



CITY OF
Tulsa
Board of Adjustment

Case Number: BOA-23578

Hearing Date: 09/26/2023 1:00 PM

Case Report Prepared by:

Austin Chapman

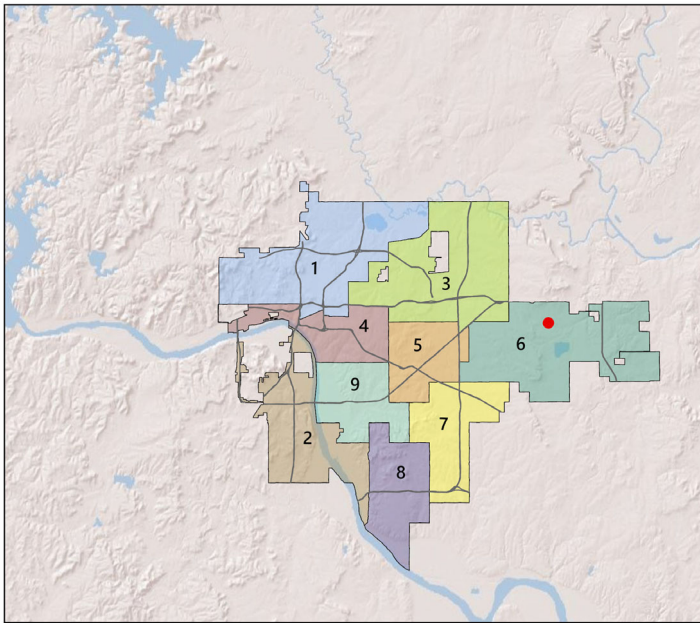
Owner and Applicant Information:

Applicant: Meenakshi Krishnasamy

Property Owner: Hindu Temple Of Greater

Action Requested: Special Exception to amend a previously approved site plan for a Religious Assembly Use in the AG District (25.020, Table 25-2; Sec. 70.120)

Location Map:



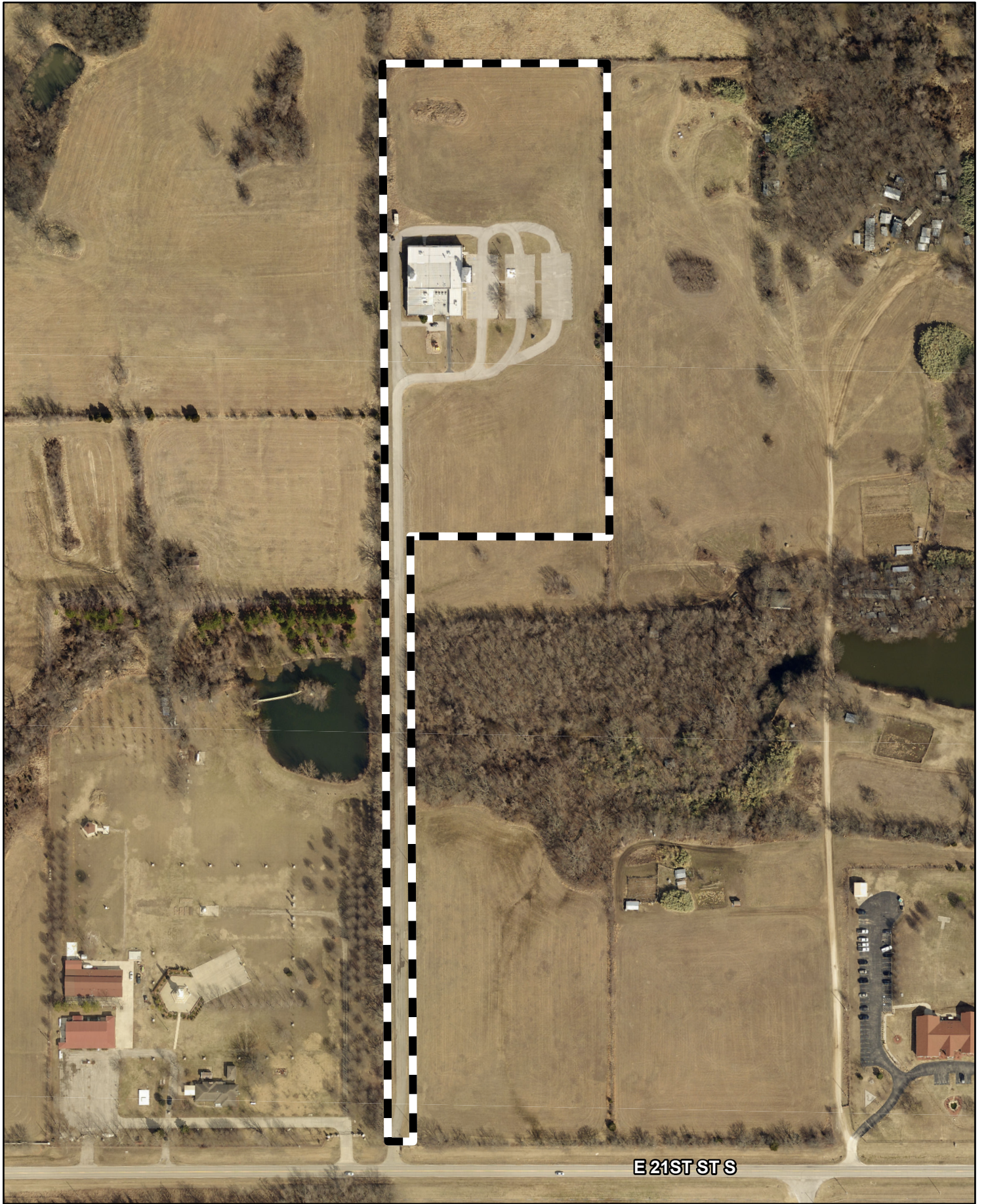
Additional Information:

Present Use: Church

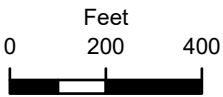
Tract Size: 10.88 acres

Location: 16943 E. 21st St.

Present Zoning: AG



E 21ST ST S

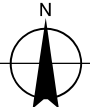


 Subject Tract

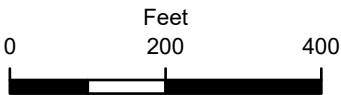
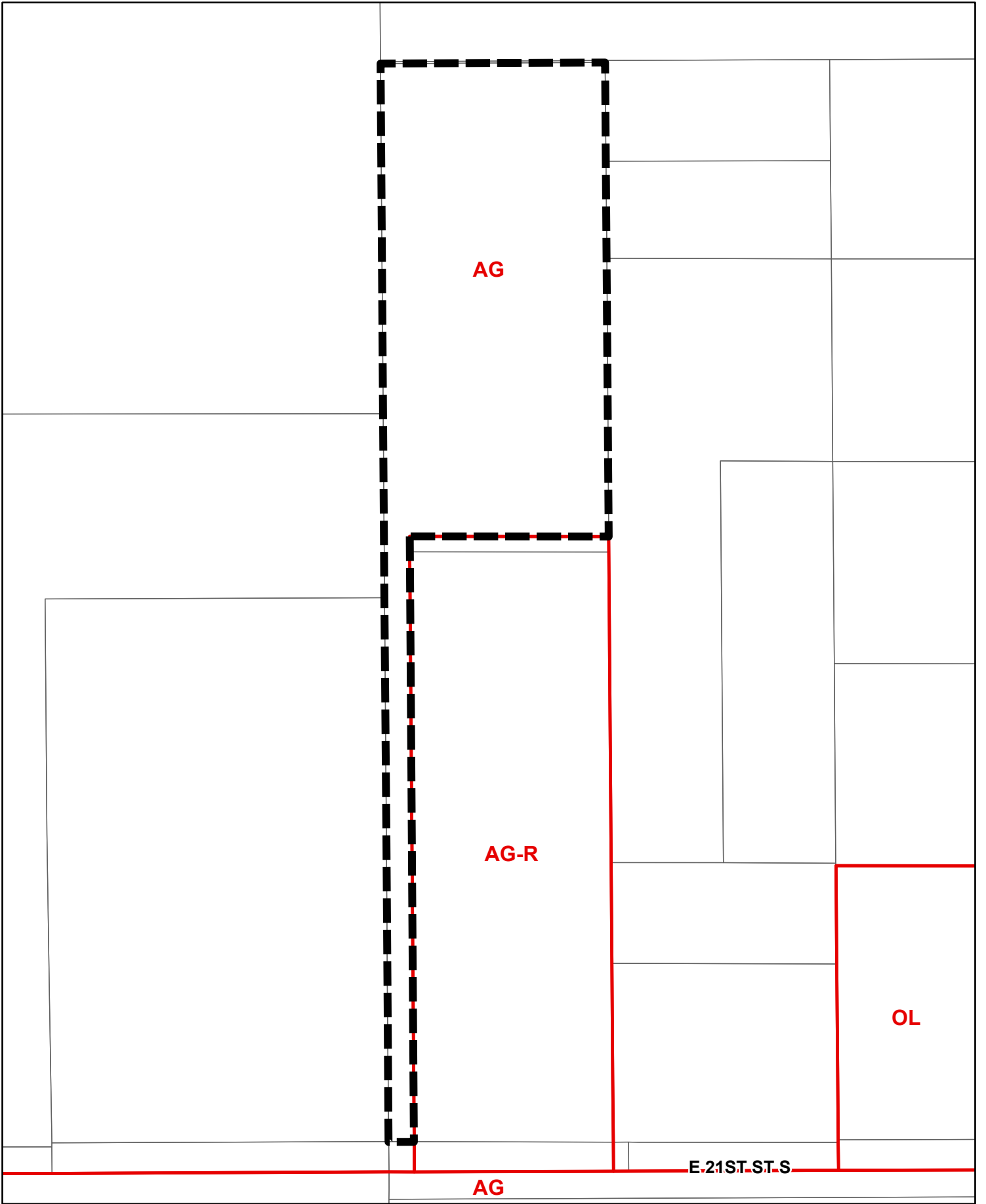
BOA-23578

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2021



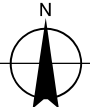
13.2



BOA-23578



Subject Tract **13.3**



**BOARD OF ADJUSTMENT
CASE REPORT**

STR: 9411
CD: 6

Case Number: **BOA-23578**

HEARING DATE: 09/26/2023 1:00 PM

APPLICANT: Meenakshi Krishnasamy

ACTION REQUESTED: Special Exception to amend a previously approved site plan for a Religious Assembly Use in the AG District (25.020, Table 25-2; Sec. 70.120)

LOCATION: 16943 E 21 ST S

ZONED: AG

PRESENT USE: Church

TRACT SIZE: 473716.94 SQ FT

LEGAL DESCRIPTION: PRT W1/3 W/2 SE BEG SWC SE TH N2176.57 E440.83 S940 W390.90 S1236.62 W50 POB LESS S50 THEREOF FOR ST SEC 11 19 14 10.875ACS, TULSA COUNTY, STATE OF OKLAHOMA

RELEVANT PREVIOUS ACTIONS:

Subject Property:

BOA- 17783; On 07.2.97 the Board granted a Special Exception to permit a church in the AG district per plan on the subject tract. Included in your packet is a copy of the originally approved plan.

STAFF ANALYSIS: Applicant is seeking to add an assembly space to the existing religious assembly use per the new site plan.

SAMPLE MOTION:

Move to _____ (approve/deny) a **Special Exception** to amend a previously approved site plan for a Religious Assembly Use in the AG District (25.020, Table 25-2; Sec. 70.120):

- Per the Conceptual Plan(s) shown on page(s) _____ of the agenda packet.
- Subject to the following conditions (including time limitation, if any):

The Board finds that the requested Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

GENERAL NOTES

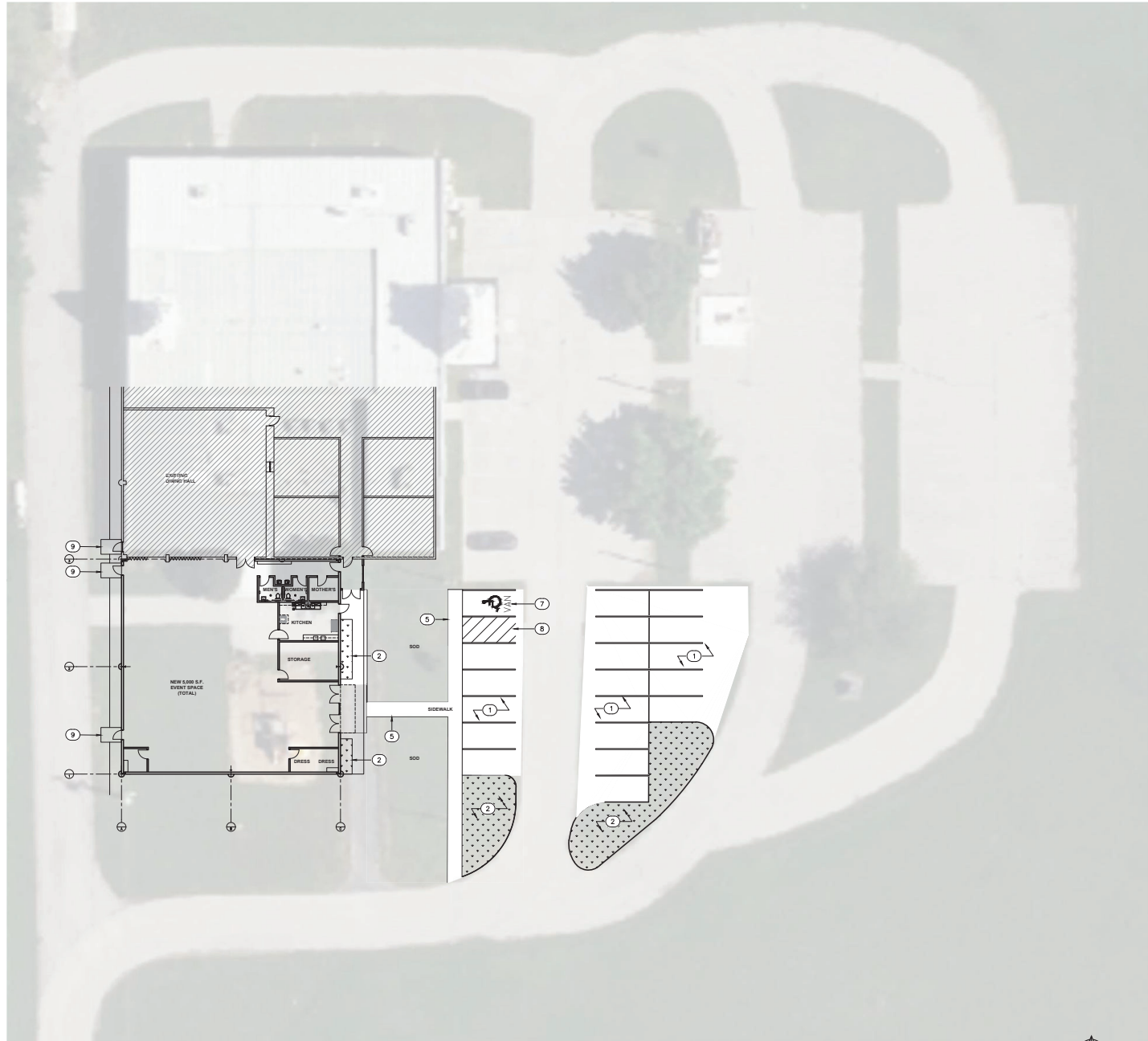
SITE PLAN

- A. PATCH AND REPAIR ANY EXISTING SITE ELEMENTS (SOIL, LANDSCAPE, PAVING, ETC.) DISTURBED DURING THE CONSTRUCTION PROCESS.
- B. CONTRACTOR TO ENSURE AREAS OF NEW PAVING ALONG THE EGRESS ROUTE ADJOINING EXISTING HORIZONTAL SURFACES SHALL BE FLUSH IN NATURE WITH LESS THAN 1/4" VERTICAL RISE.
- C. CONTRACTOR TO FURNISH WARNING BARRELS TO CONTROL ACCESS DURING CONSTRUCTION. ALL CONSTRUCTION ZONES SHOULD BE CLEARLY IDENTIFIED TO MINIMIZE PUBLIC CONFUSION.
- D. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE PRIOR TO BIDDING TO INSPECT THE SITE AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AFFECTING AREAS OF NEW CONSTRUCTION. THE CONTRACTOR SHALL NOT DISPUTE OR ASSERT THAT THERE IS ANY MISUNDERSTANDING IN REGARDS TO LOCATION, EXTENT, NATURE OR AMOUNT OF WORK TO BE PERFORMED UNDER THIS CONTRACT DUE TO THE CONTRACTOR'S FAILURE TO PERFORM THESE DUTIES.
- E. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES IN ALL AREAS AFFECTED BY NEW WORK PRIOR TO COMMENCEMENT OF ANY EXCAVATION. EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ROUTING LOCATIONS AS BEST DETERMINED FROM EXISTING SURVEY BUT SHOULD NOT BE CONSTRUED TO REPRESENT ALL EXISTING UTILITIES.
- F. FIELD VERIFY IS DEFINED AS FOLLOWS: THE GENERAL CONTRACTOR IS REQUIRED TO FIELD SURVEY THE NOTED CONDITION AND/OR DIMENSION PRIOR TO CONSTRUCTION OR PREPARATION OF SUBMITTAL SHOP DRAWINGS AND INTEGRATE FIELD SURVEY INFORMATION INTO THE CONSTRUCTION.

KEYNOTES ○ NOTE: NOT ALL KEYNOTES USED ON EACH SHEET

- 1. NEW ASPHALT PARKING LOT
- 2. NEW LANDSCAPE AREA; RE: LANDSCAPE PLAN
- 3. 6" CURB, RE: CIVIL
- 4. EXISTING FIRE HYDRANT
- 5. NEW 5' SIDEWALK, RE: CIVIL
- 6. NEW ACCESSIBLE RAMP
- 7. ACCESSIBLE PARKING PAINTED SYMBOL
- 8. ACCESSIBLE PARKING PAINTED STRIPING
- 9. NEW 5'-0" X 5'-0" CONCRETE STOOP

LEGEND	
	NEW LANDSCAPE AREA BY OTHERS
	BUILDING AREA
	NEW PAVED SURFACE



Fresharkitektur

3904 W. Dallas St. Broken Arrow, OK 74012
Cell: 405.412.7915

www.fresharkitektur.com



PROJECT:

HINDU TEMPLE OF GREATER TULSA

PROJECT # 18345

16943 E. 21ST ST. S. TULSA, OK 74134

CONSULTANT:

REVISIONS:

ISSUE DATE:

06.21.2023

SHEET NAME:

ARCHITECTURAL SITE PLAN

SHEET #:

1 ARCHITECTURAL SITE PLAN

SCALE: 1/16" = 1'-0"



A101

DRAWN BY: CBS

GENERAL NOTES

LANDSCAPE PLAN

- A. CALL OKIE PRIOR TO DIGGING OR TRENCHING. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING AND NE UTILITY LINE ABOVE OR BELOW GROUND AND SHALL REPAIR ANY DAMAGE CAUSED DURING LANDSCAPE OR HARDSCAPE CONSTRUCTION ACTIVITIES AT NO COST TO THE OWNER.
- B. LOCATIONS OF ALL PLANT MATERIALS SHOWN ON PLANS IS APPROXIMATE AND MAY NEED TO BE FIELD ADJUSTED. OBTAIN LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO MAKING ANY MAJOR CHANGES. PLANT COUNTS SHOWN ABOVE ARE FOR CONVENIENCE, VERIFY ALL COUNTS ON PLANS PRIOR TO FINALIZING BID.
- C. ENSURE PROPER DRAINAGE AWAY FROM BUILDING AND OUT OF PLANTING BEDS IN DIRECTION ALREADY ESTABLISHED ON SITE.
- D. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION AND NOT DESIGNATED AS PLANTS SHALL BE FINE GRADED WITH ADDITIONAL TOPSOIL AND SODDED WITH SOLID SLAB BERMUDA SOD.

GENERAL NOTES

SITE PLAN

- A. PATCH AND REPAIR ANY EXISTING SITE ELEMENTS (SOIL, LANDSCAPE, PAVING, ETC.) DISTURBED DURING THE CONSTRUCTION PROCESS.
- B. CONTRACTOR TO ENSURE AREAS OF NEW PAVING ALONG THE EGRESS ROUTE ADJOINING EXISTING HORIZONTAL SURFACES SHALL BE FLUSH IN NATURE WITH LESS THAN 1/4" VERTICAL RISE.
- C. CONTRACTOR TO FURNISH WARNING BARRELS TO CONTROL ACCESS DURING CONSTRUCTION. ALL CONSTRUCTION ZONES SHOULD BE CLEARLY IDENTIFIED TO MINIMIZE PUBLIC CONFUSION.
- D. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE PRIOR TO BIDDING TO INSPECT THE SITE AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AFFECTING AREAS OF NEW CONSTRUCTION. THE CONTRACTOR SHALL NOT DISPUTE OR ASSERT THAT THERE IS ANY MISUNDERSTANDING IN REGARDS TO LOCATION, EXTENT, NATURE OR AMOUNT OF WORK TO BE PERFORMED UNDER THIS CONTRACT DUE TO THE CONTRACTOR'S FAILURE TO PERFORM THESE DUTIES.
- E. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES IN ALL AREAS AFFECTED BY NEW WORK PRIOR TO COMMENCEMENT OF ANY EXCAVATION. EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ROUTING LOCATIONS AS BEST DETERMINED FROM EXISTING SURVEY BUT SHOULD NOT BE CONSTRUED TO REPRESENT ALL EXISTING UTILITIES.
- F. FIELD VERIFY IS DEFINED AS FOLLOWS: THE GENERAL CONTRACTOR IS REQUIRED TO FIELD SURVEY THE NOTED CONDITION AND/OR DIMENSION PRIOR TO CONSTRUCTION OR PREPARATION OF SUBMITTAL SHOP DRAWINGS AND INTEGRATE FIELD SURVEY INFORMATION INTO THE CONSTRUCTION.

BED PREPARATION AND PLANTING

LANDSCAPE PLAN

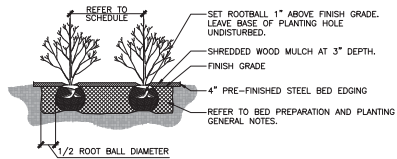
- A. ELIMINATE ALL WEEDS AND GRASS IN PLANTING BED AREAS WITH ROUND-UP HERBICIDE PRIOR TO CONSTRUCTION. APPLY ACCORDING TO MANUFACTURER RECOMMENDATIONS. ALLOW 7 DAYS BEFORE DISTURBING THE SOIL. TILL AND RAKE OUT ROOTS OF BERMUDA GRASS IN DESIGNATED BED AREAS. PLANTING AREAS, NOT ADJACENT TO BUILDING, SHALL BE CULTIVATED TO A DEPTH OF 12". REMOVE ALL DEAD GRASS, WEEDS, ROOTS, ROCKS, AND OTHER DEBRIS. WORK INTO EXISTING SOIL: 6" DEPTH OF BACK TO NATURE 'NATURE'S BLEND', TO A DEPTH OF 12".
- B. PLANTING AREAS ADJACENT TO BUILDING AND WALKS TO BE EXCAVATED TO A MINIMUM 1' DEPTH REMOVING AS MUCH LIMESTONE AND OTHER CONSTRUCTION DEBRIS AS POSSIBLE. IF CLAY SUBSOIL IS DISCOVERED AT THE BOTTOM OF THE EXCAVATED AREA, TIL IN PELLETIZED GYPSUM AT A RATE OF 10 LBS. PER 100 SF. AFTER INCORPORATION OF GYPSUM ADD HIGH QUALITY TOPSOIL. WET BACK TO NATURE'S 'NATURE'S BLEND'. AT A 50% MIXTURE TO SUFFICIENT GRADE. REFER TO CIVIL DRAWINGS FOR PROPOSED GRADES NEXT TO BUILDING.
- C. ALL PLANTING AREAS TO BE INSTALLED WITH DEWITT'S WEED BARRIER FABRIC.
- D. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND POSITIVE DRAINAGE OF ALL PLANTING BEDS. CONTRACTOR SHALL PROVIDE HIGH QUALITY TOP SOIL WHERE NECESSARY, TO PROVIDE PROPER DRAINAGE.
- E. CONTRACTOR TO ADD OSMOCOTE 19-6-12 AT HIGHEST RATE SPECIFIED BY THE MANUFACTURER TO ALL BEDS AREAS PRIOR TO MULCHING.
- F. APPLY SHREDDED CYPRESS MULCH IN PLANTING BEDS TO A DEPTH OF 3" AFTER PLANT INSTALLATION.
- G. ALL SHRUBS TO BE PLANTED IN A PIT THAT IS TWICE AS WIDE AS THE ROOT BALL. PLANT SHRUBS 2" ABOVE FINISH GRADE TO ALLOW FOR PROPER DRAINAGE. REFER TO SHRUB PLANTING DETAIL FOR MORE INFORMATION.

LEGEND

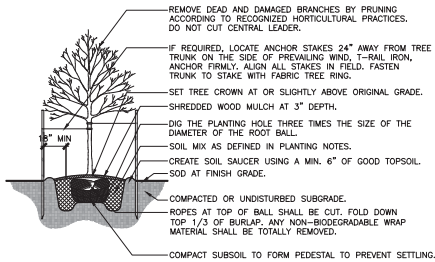


EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN AND PLANS HAVE BEEN SENT TO THE AFFECTED UTILITY OWNERS FOR VERIFICATION OF EXISTING LINES. BEZIDE YOU SHOULD CONTACT DKID: 1-800-552-6543.

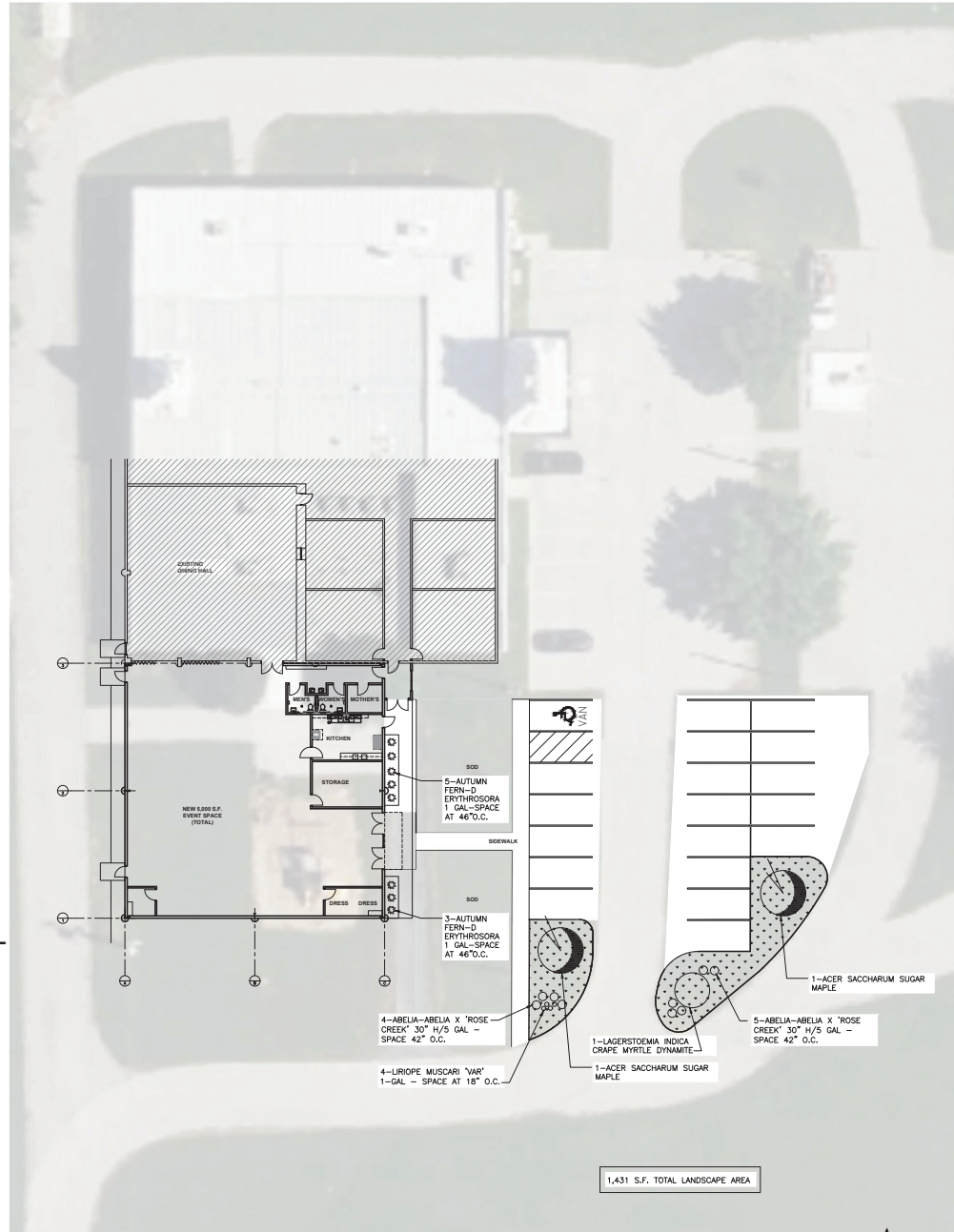
A. T. & T. COMPANY
 CIX COMMUNICATIONS
 OKLAHOMA NATURAL GAS COMPANY
 SOUTHWESTERN BELL TELEPHONE COMPANY
 AMERICAN ELECTRIC POWER (AEP)



3 SHRUB MASS PLANTING DETAIL
 SCALE: N.T.S.



2 TREE PLANTING DETAIL
 SCALE: N.T.S.



1 ARCHITECTURAL LANDSCAPE PLAN
 SCALE: 1/16" = 1'-0"



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PROJECT:

HINDU TEMPLE OF GREATER TULSA

PROJECT # 18345

16943 E. 21ST ST. S. TULSA, OK 74134

CONSULTANT:

REVISIONS:

ISSUE DATE:

06.21.2023

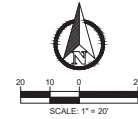
SHEET NAME:

ARCHITECTURAL LANDSCAPE PLAN

SHEET #:

L101

DRAWN BY: CBS



SITE PLAN NOTES

1. THE CONTRACTOR SHALL CONTACT "ONE" AT 811 OF 800-522-6543, THREE (3) WORKING DAYS BEFORE BEGINNING ANY WORK, SO EXISTING UNDERGROUND UTILITIES CAN BE LOCATED AND MARKED.
2. EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
3. SIDEWALK EXPANSION JOINTS SHALL BE PLACED IN ACCORDANCE WITH DETAIL.
4. EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH STRUCTURAL BUILDING PLANS AND SPECIFICATIONS AND THE GEOTECHNICAL REPORT FOR THIS PROJECT.
5. ALL CONSTRUCTION AND METHODS TO BE IN STRICT ACCORDANCE WITH CURRENT CITY STANDARD SPECIFICATIONS AND DETAILS.
6. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. MAINTAIN ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH ALL O.S.H.A. REGULATIONS AND SAFETY REQUIREMENTS.
7. CONTRACTOR IS TO BE RESPONSIBLE FOR OBTAINING ANY REQUIRED STATE OR LOCAL PERMITS. CONSTRUCTION MEANS AND METHODS SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT IS THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE, AS NECESSARY, TO RETURN IT TO THE EXISTING CONDITION OR BETTER. CONTRACTOR SHALL REPAIR AND RESTORE ANY AREAS DAMAGED DURING CONSTRUCTION AT HIS OWN EXPENSE.
9. CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL MEASURES PER THE EROSION CONTROL PLAN.
10. THE CONTRACTOR SHALL PERFORM THE WORK ACCORDING TO ALL CITY, COUNTY, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS. IN PARTICULAR THE "TRENCHING" AND "OPEN EXCAVATION" OPERATIONS SHALL COMPLY WITH ALL CURRENT O.S.H.A. REGULATORY REQUIREMENTS.
11. ALL PAVEMENT MARKING OF STRIPES TO BE 4" WIDE, WHITE AND APPLIED IN TWO COATS, UNLESS OTHERWISE NOTED. RE: SPECIFICATIONS.
12. PARKING LOT STRIPING AND REQUIRED ADA ACCESSIBLE AISLES SHOWN ON PLAN SHALL BE MARKED IN ACCORDANCE WITH CURRENT ADA GUIDELINES.
13. ALL NEW SIDEWALKS, IF ANY, NOT ADJACENT TO THE BUILDING, SHALL BE 4" THICK AND A MINIMUM OF FOUR (4) FEET WIDE. SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH WITH A MAXIMUM CROSS SLOPE OF TWO PERCENT. TRANSVERSE CONTRACTION JOINTS SHALL MAINTAIN AN EQUAL SPACING WITH THE SIDEWALK WIDTH. SIDEWALK EXPANSION JOINTS SHALL NOT EXCEED 40 FOOT SPACING UNLESS OTHERWISE NOTED.

ADA NOTES

1. ANY REQUEST BY THE GOVERNING AUTHORITY OR INSPECTOR TO ALTER ADA COMPLIANCE DETAILS OR REQUIREMENTS DEPICTED ON AND IN THESE PLANS AND SPECIFICATIONS MUST BE DIRECTED TO THE OWNER'S CONSTRUCTION MANAGER FOR AUTHORIZATION. ANY CHANGES MADE WITHOUT PROPER AUTHORIZATION AND LATER FOUND TO BE NON-COMPLIANT WITH THE DETAILS AS SHOWN ON AND IN THESE PLANS AND SPECIFICATIONS WILL BE REMOVED AND REPLACED TO BE MADE FULLY COMPLIANT, REGARDLESS OF MAGNITUDE, AT THE CONTRACTOR AND/OR SUB-CONTRACTOR'S EXPENSE. THE CONTRACTOR MUST FOLLOW THE "REQUEST FOR INFORMATION" (RFI) PROCESS IN ACQUIRING THE APPROVAL OF CHANGES TO ADA RELATED ITEMS.
2. ALL NEW SIDEWALKS OR ADA PATHS (SIDEWALKS TO BE REMOVED & REPLACED OR STRIPED ADA PATHS) SHALL NOT EXCEED 2% CROSS SLOPE & 5% RUNNING SLOPE. FOR SIDEWALKS CONTAINED WITHIN THE PUBLIC RW AND WHEN ADJACENT STREET GRADES EXCEED 5%, THEN SIDEWALK RUNNING SLOPES MAY MATCH STREET GRADES.
3. 1/8" MAXIMUM DEPTH TO TOP OF SEALANT AND 1/8" MAXIMUM PROTRUSION TO TOP OF SEALANT ALONG ADA ACCESS ROUTES.
4. PRIVATE PROPERTY RAMPS SHALL HAVE THE FACE OF THE CURB TRANSITIONS PAINTED YELLOW.
5. ALL ADA PARKING AREAS SHALL BE 2% MAXIMUM IN ALL DIRECTIONS.

PAVING NOTES

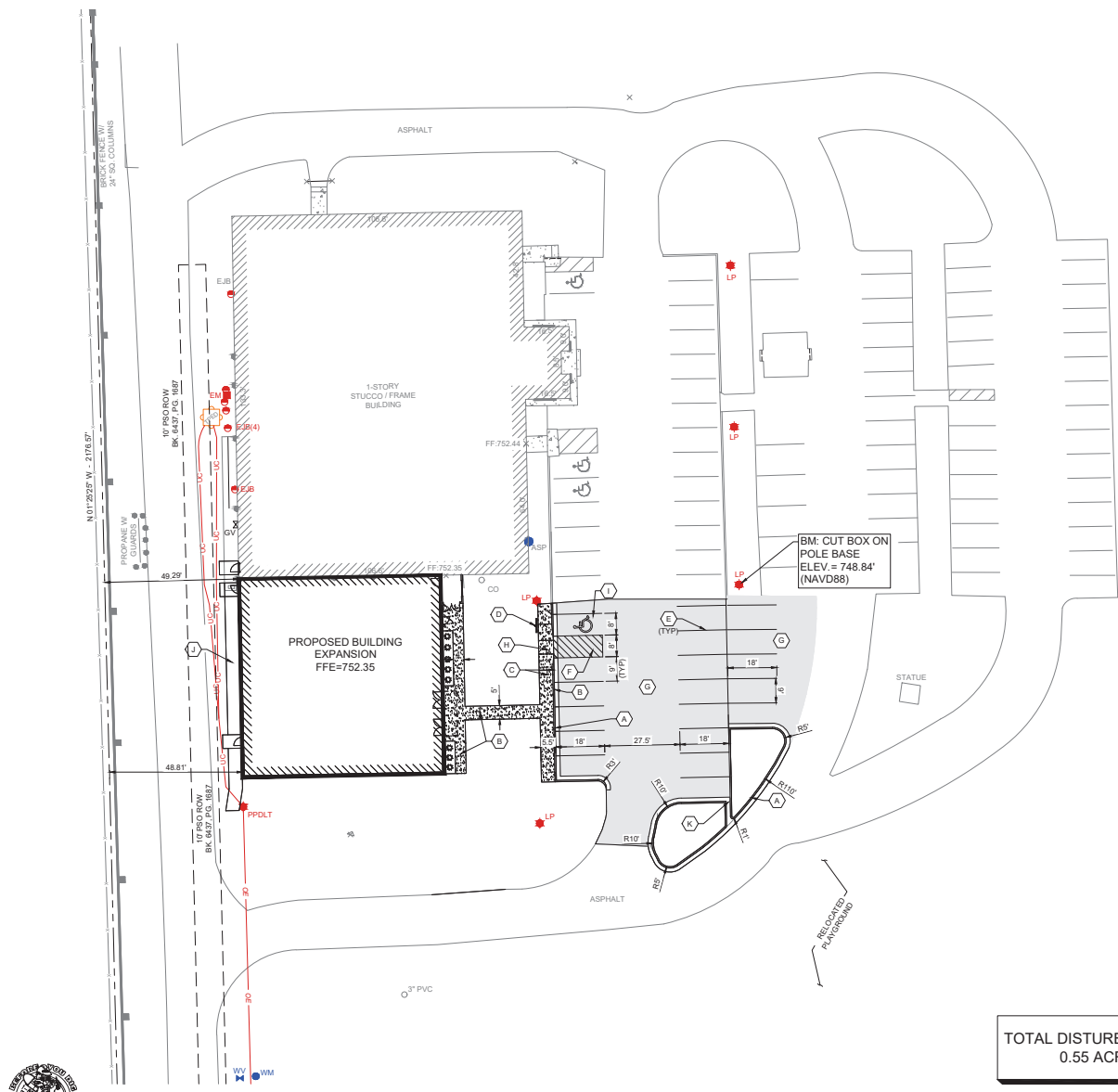
1. TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH CITY AND THE LATEST VERSION OF THE MUTCD.
2. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND ANY NEW PAVEMENT.
3. CONTRACTOR SHALL PROVIDE AND INSTALL 4" NON PVC SLEEVES FOR FUTURE UTILITY CROSSINGS UNDER NEW PAVEMENT. THE LOCATION AND NUMBER OF CONDUITS SHALL APPEAR ON THE SITE UTILITY PLAN. VERIFY CONDUIT LOCATIONS WITH ALL UTILITY COMPANIES, AGENCIES OR ENGINEER SUPPLYING FUTURE SERVICES.
4. ALL TRENCH BACKFILL FOR OPEN CUT PAVEMENT AREAS SHALL BE BACKFILLED FULL DEPTH WITH AGGREGATE BASE MATERIAL, AND COMPACTED TO 95% STANDARD PROCTOR DENSITY TO THE BOTTOM OF SURFACE PAVEMENT.

SITE PLAN KEY NOTES

- (A) PROPOSED CURB AND GUTTER
- (B) PROPOSED CONCRETE SIDEWALK
- (C) PROPOSED CONCRETE SIDEWALK AT CURB
- (D) PROPOSED ADA PARKING SIGN
- (E) PROPOSED 4" SOLID WHITE PARKING LINE
- (F) PROPOSED PAINTED ISLAND, 4" SOLID WHITE LINE 2' APART @ 45°
- (G) PROPOSED STANDARD DUTY ASPHALT PAVEMENT (PARKING AREAS PASSENGER VEHICLES ONLY)
- (H) PROPOSED ADA CURB RAMP (TYPE "D")
- (I) PROPOSED PAINTED ACCESSIBLE SYMBOL
- (J) CONCRETE FLUME EXTENDED FROM EXISTING
- (K) 1.5' CURB OPENING

ZONING	CURRENT: AC
PARCEL SIZE	10.29 ACRES (476,245.29 SF)
IMPERVIOUS AREA	EXISTING = 133,071 S.F. (28%) PROPOSED = 146,900 S.F. (31%) INCREASE = 13,229 S.F.
BUILDING AREA	5,487 S.F.
BUILDING HEIGHT	22'-0"
PARKING SPACE	REQUIRED: 3.75 PER 1,000 SF = 17 SPACES PROVIDED: 19 WITH 1 ADA VAN SPACE

**TOTAL DISTURBED AREA
0.55 ACRE**



PROJECT:
HINDU TEMPLE OF GREATER TULSA
PROJECT # 18345
16943 E. 21ST ST. S. TULSA, OK 74134

CONSULTANT:
route 66 engineering
28 NORTH WATER STREET, SAPULPA, OK 74066

REVISIONS:

ISSUE DATE:
06.20.2023

SHEET NAME:
SITE PLAN

SHEET #:

CS101
DRAWN BY: AWD