BUT NOT LIMITED TO FLOORING, PAINT, WALLCOVERING, LIGHT FIXTURES, TRIM, LAMINATE, SOLID SURFACES AND MILLWORK TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR PER MANUF. GUIDELINES AND IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.	
4.	GENERAL CONTRACTOR SHALL VISIT SITE AND BECOME FAMILIAR WITH SITE CONDITIONS.	
5.	NOTIFY DESIGNER IMMEDIATELY IF DIFFERENT CONDITIONS EXIST FROM WHAT IS DESCRIBED.	
6.	ALIGN NEW WALL'S FINISH FACE WITH THE EXISTING WALL'S FINISH FACE AT AREAS WHERE THE TWO ABUT.	
7.	ALL MECHANICAL, ELECTRICAL AND PLUMBING ITEMS TO BE PROVIDED ON A DESIGN/ BUILD BASIS, IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES, ASIDE FROM ALL ELECTRICAL AND PLUMBING ITEMS REPRESENTED ON PLANS, PROVIDE ADDITIONAL DEVICES AS REQUIRED BY LOCAL CODE.	
8.	ALL DIMENSIONS ARE TO CENTERLINE OF OBJECT, EXCEPT FOR THE PERIMETER STUDS WHICH ARE DIMENSIONS TO EDGE OF SLAB, MASONRY OPENINGS WHICH ARE FROM FACE OF BRICK, AND AREAS WHERE SHOWN CLEAR DIMENSION IS REQUIRED; U.N.O.	

WALL ASSEMBLIES		FLOOR PLAN
ITEM	DESCRIPTION	
	EXISTING EXTERIOR WALL TO REMAIN	
	EXISTING INTERIOR WALL TO REMAIN	
	NEW EXTERIOR WALL W/ LAP SIDING	
	NEW INTERIOR WALL	

NOTE: ALL INTERIOR WALLS TO BE A4 U.N.O.

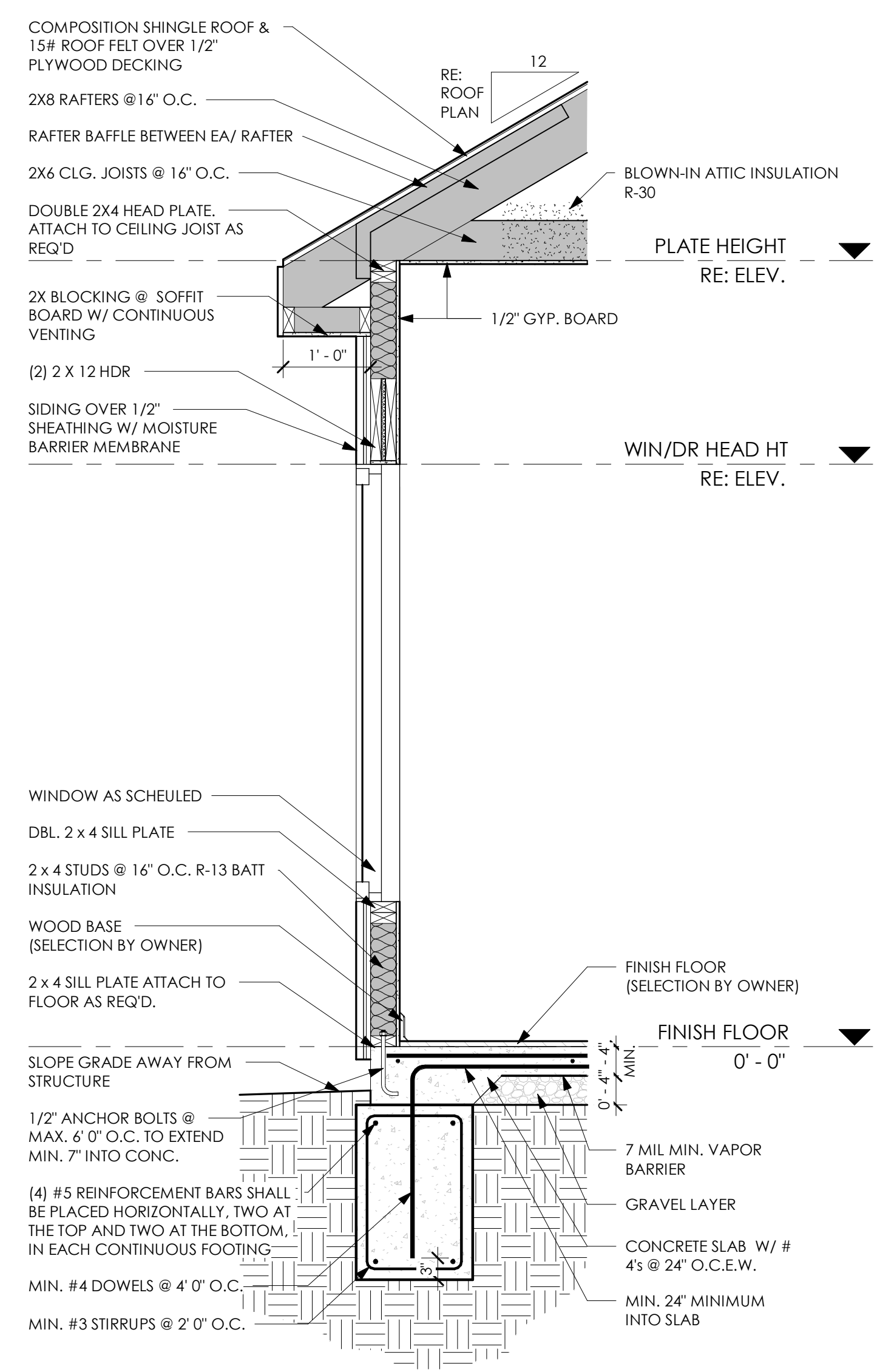
- PROVIDE WATER RESISTANT GYPSUM BOARD AT ALL WET AREAS.

FLOOR PLAN LEGEND		FLOOR PLAN
ITEM	DESCRIPTION	
	NEW WINDOW - FIXED (FX)	
	NEW WINDOW - SINGLE HUNG (SH)	
	NEW DOOR OPENING (OP)	
	NEW ARCHED DOOR OPENING (AO)	
	NEW STANDARD DOOR	
	NEW SLIDING DOOR	
	NEW BI-FOLD DOOR (BD)	
	CEILING MOUNTED SMOKE DETECTOR	
	CEILING MOUNTED CARBON MONOXIDE DETECTOR	

LEGEND NOTES:
1. NOT ALL ITEMS MAY BE USED.

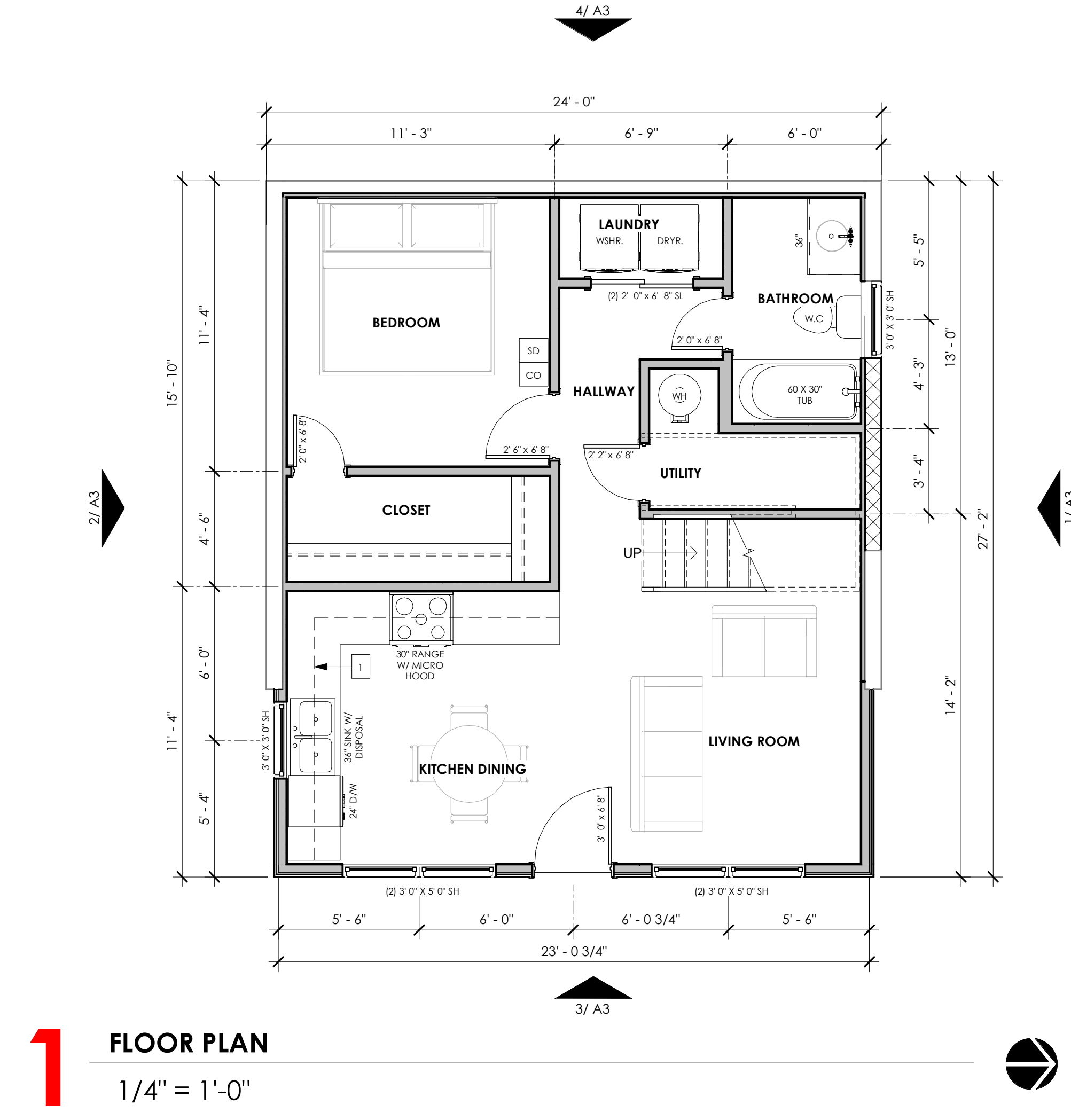
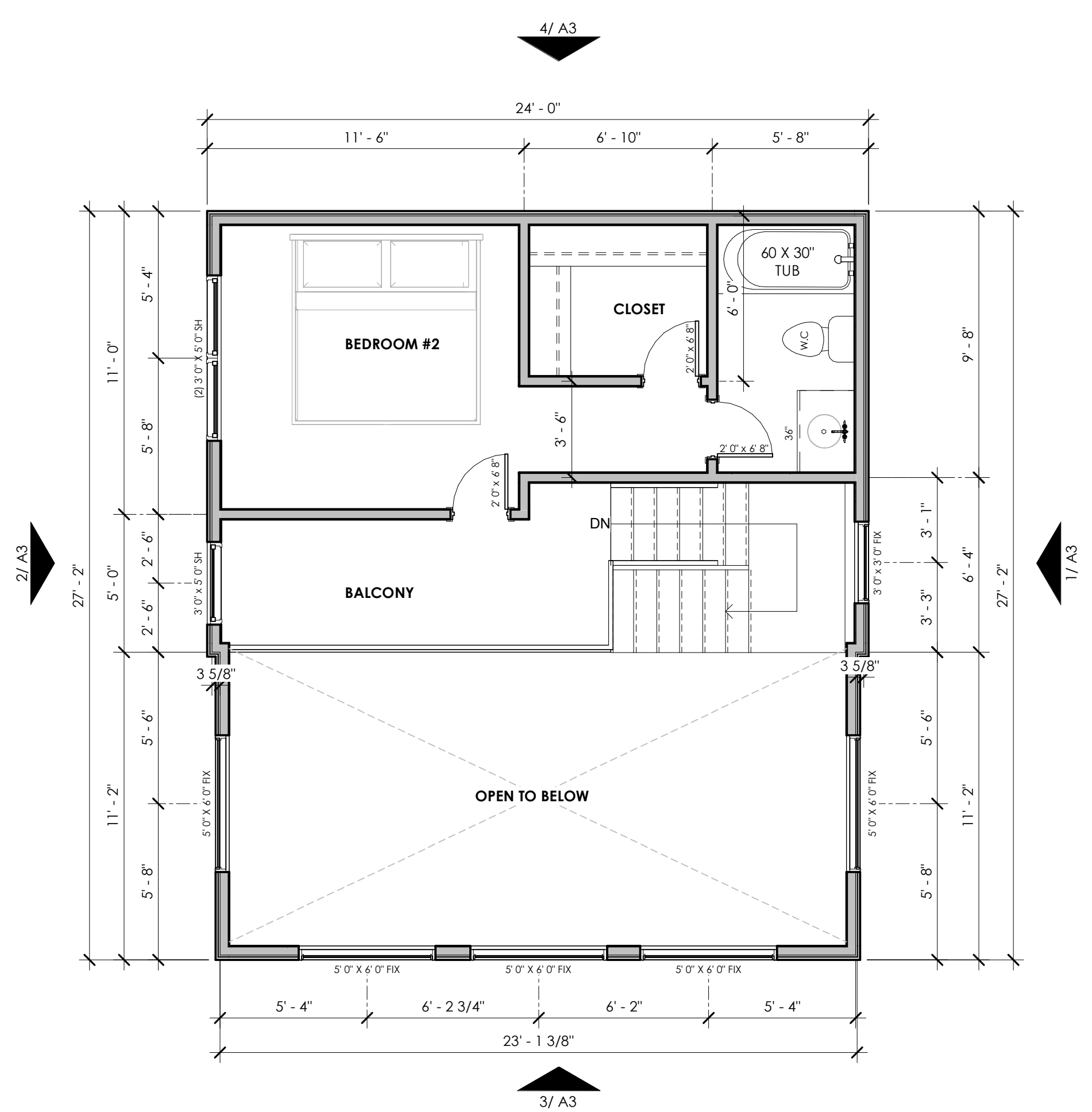
REFERENCING		FLOOR PLAN
A.	RE: SHEETS A3/A4 FOR EXTERIOR ELEVATIONS	
B.	RE: SHEETS A5 FOR ROOF PLAN	

KEYNOTES		FLOOR PLAN
1.	26" CUSTOM COUNTERTOP ON 24" CUSTOM BASE CABINETS, 12" CUSTOM UPPER CABINETS 18" ABOVE COUNTERTOP, BACKSPASH BY OTHERS	
2.	CELLING MOUNTED EXHAUST FAN TO VENT OUTSIDE FROM THE ROOF	



3 TYP. WALL SECTION
3/4" = 1'-0"

2 NEW FLOOR PLAN - SECOND FLOOR
1/4" = 1'-0"



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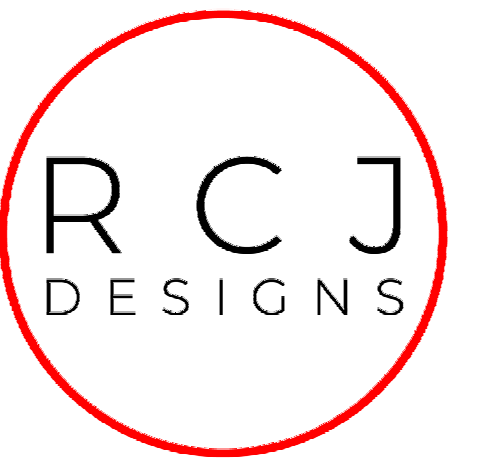
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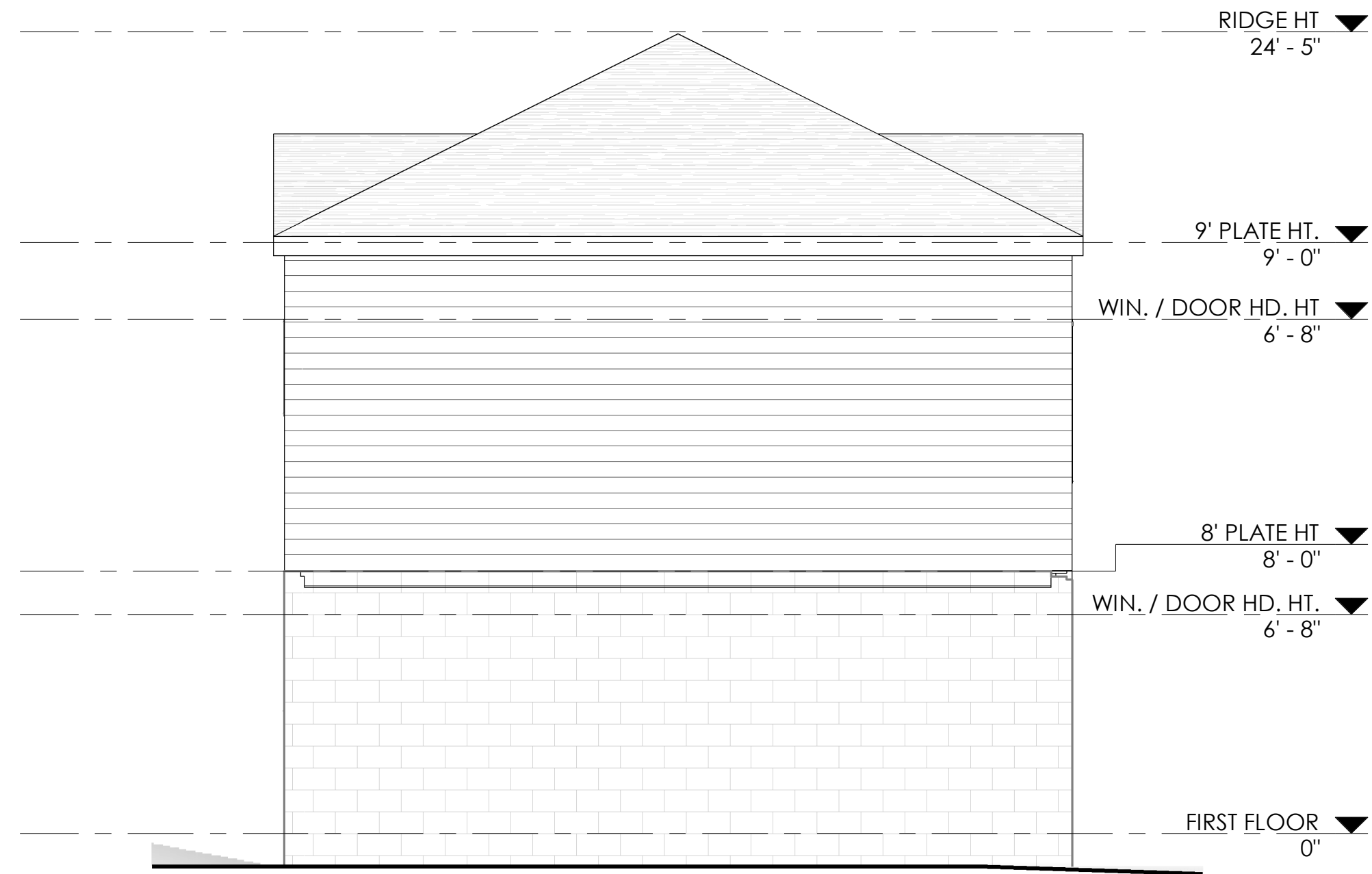
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SHEET TITLE:
FIRST & SECOND FLOOR PLAN

A1



T U L S A . O K .
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4 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

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EXTERIOR ELEVATIONS

A3

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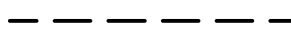
GENERAL NOTES

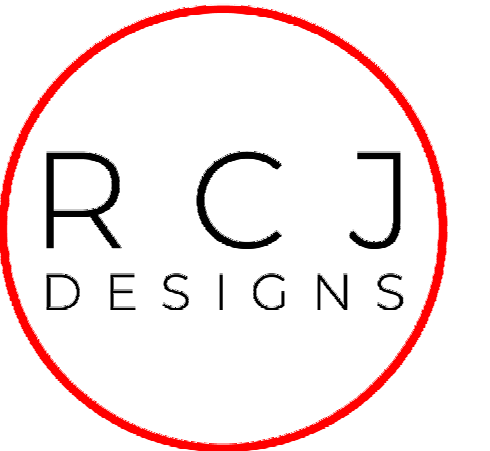
ROOF PLAN

- 1. CONTRACTOR TO PROVIDE ADEQUATE VENTILATION PER R806, IRC 2015
- 2. FIELD VERIFY EXISTING ROOF PITCHES.

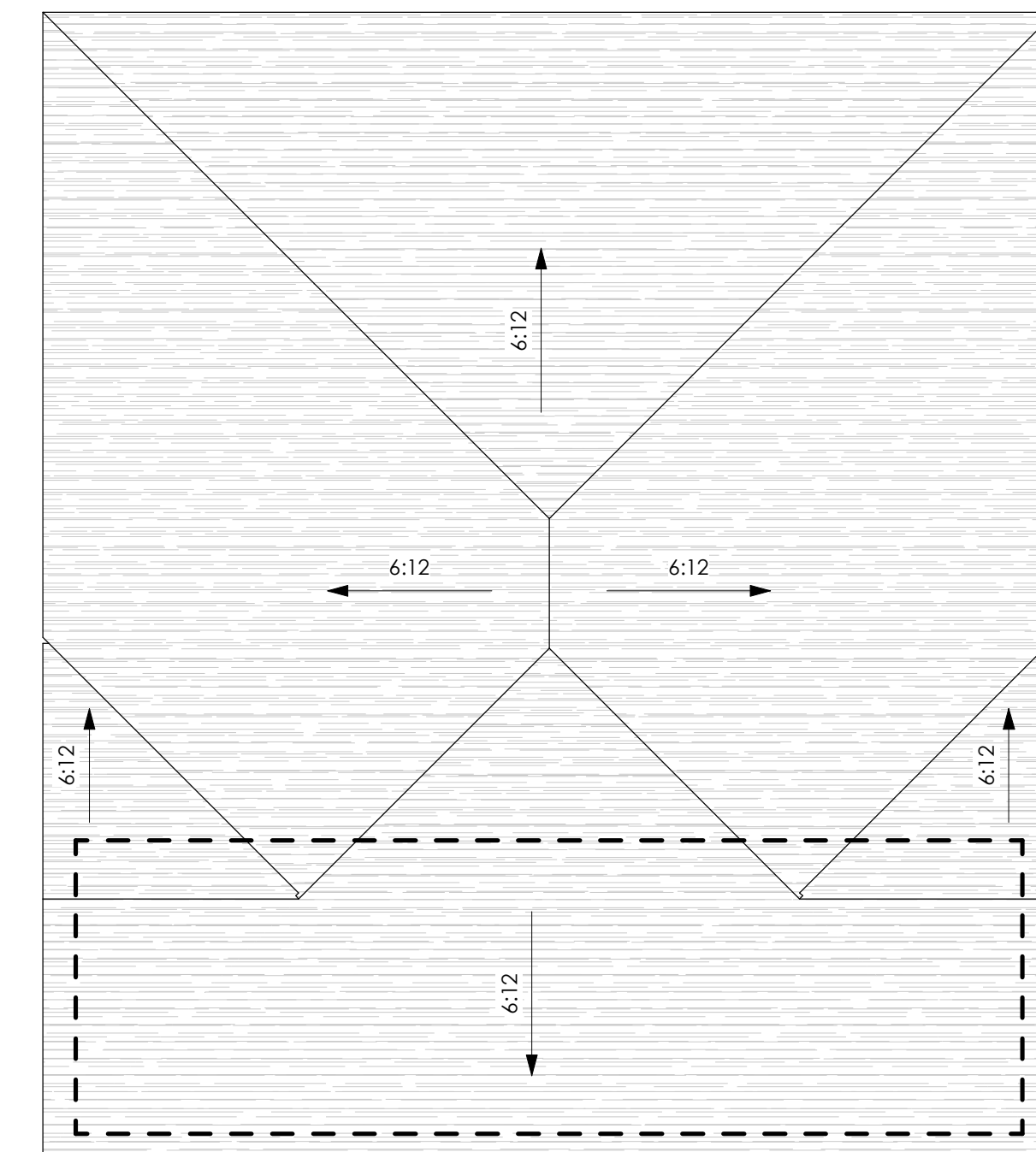
LEGEND

ROOF PLAN

-  SHINGLE ROOF ASSEMBLY
-  SLAB OUTLINE



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1 ROOF PLAN
 1/4" = 1'-0"



ROOF PLAN
A5

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