



**CITY OF**  
**Tulsa**  
**Board of Adjustment**

**Case Number: BOA-23518**

**Hearing Date: 04/25/2023 1:00 PM**

**Case Report Prepared by:**

Austin Chapman

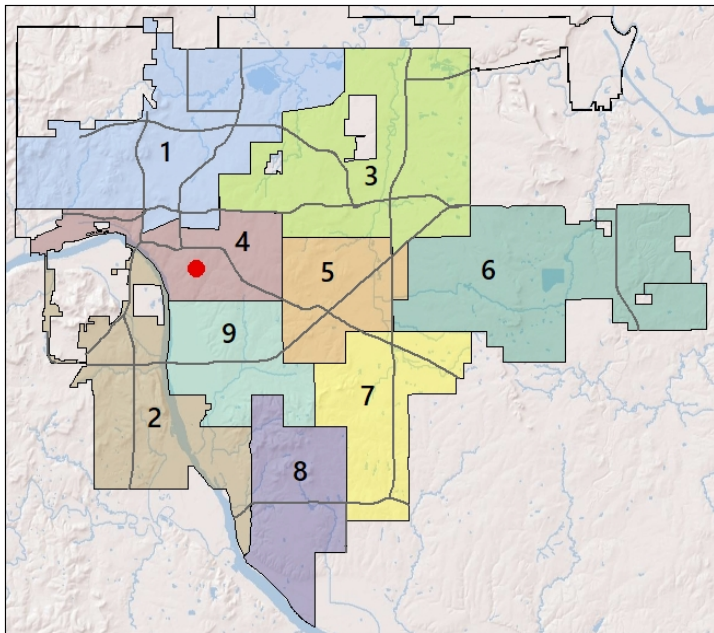
**Owner and Applicant Information:**

**Applicant: Christian Vaughn**

**Property Owner: Same as applicant.**

**Action Requested:** Special Exception to allow an Accessory Dwelling Unit in an RS-3 District (45.031-D); Variance to allow a Detached Accessory Building/ Dwelling Unit to exceed one story or 18-feet in height and to exceed 10-feet in height to the top of the top plate in the rear setback (Section 90.090-C2); Variance to reduce the required 50% open space for a non-conforming lot (Sec. 80.020-B); Variance to permit more than 30% coverage of the rear setback by a Detached Accessory Buildings/Dwelling Units (Sec.90.090-C, Table 90-2):

**Location Map:**



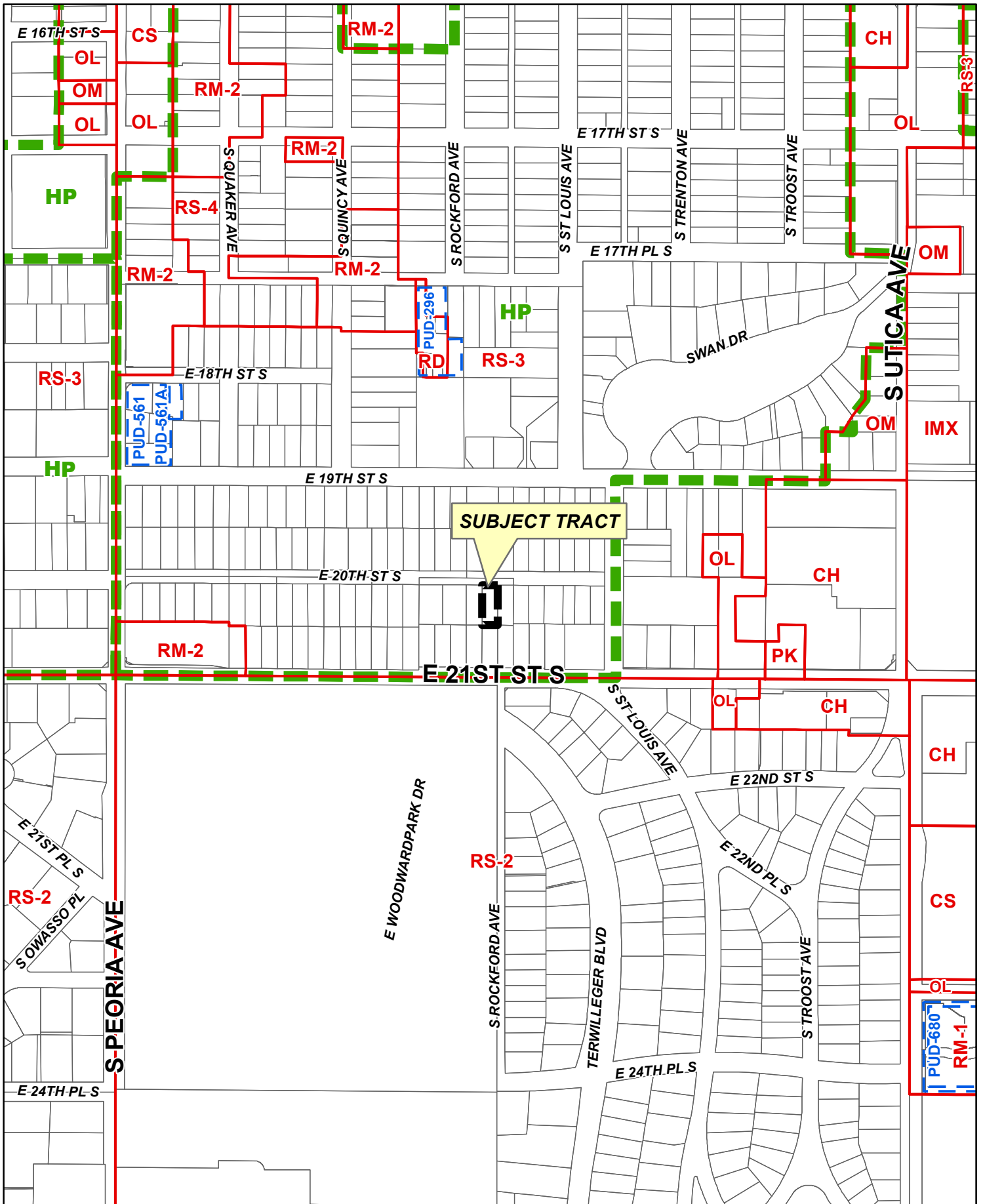
**Additional Information:**

**Present Use: Single-family residential**

**Tract Size: 0.14 acres**

**Location: 1508 E. 20 St. S.**

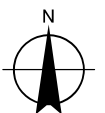
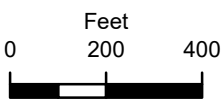
**Present Zoning: RS-3**

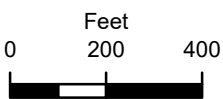
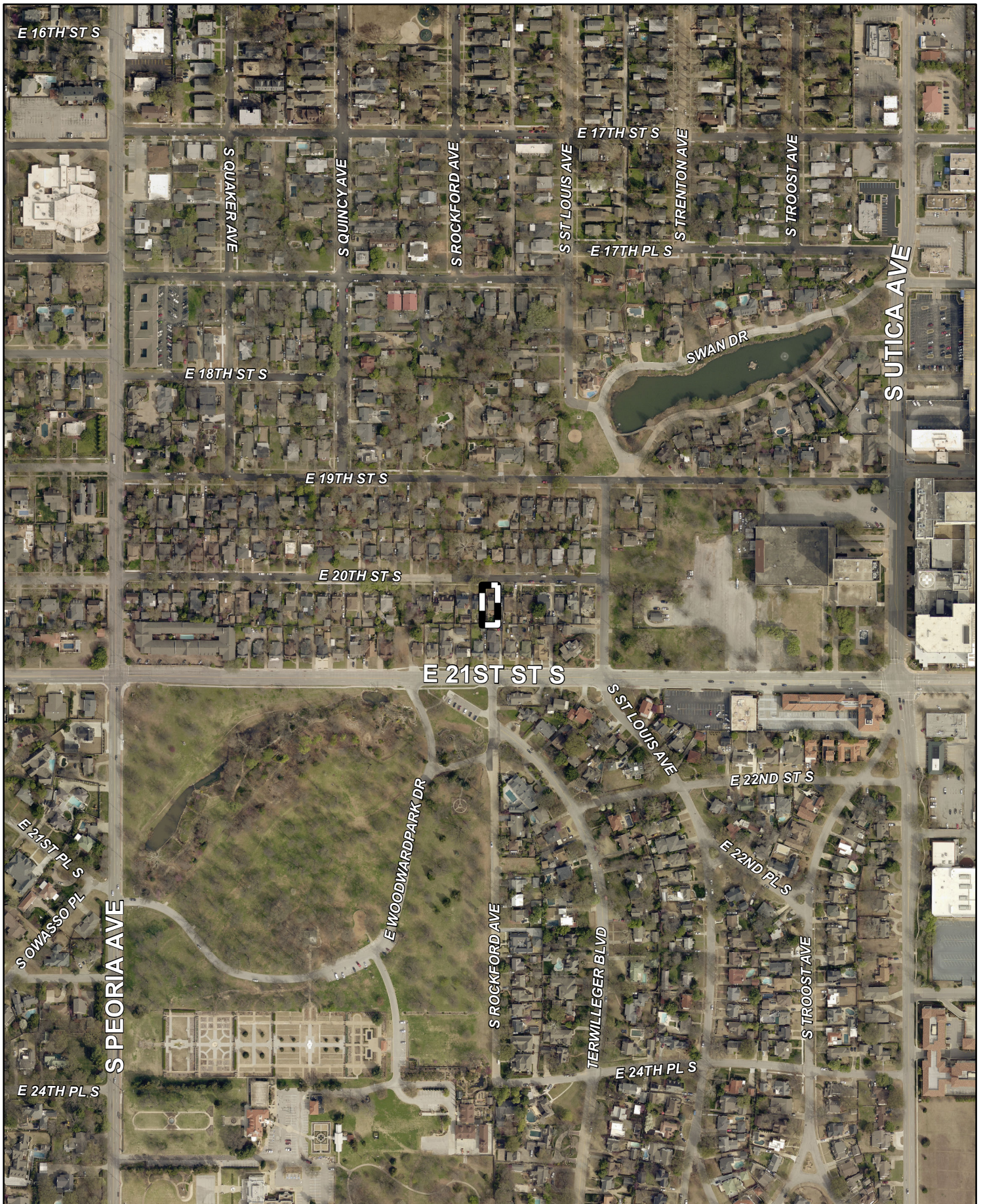


**SUBJECT TRACT**

# BOA-23518

19-13 07





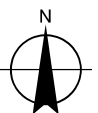
Subject  
Tract

**BOA-23518**

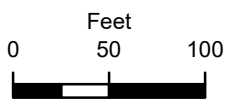
19-13 07

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



4.3



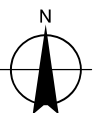
Subject  
Tract

**BOA-23518**

19-13 07

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



4.4

# BOARD OF ADJUSTMENT CASE REPORT

**STR:** 9307

**Case Number:** BOA-23518

**CD:** 4

**HEARING DATE:** 04/25/2023 1:00 PM

**APPLICANT:** Christian Vaughn

**ACTION REQUESTED:** Special Exception to allow an Accessory Dwelling Unit in an RS-3 District (45.031-D); Variance to allow a Detached Accessory Building/ Dwelling Unit to exceed one story or 18-feet in height and to exceed 10-feet in height to the top of the top plate in the rear setback (Section 90.090-C2); Variance to reduce the required 50% open space for a non-conforming lot (Sec. 80.020-B); Variance to permit more than 30% coverage of the rear setback by Detached Accessory Buildings/Dwelling Units (Sec.90.090-C, Table 90-2)

**LOCATION:** 1508 E 20 ST S

**ZONED:** RS-3

**PRESENT USE:** Single-family residential

**TRACT SIZE:** 6098.42 SQ FT

**LEGAL DESCRIPTION:** LT-2, BURNS SUB L5-6 B28 PARK PLACE CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA

## **RELEVANT PREVIOUS ACTIONS:**

### **Surrounding properties:**

**BOA-23104;** On 04.13.21 the Board approved a Special Exception to permit an Accessory Dwelling Unit and to permit the alteration, expansion, or enlargement of a non-conforming structure. Property located 1504 E. 20<sup>th</sup> St. S.

### **Subject Property:**

**Administrative Adjustment:** Applicant is requesting to reduce the required side setback in the RS-3 zoning district from 5 feet to 4-feet and 2-inches. This request can be approved at the staff level and will be approved concurrently with the Special Exception/ Variance requests.

**RELATIONSHIP TO THE COMPREHENSIVE PLAN:** The Tulsa Comprehensive Plan identifies the subject property as part of an "Existing Neighborhood " and an "Area of Stability".

An **Existing Neighborhood** is intended to preserve and enhance Tulsa's existing single-family neighborhoods. Development activities in these areas should be limited to the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects, as permitted through clear and objective setback, height, and other development standards of the zoning code.

The **Areas of Stability** include approximately 75% of the city's total parcels. Existing residential neighborhoods, where change is expected to be minimal, make up a large proportion of the Areas of Stability. The ideal for the Areas of Stability is to identify and maintain the valued character of an area while accommodating the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects. The concept of stability and growth is specifically designed to enhance the unique qualities of older neighborhoods that are looking for new ways to preserve their character and quality of life. The concept of stability and growth is specifically designed to enhance the unique qualities of older neighborhoods that are looking for new ways to preserve their character and quality of life.

## **STATEMENT OF HARDSHIP:**

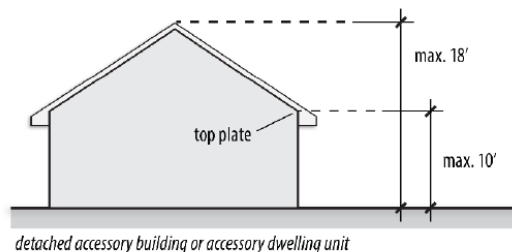
1. Many houses in the Swan Lake and surrounding area were built over 100 years ago, and platted before the current zoning code. The surrounding properties in the neighborhood have felt the hardships of the sizes of houses and amenities such as bedroom, closet, and garage sizes and have worked with the BOA to prove this hardship and expanded their homes to bring to modern living standards.
2. The modern standards of the zoning code were enacted after the subject property was platted and built in 1921. The size of houses, closets, and garages were largely different. We have worked with the Historical Preservation committee to ensure these updates were done with the idea of keeping the historical nature of the property and were issued a permit.
3. The subject property has a one story, single car garage that was not built for modern standards (Dimensions in site plan). Currently there is a full bathroom and HVAC split unit in the second half of the single-story garage. To ensure cars can get into the garage and maintain use of this living space, it makes sense to exceed one story.
4. The subject property was built and platted in 1921 before modern zoning standards, well before I acquired the property in October 2019.
5. We have worked with the BOA to ensure these variances are the minimum needed to afford relief by exceeding one story and building into open space.
6. Both houses surrounding the property on the East and West are two stories and have two story ADU's. The variances granted would not cause any differences from the character of the neighborhood. We worked with the Historical Preservation committee and were granted a permit to ensure we don't alter the character of the neighborhood.
7. The modern standards of the zoning code were enacted after the subject property was platted and built in 1921. In working to modernize the house and bring it up to par with others in the neighborhood, it will bring value to the neighborhood and public good of Tulsa.

**STAFF ANALYSIS:** The applicant is requesting a **Special Exception** to allow an Accessory Dwelling Unit in an RS-3 District (45.031-D); **Variance** to allow a Detached Accessory Building/ Dwelling Unit to exceed one story or 18-feet in height and to exceed 10-feet in height to the top of the top plate in the rear setback (Section 90.090-C2); **Variance** to reduce the required 50% open space for a non-conforming lot (Sec. 80.020-B); **Variance** to permit more than 30% coverage of the rear setback by Detached Accessory Buildings/Dwelling Units (Sec.90.090-C, Table 90-2):

A copy of Sec. 45.031 and Sec. 45.030 of the zoning code is included in your packet.

(1) The building does not exceed one story or 18 feet in height and is not more than 10 feet in height to the top of the top plate; and

Figure 90-9: Maximum Height of Accessory Buildings, Including Accessory Dwelling Units In Rear Setbacks (RE, RS and RD Districts or RM Zoned Lots Used for Detached Houses or Duplexes)



(2) Building coverage in the rear setback does not exceed the maximum limits established in Table 90-2:

Table 90-2: Accessory Building, Including Accessory Dwelling Units, Coverage Limits in Rear Setback

Zoning District	Maximum Coverage of Rear Setback
RS-1 and RE Districts	20%
RS-2 District	25%
RS-3, RS-4, RS-5 and RD Districts	30%
RM zoned Lots Used for Detached Houses or Duplexes	30%

**80.020-B Nonconforming Lots in Residential Zoning Districts**

In residential zoning districts, a single detached house may be erected on a nonconforming lot without complying with the minimum lot area, minimum lot area per unit, minimum lot width, minimum street frontage or minimum open space per unit requirements of the subject zoning district, **provided that at least 50% of the lot area remains as open space.** All other lot and building regulations apply, except that detached houses may be erected on corner lots that are nonconforming with regard to lot width, subject to a reduced minimum street side building setback of 5 feet. Garages that are accessed through a side yard abutting a street must be set back at least 20 feet.

**Allowed Height:** One story, 18-feet to ridge and 10-feet to plate .

**Proposed Height:** Two Stories, 21-feet 5-inches to ridge, 17-feet 5-inches to 2<sup>nd</sup> floor top plate.

**Allowed rear setback coverage:** 300 sf

**Proposed Rear yard Coverage:** +/-393 sf

**Allowed Open Space:** 3,050 sf

**Proposed Open Space:** ~~3,187~~ 2,913-sf

**Facts staff finds favorable for variance request:**

- Though the detached garage does not require a Historic Preservation Permit the addition to the residence have received a Historic Preservation permit.
- Property is non-conforming both with regard to the 60-foot lot width and 6,900 sf lot area required in the RS-3 District.

**Facts Staff find unfavorable for the variance request:**

- None.

**SAMPLE MOTION:**

***Special Exception:***

Move to \_\_\_\_\_ (approve/deny) a **Special Exception** to allow an Accessory Dwelling Unit in the RS-3District (45.031-D);

- Per the Conceptual Plan(s) shown on page(s) \_\_\_\_\_ of the agenda packet.
- Subject to the following conditions (including time limitation, if any):  
\_\_\_\_\_.

The Board finds that the requested Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

***Variences:***

Move to \_\_\_\_\_ (approve/deny) a **Variance** to allow a Detached Accessory Building/ Dwelling Unit to exceed one story or 18-feet in height and to exceed 10-feet in height to the top of the top plate in the rear setback (Section 90.090-C2);**Variance** to reduce the required 50% open space for a non-conforming lot (Sec. 80.020-B);**Variance** to permit more than 30% coverage of the rear setback by Detached Accessory Buildings/Dwelling Units (Sec.90.090-C, Table 90-2):

- Finding the hardship(s) to be \_\_\_\_\_.
- Per the Conceptual Plan(s) shown on page(s) \_\_\_\_\_ of the agenda packet.

- Subject to the following conditions \_\_\_\_\_.

In granting the **Variance** the Board finds that the following facts, favorable to the property owner, have been established:

- a. That the physical surroundings, shape, or topographical conditions of the subject property would result in unnecessary hardships or practical difficulties for the property owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;*
- b. That literal enforcement of the subject zoning code provision is not necessary to achieve the provision's intended purpose;*
- c. That the conditions leading to the need of the requested variance are unique to the subject property and not applicable, generally, to other property within the same zoning classification;*
- d. That the alleged practical difficulty or unnecessary hardship was not created or self-imposed by the current property owner;*
- e. That the variance to be granted is the minimum variance that will afford relief;*
- f. That the variance to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property; and*
- g. That the variance to be granted will not cause substantial detriment to the public good or impair the purposes, spirit, and intent of this zoning code or the comprehensive plan."*



**Subject property**





DEVELOPMENT SERVICES  
175 E 2ND ST., STE 405  
TULSA, OK 74103  
918-596-9456

# CITY OF TULSA

## CORRECTIONS SUMMARY

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### Zoning Review (6)

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**Subject:** Zoning Review  
**Page Label:** 2  
**Status:**  
**Author:** DWhiteman  
**Date:** 2/16/2023 2:31:20 PM  
**Color:** ■

70.070-A Applicability Within any HP zoning district, an HP permit must be obtained in accordance with the procedures of this section before any work is performed on or changes are made to any existing building, structure or lot unless expressly exempted under §70.070-B. Examples of changes and work that require an HP permit include the erection, construction, reconstruction, renovation, alteration, painting, removal, or demolition of a building, structure, or lot, regardless of whether or not a building permit is required.

Review Comment: This property is located in the Swan Lake History Preservation district. Contact INCOG regarding an HP permit for the carport, since it is visible from the street. Provide that HP permit once obtained, along with the rest of the revisions required.



DEVELOPMENT SERVICES  
175 E 2ND ST., STE 405  
TULSA, OK 74103  
918-596-9456

# CITY OF TULSA

## CORRECTIONS SUMMARY



**Subject:** Zoning Review  
**Page Label:** 2  
**Status:**  
**Author:** DWhiteman  
**Date:** 2/16/2023 3:20:28 PM  
**Color:** ■

R106.2 Site plan or plot plan- Amendatory: The construction documents submitted with the application for permit shall be accompanied by a site plan showing to scale the size and location of new construction and existing structures on the site; distances between structures and lot lines; property boundaries; distance to center of street(s); established grades and proposed finished grades; easements; rights-of-way; utilities; and as applicable, flood hazard areas and limits, floodways, design flood elevations and finished floor elevations; in accordance with an accurate boundary line survey. In the case of demolition, the site plan shall show construction to be demolished and the location and size of existing structures and construction that are to remain on the site or plot. The building official is authorized to waive or modify the requirement for a site plan where the application for permit is for alteration, repair, or demolition or where otherwise warranted.

Review Comment: Several things need clarified or revised on the site plan.

- 1) The location of the retaining wall needs to be revised on the site plan to show that no part of the wall, including the footing, will cross the property line. Site plan should clearly show that the wall and footing will remain on the property.
- 2) Clarify the overall height of the fence. It's shown to be a 3' tall retaining wall with a 6' tall stockade fence. What is the height from the top of the fence to grade below on your side of the property?
- 3) Plan shows an addition to an AUD, do you mean an accessory dwelling unit (ADU)? Revise the plans to show the height to the peak of this building's roof as well as the height of the side wall, to the top of the top plate.

Please revise the site plan to clarify these issues. Additional deficiencies may be found which will need to be addressed prior to issuing a permit.



DEVELOPMENT SERVICES  
175 E 2ND ST., STE 405  
TULSA, OK 74103  
918-596-9456

# CITY OF TULSA

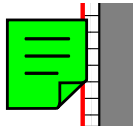
## CORRECTIONS SUMMARY



**Subject:** Zoning Review  
**Page Label:** 2  
**Status:**  
**Author:** DWhiteman  
**Date:** 2/16/2023 3:26:12 PM  
**Color:** ■

5.030-A Table of Regulations. The lot and building regulations of Table 5-3 apply to all principal uses and structures in R districts, except as otherwise expressly stated in this zoning code. General exceptions to these regulations and rules for measuring compliance can be found in Chapter 90. Regulations governing accessory uses and structures can be found in Chapter 45.

Review Comments: A 5' side setback is required, regardless of the location of any existing structures. The house addition is only shown to be 4' 2" from the side property line. You may increase the setback to 5 feet from the property line, or pursue an administrative adjustment from INCOG to reduce the side setback in an RS-3 zoning district by up to 20% (1 foot).



**Subject:** Zoning Review  
**Page Label:** 2  
**Status:**  
**Author:** DWhiteman  
**Date:** 2/16/2023 3:28:41 PM  
**Color:** ■

90.090-C Permitted Setback Obstructions in R Zoning Districts. Setbacks in R zoning districts must be unobstructed and unoccupied from the ground to the sky except as indicated in Table 90-1.

Review Comment: Table 90-1, Footnote [2], allows carports to be located as little as 3' away from side property lines. Please revise the carport so that it is set back at least 3' from the side property line.



DEVELOPMENT SERVICES  
 175 E 2ND ST., STE 405  
 TULSA, OK 74103  
 918-596-9456

# CITY OF TULSA

## CORRECTIONS SUMMARY



**Subject:** Zoning Review  
**Page Label:** 2  
**Status:**  
**Author:** DWhiteman  
**Date:** 2/16/2023 3:38:51 PM  
**Color:** ■

80.020-B Nonconforming Lots in Residential Zoning Districts.

In residential zoning districts, a single detached house may be erected on a nonconforming lot without complying with the minimum lot area, minimum lot area per unit, minimum lot width, minimum street frontage or minimum open space per unit requirements of the subject zoning district, provided that at least 50% of the lot area remains as open space. All other lot and building regulations apply, except that detached houses may be erected on corner lots that are nonconforming with regard to lot width, subject to a reduced minimum street side building setback of 5 feet. Garages that are accessed through a side yard abutting a street must be set back at least 20 feet.

Review Comments: This lot is considered an existing nonconforming lot. The lot area is 6,100 square feet; this means 3,050 square feet must remain as open space. Per Section 90.080-B, the driveway does not count as open space. You are proposing less than 50% of the lot to be open space since the areas of the driveway and all buildings and structures cover more than 3,050 square feet of area. Please revise plans to indicate that 3,050 square feet of this lot will remain as open space.



**Subject:** Zoning Review  
**Page Label:** 2  
**Status:**  
**Author:** DWhiteman  
**Date:** 2/16/2023 3:56:36 PM  
**Color:** ■

90.090-C.2.a. Detached accessory buildings, including Accessory Dwelling Units, may be located in rear setbacks provided that (2) Building coverage in the rear setback does not exceed the maximum limits established in Table 90-2.

Review Comment: RS-3 lots have a 20' rear setback, and this lot is 50' wide, therefore the rear setback area is 1,000 square feet. In RS-3 districts, only 30% of the rear setback area may be covered per Table 90-2. This permit cannot be approved as applied for since it appears the existing accessory structures exceed 30% coverage already.

\*ALL RENDERINGS FOR ILLUSTRATION ONLY

**BUILDING  
PLANNERS**

**CHRISTIAN VAUGHAN**  
1508 E 20TH ST, TULSA OK

Area:

HOUSE ADDITION  
553  
ADU 2ND FLOOR  
ADDITION  
555

MEMBER  
**A I B D**  
AMERICAN INSTITUTE of  
BUILDING DESIGN

DRAWINGS PROVIDED BY:  
JOE SELBY  
JOESELBY@GMAIL.COM  
407.402.2596

3/22/2023

SCALE: N/S  
TO SCALE AT 22 X 34 (11X17)

COVER SHEET  
SHEET: 1



**FRONT PERSPECTIVE VIEW**  
\*ALL RENDERINGS FOR ILLUSTRATION ONLY  
\*\*NO CHANGE TO FRONT ELEVATION

# VAUGHAN - ADDITION

1508 E 20TH ST, TULSA OK

**DESIGN NOTES:**

- EXISTING BUILDINGS MAY DIFFER FROM THIS PLAN IF DRAWN FROM ORIGINAL DRAWINGS.
- FLOOR: 40 LBS. LIVE LOAD, 15 LBS. DEAD LOAD
- ROOF: 30 LBS. LIVE LOAD, 20 LBS. DEAD LOAD
- SOIL BEARING CAPACITY: 2,000 PSF
- LIVE LOADS, DEAD LOADS, WIND LOADS, SNOW LOADS, LATERAL LOADS, SEISMIC ZONING AND ANY SPECIALTY LOADING CONDITIONS WILL NEED TO BE CONFIRMED BEFORE CONSTRUCTION AND ADJUSTMENTS TO PLAN MADE ACCORDINGLY. SEE YOUR LOCAL BUILDING OFFICIALS FOR VERIFICATION OF YOUR SPECIFIC LOAD DATA, ZONING RESTRICTIONS AND SITE CONDITIONS.

**CONCRETE AND FOUNDATIONS:**

- ALL SLABS ON GRADE SHALL BE 4" 3000 PSI (28-DAY COMPRESSIVE STRENGTH CONCRETE) UNLESS NOTED OTHERWISE.
- ALL SLABS ON GRADE SHALL BEAR ON FOUR INCH COMPACTED GRANULAR FILL WITH 6X6 10-10 WELDED WIRE MESH.
- INTERIOR SLABS SHALL HAVE 6 MIL. POLYETHYLENE VAPOR BARRIER UNDERNEATH.
- PROVIDE PROPER EXPANSION JOINTS AND CONTROL JOINTS AS PER LOCAL REQUIREMENTS.
- PROVIDE ADDITIONAL BEARING POINTS AS REQUIRED BY FLOOR "T" JOISTS MANUFACTURER, AND LOADING TRANSFERS.
- FOUNDATION DETAILS MAY VARY WITH LOCAL CODES AND CONDITIONS. VERIFY WITH CONTRACTOR OR ENGINEER.
- PROVIDE FOUNDATION ACCESS AND VENTS AS REQUIRED BY LOCAL CODES AND CONDITIONS.
- FOUNDATION WALL AND FOOTING SIZES REINFORCING MUST CONFORM WITH YOUR LOCAL BUILDING REQUIREMENTS
- FOUNDATION WALLS ARE NOT TO BE BACKFILLED UNTIL HOUSE IS COMPLETELY FRAMED AND ROOF IN PLACE
- VERIFY DEPTH OF FOOTINGS WITH YOUR LOCAL CODES.
- PROVIDE TERMITES PROTECTION AS REQUIRED BY HUD MINIMUM PROPERTY STANDARDS.

**MECHANICALS**

- ALL PLUMBING / HVAC / ELECTRICAL SHOWN ON THIS PLAN ARE FOR LOCATION ONLY.
- FULL SPECS TO BE PROVIDED BY A LICENSED PROFESSIONAL OR ENGINEER.

**FRAMING**

- CONTRACTOR TO CONFIRM THE SIZE, SPACING AND SPECIES OF ALL FRAMING AND STRUCTURAL MEMBERS TO MEET YOUR LOCAL CODE REQUIREMENTS.
- ANY STRUCTURAL OR FRAMING MEMBERS NOT INDICATED ON THE PLAN ARE TO BE SIZED BY CONTRACTOR.
- DOUBLE FLOOR JOISTS UNDER ALL PARTITION WALLS, UNLESS OTHERWISE NOTED.
- ALL ANGLED WALLS ARE 45 DEGREE ANGLES UNLESS OTHERWISE NOTED.
- PROVIDE COLLAR TIES, CROSS-BRIDGING AND BRACING AS REQUIRED.
- PROVIDE ADDITIONAL BEARING POINTS AS REQUIRED BY LOCAL TRANSFERS.
- FRAMING LAY-OUT AND SIZE MAY VARY WITH LOCAL CODES AND CONDITIONS.

**MISC. NOTES**

- PREFABRICATED FIREPLACES AND FLUES ARE TO BE U.L. APPROVED AND INSTALLED PER MANUFACTURER SPECS.
- ALL MATERIALS, SUPPLIES AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER SPECS AND LOCAL CODES.
- PROVIDE TYPE "X" FIRECODE SHEETROCK ON GARAGE WALLS AND CEILINGS.
- CONFIRM WINDOW OPENINGS FOR YOU LOCAL EGRESS REQUIREMENTS AND MINIMUM LIGHT AND VENTING.
- THE ELECTRICAL LAYOUTS ARE SUGGESTED ONLY. CONSULT YOUR ELECTRICAL CONTRACTORS FOR EXACT SPECS, LOCATIONS AND SIZES.
- MINOR ALTERATIONS TO THIS PLAN CAN BE MADE BY BUILDER. PLEASE CONTACT OUR DRAFTING DEPARTMENT FOR INFORMATION ON PRICE QUOTES IF MAJOR CHANGES ARE REQUIRED.

**BUILDING PLANNERS**

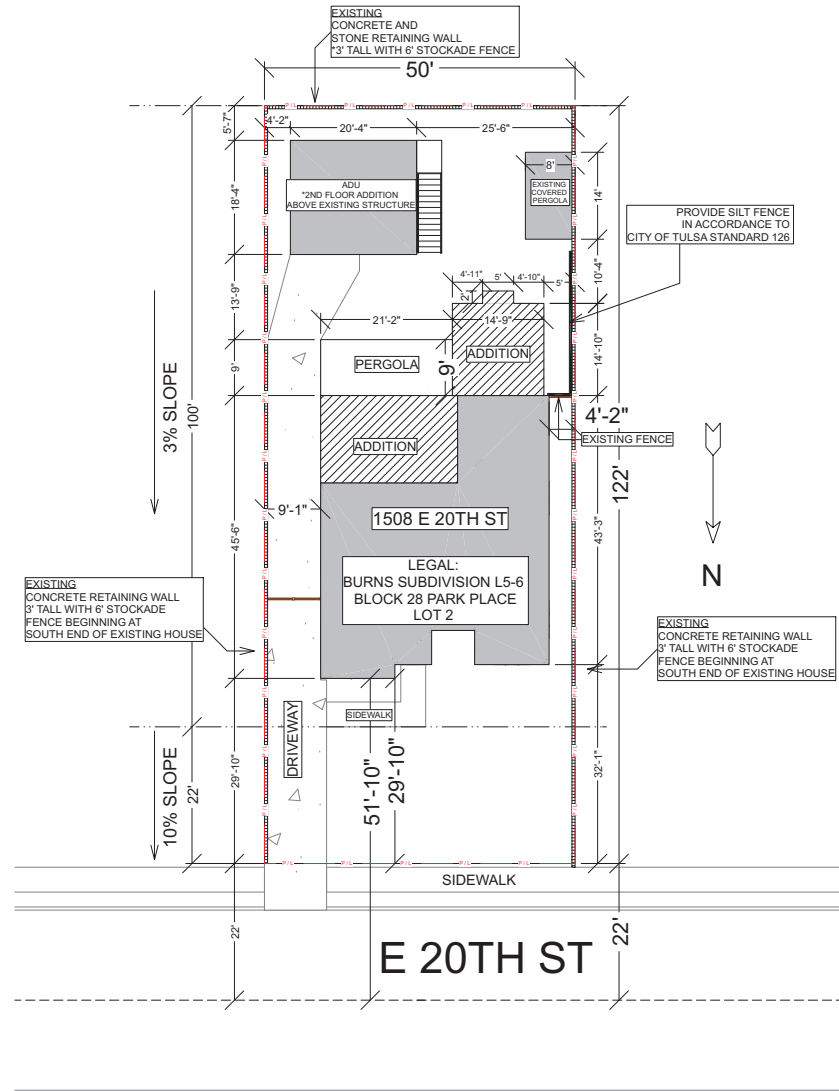
THIS PLAN WAS DESIGNED AND DRAFTED BY BUILDING PLANNERS TO MEET AVERAGE CONDITIONS AND CODES IN THE STATE OF OKLAHOMA AT THE TIME IT WAS DESIGNED. BECAUSE CODES AND REGULATIONS CAN CHANGE AND MAY VARY FROM JURISDICTION TO JURISDICTION, BUILDING PLANNERS CANNOT WARRANT COMPLIANCE WITH ANY SPECIAL CODE OR REGULATION. CONSULT YOUR LOCAL BUILDING OFFICIAL TO DETERMINE THE SUITABILITY OF THESE PLANS FOR YOUR SPECIFIC SITE AND APPLICATION. THIS PLAN CAN BE ADAPTED TO YOUR LOCAL BUILDING CODES AND REQUIREMENTS, BUT IT IS ALSO THE RESPONSIBILITY OF THE PURCHASER AND / OR BUILDER OF THIS PLAN TO SEE THAT THE STRUCTURE IS BUILT IN STRICT COMPLIANCE WITH ALL GOVERNING MUNICIPAL, COUNTY, STATE AND FEDERAL. THE PURCHASER AND / OR BUILDER OF THIS PLAN RELEASES BUILDING PLANNERS, ITS OWNER AND EMPLOYEES FROM ANY CLAIMS OR LAWSUITS THAT MAY ARISE DURING THE CONSTRUCTION OF THIS STRUCTURE OR ANY TIME THEREAFTER.

\*ALL MEASUREMENTS ON THIS PLAN ARE TO BE VERIFIED BY BUILDER



VIEW FROM E 20TH ST

\*ALL RENDERINGS FOR ILLUSTRATION ONLY



SITE PLAN  
1 in = 10 ft ( 1 in = 20 ft on 11x17 Sheet )

BUILDING PLANNERS

CHRISTIAN VAUGHAN  
1508 E 20TH ST, TULSA OK

Area:

HOUSE ADDITION  
553  
ADU 2ND FLOOR  
ADDITION  
355

MEMBER  
A I B D  
AMERICAN INSTITUTE of  
BUILDING DESIGN

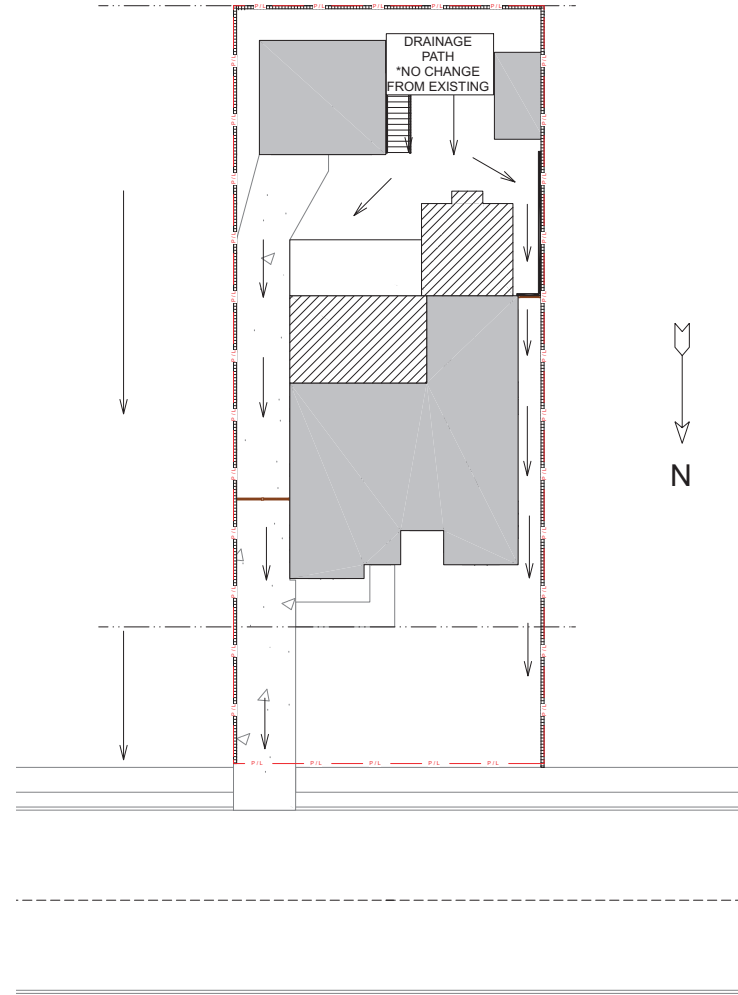
DRAWINGS PROVIDED BY:  
JOE SELBY  
JOESELBY@GMAIL.COM  
407.402.2586


3/22/2023

SCALE:  
TO SCALE AT 22 X 34 (11X17)

SITE PLAN  
SHEET: 2

\*ALL RENDERINGS FOR ILLUSTRATION ONLY

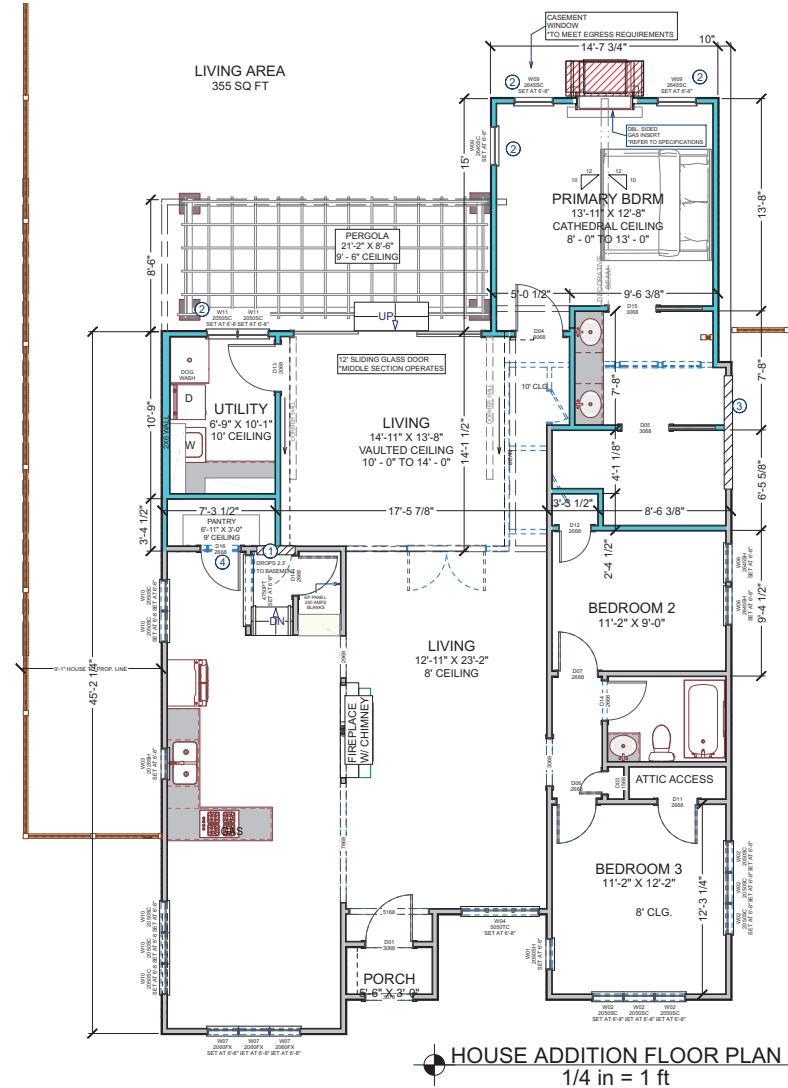



**DRAINAGE**  
 1 in = 10 ft ( 1 in = 20 ft on 11x17 Sheet )


<b>CHRISTIAN VAUGHAN</b> 1508 E 20TH ST, TULSA OK
<b>Area:</b>  HOUSE ADDITION 553 ADU 2ND FLOOR ADDITION 355
MEMBER  AMERICAN INSTITUTE of BUILDING DESIGN
DRAWINGS PROVIDED BY: JOE SELBY JOESELBY@GMAIL.COM 407.40.2586
3/22/2023
SCALE: TO SCALE AT 22 X 34 (11X17)
<b>DRAINAGE PLAN</b> SHEET: 3



\*ALL RENDERINGS FOR ILLUSTRATION ONLY



HOUSE ADDITION FLOOR PLAN  
1/4 in = 1 ft

NEW WALLS =

DEMO WALLS =

NOTE SCHEDULE	
①	FILL IN DOOR
②	USE EXISTING WINDOWS
③	REMOVE WINDOWS AND FILL IN WITH SIDING
④	ADD DOOR TO NEW PANTRY

**BUILDING  
PLANNERS**

**CHRISTIAN VAUGHAN**  
1508 E 20TH ST, TULSA OK

Area:

HOUSE ADDITION  
553  
ADU 2ND FLOOR  
ADDITION  
355

MEMBER  
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BUILDING DESIGN

DRAWINGS PROVIDED BY:  
JOE SELBY  
JOESELBY@GMAIL.COM  
407.402.2596

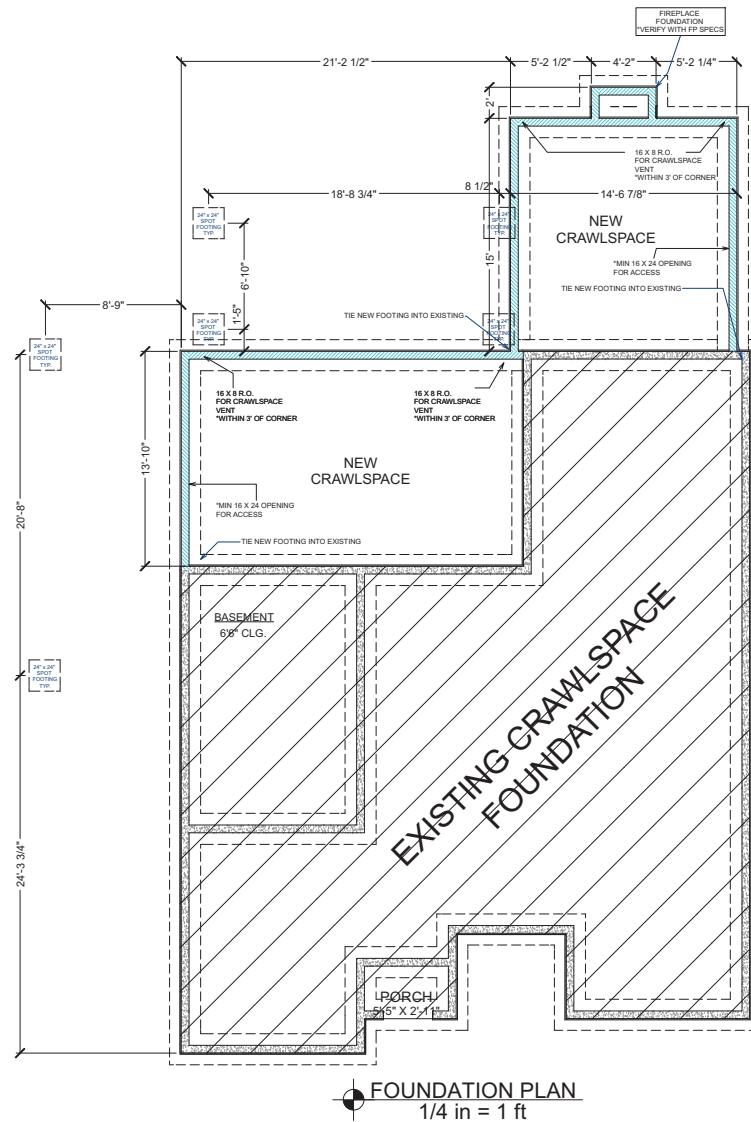
3/22/2023

SCALE:  
TO SCALE AT 22 X 34 (11X17)

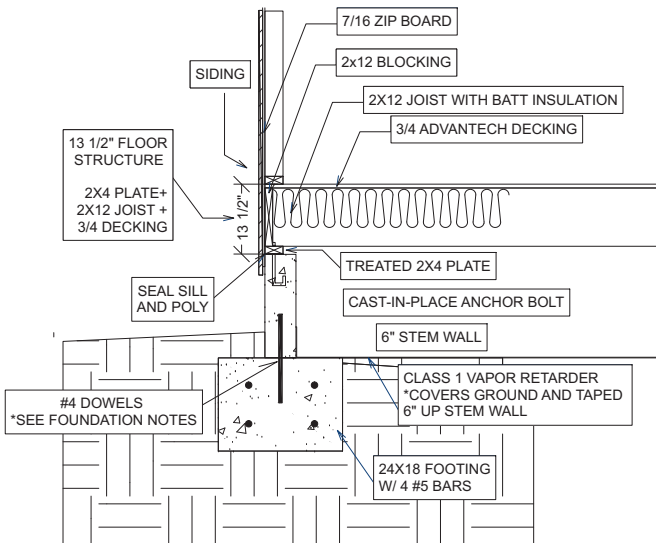
FLOOR PLAN  
SHEET: 4



\*ALL RENDERINGS FOR ILLUSTRATION ONLY



FOUNDATION PLAN  
1/4 in = 1 ft



FOUNDATION CROSS SECTION

**FOUNDATION NOTES:**  
FOUNDATION DRAWING IS FOR ILLUSTRATION PURPOSES ONLY. THE BUILDING FOUNDATION SHOULD BE DESIGNED BY A CERTIFIED PROFESSIONAL AND FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.

IT IS RECOMMENDED THE OWNER / BUILDER PERFORM A SOIL TEST OF THE SITE FOR ACCURATE FOUNDATION DESIGN.

ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS ARE REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.

ALL COLD JOINTS BETWEEN FOOTINGS AND FOUNDATION WALLS (STEM WALLS) SHALL BE TIED TOGETHER WITH A MINIMUM SIZE NUMBER FOUR (4) DOWELS AT EVERY CORNER, AND NOT TO EXCEED FOUR (4) FEET ON CENTER WHICH SHALL EXTEND FROM THREE (3) INCHES ABOVE THE BOTTOM OF THE FOOTING AND TURN INTO THE SLAB A MINIMUM EMBEDMENT OF TWENTY-FOUR (24) INCHES INTO THE SLAB.

**CONCRETE STRENGTH,**  
3,000 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN BASED ON 2,500 PSI).  
3,000 PSI AT 28 DAYS FOR ALL OTHER CONDITION EXCEPT GARAGE SLAB  
4,000 PSI AT 28 DAYS  
MAXIMUM SLUMP, 4"

USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE

CONCRETE EXPANSION ANCHORS SHALL BE 'SIMPSON WEDGE-ALL STUD ANCHORS' OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON 'SET' ADHESIVE OR APPROVED EQUAL.

INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- \* JOINTS AROUND WINDOW AND DOOR FRAMES
- \* JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. F.M.E
- \* JOINTS BETWEEN WALL AND FOUNDATION
- \* JOINTS BETWEEN WALL AND ROOF
- \* JOINTS BETWEEN WALL PANELS
- \* UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

PROVIDE TERMITE PROTECTION ACCORDING TO 2015 IRC SECTION R318.1

PROVIDE VENTILATION AND ACCESS TO CRAWLSPACES PER IRC 2015 SECTION R408

**BUILDING PLANNERS**

**CHRISTIAN VAUGHAN**  
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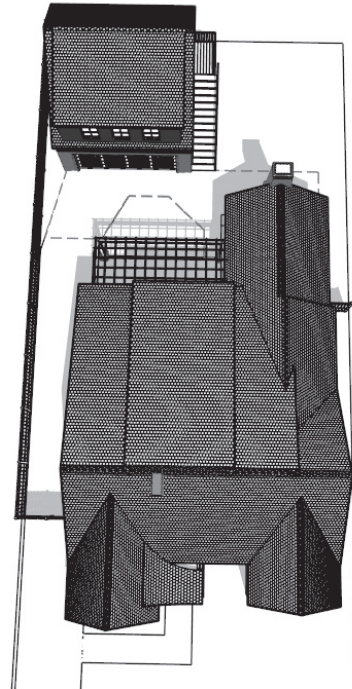
Area:  
HOUSE ADDITION  
553  
ADU 2ND FLOOR ADDITION  
355

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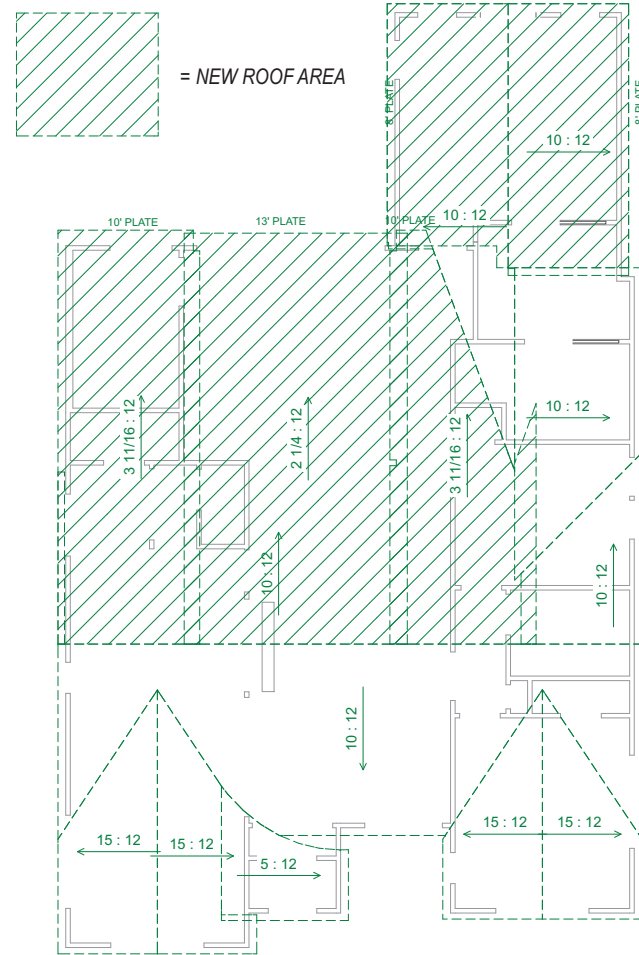
3/22/2023  
SCALE:  
TO SCALE AT 22 X 34 (11X17)  
FOUNDATION  
SHEET: 5

\*ALL RENDERINGS FOR ILLUSTRATION ONLY



PERSPECTIVE VIEW  
N/S

- ROOF NOTES:**  
 ALL ROOF FRAMING 24" O.C.  
 ALL OVERHANGS 16".  
 USE TPO FOR LOW PITCHED ROOF PLANES  
 INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.  
 ATTIC VENTILATION: AS REQUIRED ABOVE HOUSE.  
 MIN. SNOW LOAD 50 LBS PER SQUARE FOOT.  
 WALL HEADERS: (2) 2 X 10 DF 2 TYP. UNO



Roof Plan View  
1/4 in = 1 ft

**BUILDING PLANNERS**

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1508 E 20TH ST, TULSA OK

Area:

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ADU 2ND FLOOR  
ADDITION  
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JSELBY@GMAIL.COM  
407.402.2596

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SCALE:  
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ROOF PLAN  
SHEET: 6

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**BUILDING  
PLANNERS**

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1508 E 20TH ST, TULSA OK

Area:

HOUSE ADDITION  
553  
ADU 2ND FLOOR  
ADDITION  
355

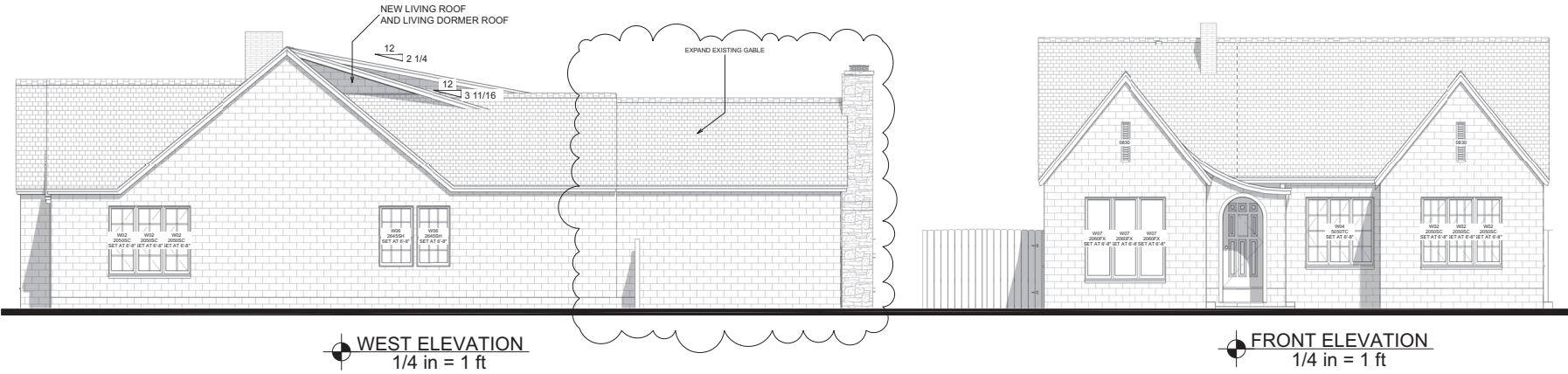
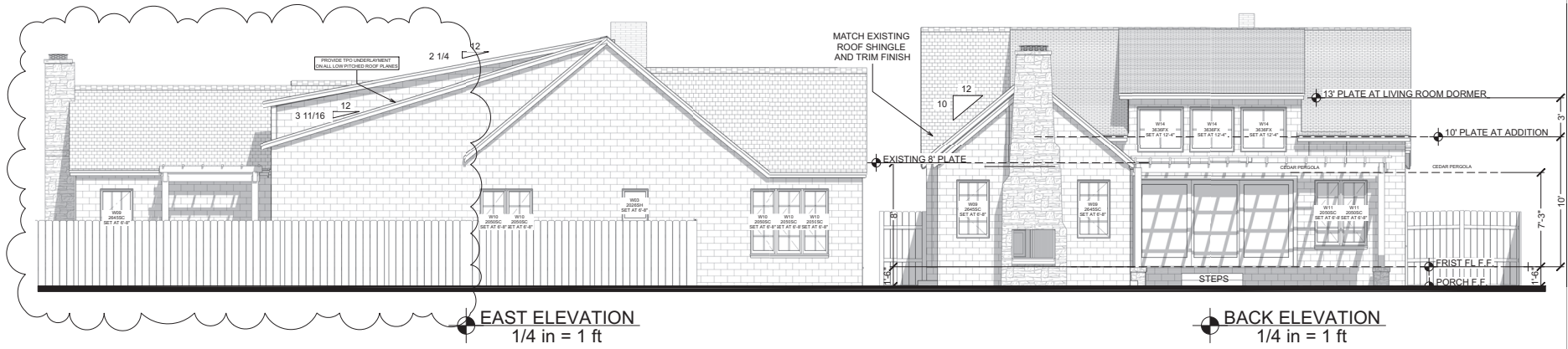
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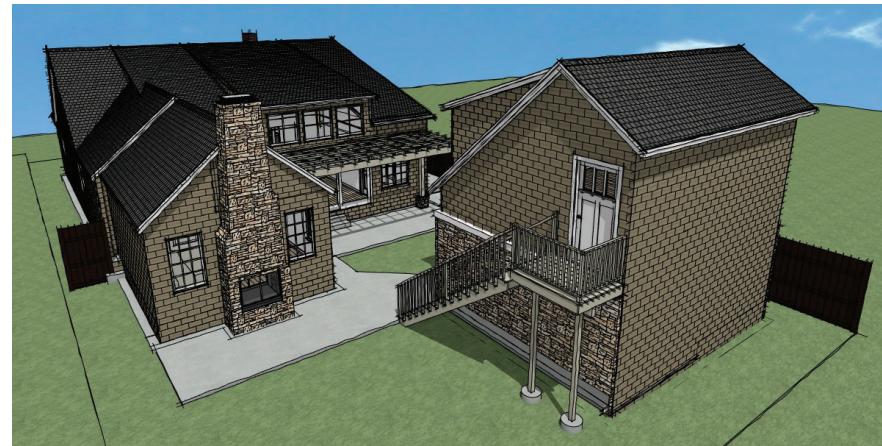
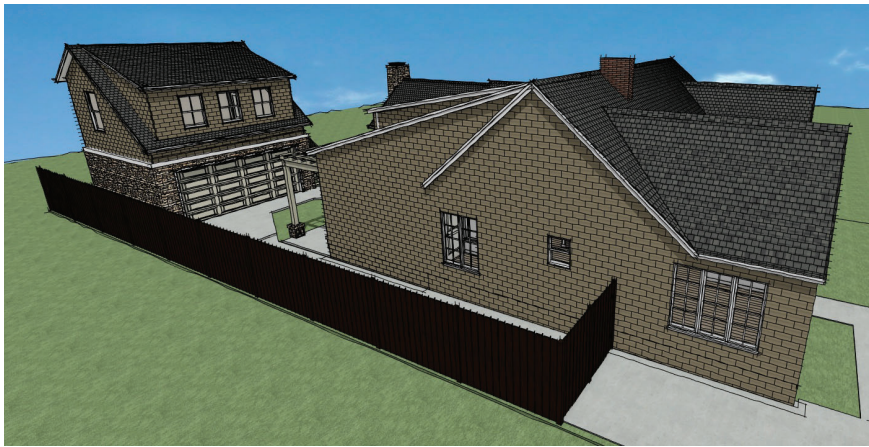
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SCALE:  
TO SCALE AT 22 X 34 (11X17)

ELEVATIONS  
SHEET: 7



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**BUILDING  
PLANNERS**

**CHRISTIAN VAUGHAN**  
1508 E 20TH ST, TULSA OK

**Area:**

HOUSE ADDITION  
553  
ADU 2ND FLOOR  
ADDITION  
365

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SCALE:  
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RENDERINGS  
SHEET: 8

**Area:**

HOUSE ADDITION  
553  
ADU 2ND FLOOR  
ADDITION  
355

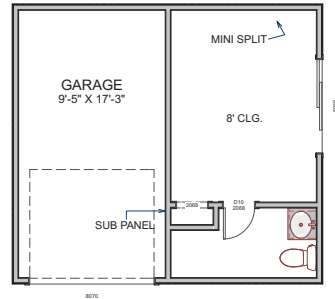
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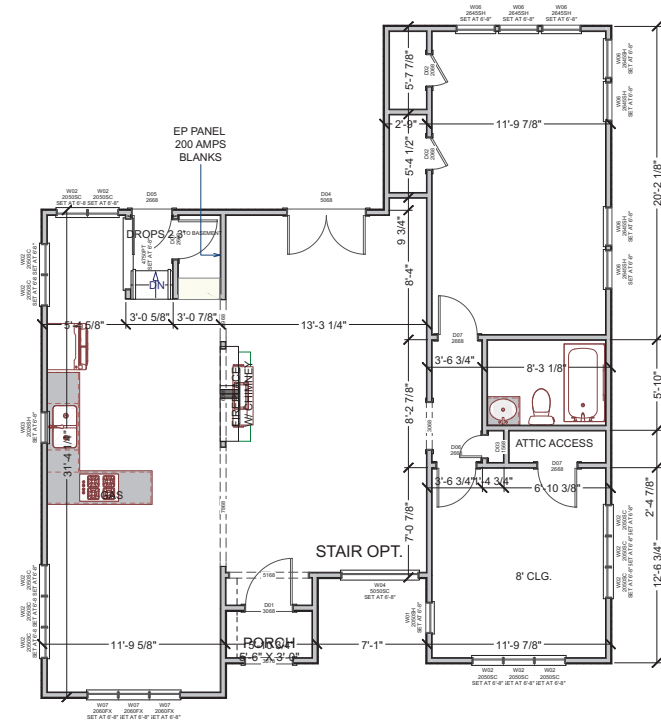
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SCALE:  
TO SCALE AT 22 X 34 (11X17)

AS BUILT  
SHEET: 9

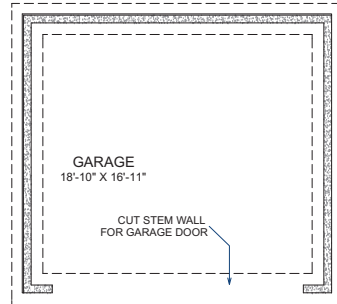


AS BUILT FLOOR PLAN  
1/4 in = 1 ft

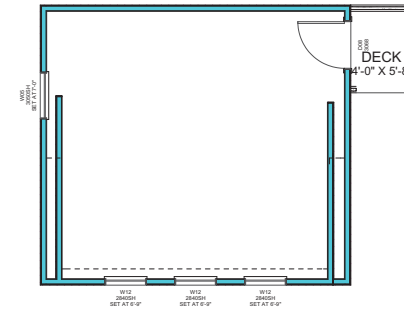


AS BUILT FLOOR PLAN  
1/4 in = 1 ft

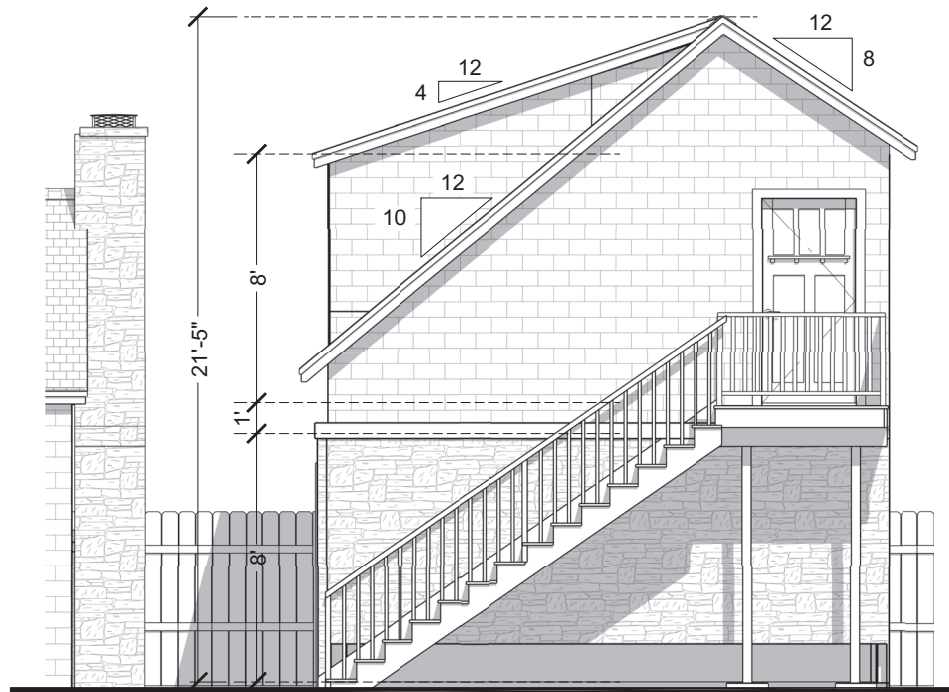
\*ALL RENDERINGS FOR ILLUSTRATION ONLY



ADU EXISTING FOUNDATION  
1/4 in = 1 ft

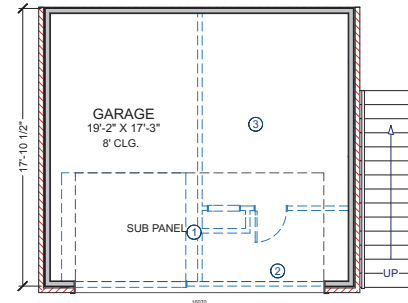


ADU 2ND FLOOR  
1/4 in = 1 ft



WEST ELEVATION  
1/2 in = 1 ft

- ADU NOTES
- ① MOVE SUBPANEL TO EXTERIOR WALL
  - ② ADD GARAGE DOOR
  - ③ DEMO EXISTING APARTMENT AND CONVERT TO GARAGE



ADU FIRST FLOOR  
1/4 in = 1 ft

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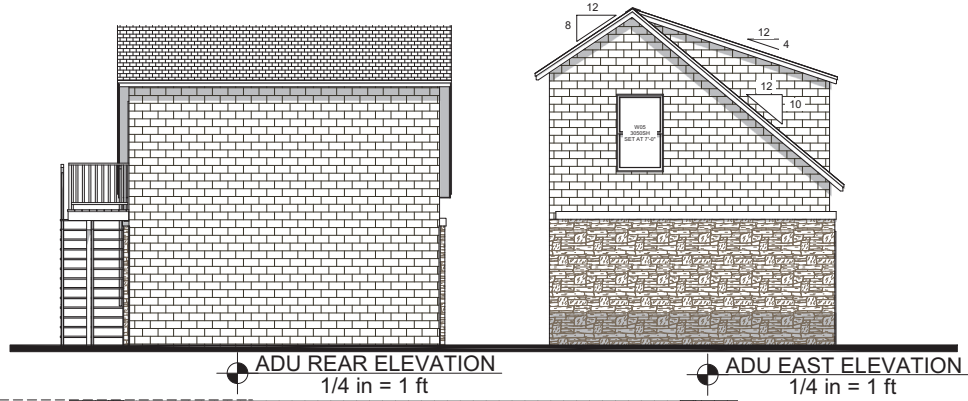
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ADU 2ND FLOOR ADDITION  
SHEET: 10

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ADU REAR ELEVATION  
1/4 in = 1 ft

ADU EAST ELEVATION  
1/4 in = 1 ft



ADU FRONT ELEVATION  
1/2 in = 1 ft

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SCALE:  
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ADU 2ND FL ADDITION  
ELEVATIONS  
SHEET: 11