

**BOA-23374**

19-13 24

9.1

# BOARD OF ADJUSTMENT CASE REPORT

**STR:** 9324

**CZM:** 48

**CD:** 5

Case Number: **BOA-23374**

**HEARING DATE:** 06/28/2022 1:00 PM

**APPLICANT:** Multipurpose LLC

**ACTION REQUESTED:** Special Exception to allow a Large (>250-person capacity) Commercial Assembly & Entertainment Use in the CS District to permit an Event Center (Sec.15.020, Table 15-2)

**LOCATION:** 3146 S MINGO RD E

**ZONED:** CS

**PRESENT USE:** Vacant

**TRACT SIZE:** 33345.32 SQ FT

**LEGAL DESCRIPTION:** PRT NE NE BEG 592S & 200W NEC NE TH S266.31 SW126.03 N266.31 SE124.40 POB SEC 24 19 13 .766AC AND BEG 592S & 237.10W NEC NE TH N55 W88.83 S55 E87.30 POB SEC 24 19 13 .11AC

## **RELEVANT PREVIOUS ACTIONS:**

### **Subject property:**

**BOA-16692;** On 06.16.94 the Board **approved** a variance to reduce the frontage requirement from 30-feet to 0-feet to permit a lot split.

**Surrounding Properties:** None.

**RELATIONSHIP TO THE COMPREHENSIVE PLAN:** The Tulsa Comprehensive Plan identifies the subject property as part of a "Town Center" and an "Area of Growth".

**Town Centers** are medium-scale, one to five story mixed-use areas intended to serve a larger area of neighborhoods than Neighborhood Centers, with retail, dining, and services and employment. They can include apartments, condominiums, and townhouses with small lot single family homes at the edges. A Town Center also may contain offices that employ nearby residents. Town centers also serve as the main transit hub for surrounding neighborhoods and can include plazas and squares for markets and events. These are pedestrian-oriented centers designed so visitors can park once and walk to number of destinations.

The purpose of **Areas of Growth** is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority. A major goal is to increase economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

**ANALYSIS OF SURROUNDING AREA:** The subject tract is located southwest of the SW/c of E. Mingo Rd. and E. 31<sup>st</sup> St. S. The property currently does not have frontage to a public street but has an easement to access Mingo Road. The property is bounded by Mingo Creek on the West property line.

**STAFF COMMENTS:** The applicant is requesting a Special Exception to allow a Large (>250-person capacity) Commercial Assembly & Entertainment Use in the CS District to permit an Event Center (Sec.15.020, Table 15-2).

The use would not trigger any additional supplemental regulations since it is not abutting any residential property.

**SAMPLE MOTION:** Move to \_\_\_\_\_ (approve/deny) a **Special Exception** to allow a Large (>250-person capacity) Commercial Assembly & Entertainment Use in the CS District to permit an Event Center (Sec.15.020, Table 15-2)

- Per the Conceptual Plan(s) shown on page(s) \_\_\_\_\_ of the agenda packet.
- Subject to the following conditions (including time limitation, if any):  
\_\_\_\_\_

The Board finds that the requested Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.



# FILE COPY

Case No. 16690 (continued)

Ms. Parnell stated that the inoperable vehicles are being removed and other debris has been cleared from the lot.

## **Protestants:**

**Terry Wilson**, District 5 planning chairman, recommended that any outside storage on the property be screened or otherwise concealed from public view, with a 90-day review by Code Enforcement to ensure compliance.

## **Applicant's Rebuttal:**

Mr. Moore informed that it will be necessary to have cars parked on the property that are awaiting repair.

## **Board Action:**

On **MOTION** of **BOLZLE**, the Board voted 3-0-0 (Bolzle, Doverspike, T. White, "aye"; no "nays"; no "abstentions"; Chappelle, S. White, "absent") to **APPROVE** a **Special Exception** to permit automobile repair in a CS zoned district - **SECTION 701. PRINCIPAL USES PERMITTED IN THE COMMERCIAL DISTRICTS** - Use Unit 17, per plan submitted; subject to all repair work being completed inside the structure; subject to no outside storage; and subject to no storage of inoperable vehicles, except those awaiting repair; finding that an automobile repair business has been operated at this location for many years and the use has proved to be compatible with the area; on the following described property:

South 150' Reserve Block 1, Irving Acres, City of Tulsa, Tulsa County, Oklahoma.

## **Case No. 16692**

## **Action Requested:**

Variance of the required frontage to 0' - **SECTION 703. BULK AND AREA REQUIREMENTS IN THE COMMERCIAL DISTRICTS** - Use Unit 15, located 3146 South Mingo.

## **Presentation:**

The applicant, **Nolan Gross**, 3146 South Mingo Road, informed that he purchased the subject property several years ago and was not aware that it was tied to an additional lot by a tie contract. He informed that the front lot was sold and the back property was left without street frontage. Mr. Gross informed that the lot is accessed by a 60' easement extending to Mingo Road. A plot plan (Exhibit CC-1) was submitted.

## **Comments and Questions:**

Mr. Bolzle asked if the Planning Commission has approved the lot split and the applicant answered in the affirmative.

Case No. 16692 (continued)

**Protestants:**

None.

**Board Action:**

On **MOTION** of **BOLZLE**, the Board voted 3-0-0 (Bolzle, Doverspike, T. White, "aye"; no "nays"; no "abstentions"; Chappelle, S. White, "absent") to **APPROVE** a **Variance** of the required frontage to 0' - **SECTION 703. BULK AND AREA REQUIREMENTS IN THE COMMERCIAL DISTRICTS** - Use Unit 15, per plan submitted; subject to approval of a lot split by TMAPC; finding that the lot is accessed by a mutual access easement, and that approval of the request will not be detrimental to the area, or violate the spirit and intent of the Code; on the following described property:

Beginning at the NE/c of NE/4, Section 24, T-19-N, R-13-E, thence S 0°11'14" W along the east boundary of the NE/4 532', thence west 50' to the POB, City of Tulsa, Tulsa County, Oklahoma.

**Case No. 16693**

**Action Requested:**

Variance to amend a condition of approval of a previously approved Board case and clarification of a condition of approval to permit storage of chrome bumpers without change in the condition that chrome plating will cease - Use Unit 25, located 18420 East Admiral Place.

**Presentation:**

The applicant, **Joseph Hull, III**, 1717 South Cheyenne Avenue, stated that he is representing the owner of the property, who was issued a citation by Ms. Parnell, a Code Enforcement officer. He informed that Ms. Parnell determined that the fence was not installed at the location stipulated in the previously approved conditions, and asked that it be permitted to remain at the current location. Mr. Hull noted that the existing fence is 104' from the south residential property line, and pointed out that it is difficult to operate the business without utilizing more of the property. The applicant also requested that his client be permitted to store chrome bumpers on the lot, even though the chrome plating portion of the business has been moved to another location. Photographs (Exhibit D-2) were submitted.

**Comments and Questions:**

Mr. Doverspike asked if the fence was installed after the initial hearing concerning the business, and Mr. Hull answered in the affirmative.

Mr. Doverspike stated that it was not the intent of the Board to restrict the sale of chrome bumpers at this location after the chroming business was moved to another site.

JEFFREY BUSH  
ZONING OFFICIAL  
PLANS EXAMINER I

TEL (918) 596-9688  
jbush@cityoftulsa.org



## DEVELOPMENT SERVICES

175 EAST 2<sup>nd</sup> STREET, SUITE 450  
TULSA, OKLAHOMA 74103

### ZONING CLEARANCE PLAN REVIEW

LOD Number: 1  
Raul Cisneros  
3902 E 51<sup>st</sup> St S  
Tulsa, OK 74135

April 27, 2022

Phone: 918-859-9343

APPLICATION NO: **BLDC-116781-2022**

(PLEASE REFERENCE THIS NUMBER WHEN CONTACTING OUR OFFICE)

Location: **3146 S MINGO RD E**

Description: **Alteration**

#### INFORMATION ABOUT SUBMITTING REVISIONS

OUR REVIEW HAS IDENTIFIED THE FOLLOWING CODE OMISSIONS OR DEFICIENCIES IN THE PROJECT APPLICATION FORMS, DRAWINGS, AND/OR SPECIFICATIONS. THE DOCUMENTS SHALL BE REVISED TO COMPLY WITH THE REFERENCED CODE SECTIONS.

#### REVISIONS NEED TO INCLUDE THE FOLLOWING:

1. A COPY OF THIS DEFICIENCY LETTER
2. A WRITTEN RESPONSE AS TO HOW EACH REVIEW COMMENT HAS BEEN RESOLVED
3. THE COMPLETED REVISED/ADDITIONAL PLANS FORM (SEE ATTACHED)
4. BOARD OF ADJUSTMENT APPROVAL DOCUMENTS, IF RELEVANT

REVISIONS SHALL BE SUBMITTED DIRECTLY TO THE CITY OF TULSA PERMIT CENTER LOCATED AT 175 EAST 2<sup>nd</sup> STREET, SUITE 450, TULSA, OKLAHOMA 74103, PHONE (918) 596-9601. THE CITY OF TULSA WILL ASSESS A RESUBMITTAL FEE. DO NOT SUBMIT REVISIONS TO THE PLANS EXAMINERS.

**SUBMITTALS FAXED / EMAILED TO PLANS EXAMINERS WILL NOT BE ACCEPTED.**

#### IMPORTANT INFORMATION

1. IF A DESIGN PROFESSIONAL IS INVOLVED, HIS/HER LETTERS, SKETCHES, DRAWINGS, ETC. SHALL BEAR HIS/HER OKLAHOMA SEAL WITH SIGNATURE AND DATE.
2. SUBMIT TWO (2) SETS OF DRAWINGS IF SUBMITTED USING PAPER, OR SUBMIT ELECTRONIC REVISIONS IN "SUPPORTING DOCUMENTS", IF ORIGINALLY SUBMITTED ON-LINE, FOR REVISED OR ADDITIONAL PLANS. REVISIONS SHALL BE IDENTIFIED WITH CLOUDS AND REVISION MARKS.
3. INFORMATION ABOUT ZONING CODE, INDIAN NATION COUNCIL OF GOVERNMENT (INCOG), BOARD OF ADJUSTMENT (BOA), AND TULSA METROPOLITAN AREA PLANNING COMMISSION (TMAPC) IS AVAILABLE ONLINE AT [WWW.INCOG.ORG](http://WWW.INCOG.ORG) OR AT INCOG OFFICES AT 2 W. 2<sup>nd</sup> ST., 8<sup>th</sup> FLOOR, TULSA, OK, 74103, PHONE (918) 584-7526.
4. A COPY OF A "RECORD SEARCH" **[ X ] IS [ ] IS NOT** INCLUDED WITH THIS LETTER. PLEASE PRESENT THE "RECORD SEARCH" ALONG WITH THIS LETTER TO INCOG STAFF AT TIME OF APPLYING FOR BOARD OF ADJUSTMENT ACTION AT INCOG. UPON APPROVAL BY THE BOARD OF ADJUSTMENT, INCOG STAFF WILL PROVIDE THE APPROVAL DOCUMENTS TO YOU FOR IMMEDIATE SUBMITTAL TO OUR OFFICE. (See revisions submittal procedure above.).

## REVIEW COMMENTS

SECTIONS REFERENCED BELOW ARE FROM THE CITY OF TULSA ZONING CODE TITLE 42 AND CAN BE VIEWED AT <http://tulsaplanning.org/plans/TulsaZoningCode.pdf>

BLDC-116781-2022

3146 S MINGO RD E

April 27, 2022

**Note:** As provided for in Section 70.130 you may request the Board of Adjustment (BOA) to grant a variance from the terms of the Zoning Code requirements identified in the letter of deficiency below. Please direct all questions concerning variances, special exceptions, appeals of an administrative official decision, Master Plan Developments Districts (MPD), Planned Unit Developments (PUD), Corridor (CO) zoned districts, zoning changes, platting, lot splits, lot combinations, alternative compliance landscape and screening plans and all questions regarding (BOA) or (TMAPC) application forms and fees to a representative at the Tulsa Planning Office 918-584-7526 or [esubmit@incog.org](mailto:esubmit@incog.org). It is your responsibility to submit to our office documentation of any appeal decisions by an authorized decision-making body affecting the status of your application so we may continue to process your application. INCOG does not act as your legal or responsible agent in submitting documents to the City of Tulsa on your behalf. Staff review comments may sometimes identify compliance methods as provided in the Tulsa Zoning Code. The permit applicant is responsible for exploring all or any options available to address the noncompliance and submit the selected compliance option for review. Staff review makes neither representation nor recommendation as to any optimal method of code solution for the project.

**Sec.15.020 Table 15-2:** The proposed Event Center is a use categorized as a Commercial/and is located in a CS zoning district. This stated use is only permitted in the CS zoning district by Special Exception per *Sec.15.020 Table 15-2: O, C, and I District Use Regulations*.

**Review Comment:** All applications for Special Exception requests will be heard by the City of Tulsa Board of Adjustment (BOA) per *Sec.70.120 Special Exceptions*. If approved, two copies of the Special Exception shall be submitted as a revision to this application. Please contact an INCOG representative at 584-7526 to assist you with this process.

**Note:** All references are to the City of Tulsa Zoning Code. Link to Zoning Code: <http://tulsaplanning.org/plans/TulsaZoningCode.pdf>

**Please notify the reviewer via email when your revisions have been submitted**

This letter of deficiencies covers Zoning plan review items only. You may receive additional letters from other disciplines such as Building or Water/Sewer/Drainage for items not addressed in this letter.

A hard copy of this letter is available upon request by the applicant.

## END – ZONING CODE REVIEW

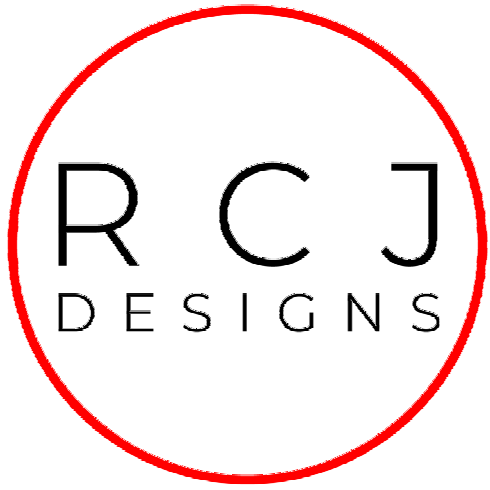
**NOTE:** THIS CONSTITUTES A PLAN REVIEW TO DATE IN RESPONSE TO THE SUBMITTED INFORMATION ASSOCIATED WITH THE ABOVE REFERENCED APPLICATION. ADDITIONAL ISSUES MAY DEVELOP WHEN THE REVIEW CONTINUES UPON RECEIPT OF ADDITIONAL INFORMATION REQUESTED IN THIS LETTER OR UPON ADDITIONAL SUBMITTAL FROM THE APPLICANT.

KEEP OUR OFFICE ADVISED OF ANY ACTION BY THE CITY OF TULSA BOARD OF ADJUSTMENT OR TULSA METROPOLITAN AREA PLANNING COMMISSION AFFECTING THE STATUS OF YOUR APPLICATION FOR A ZONING CLEARANCE PERMIT.

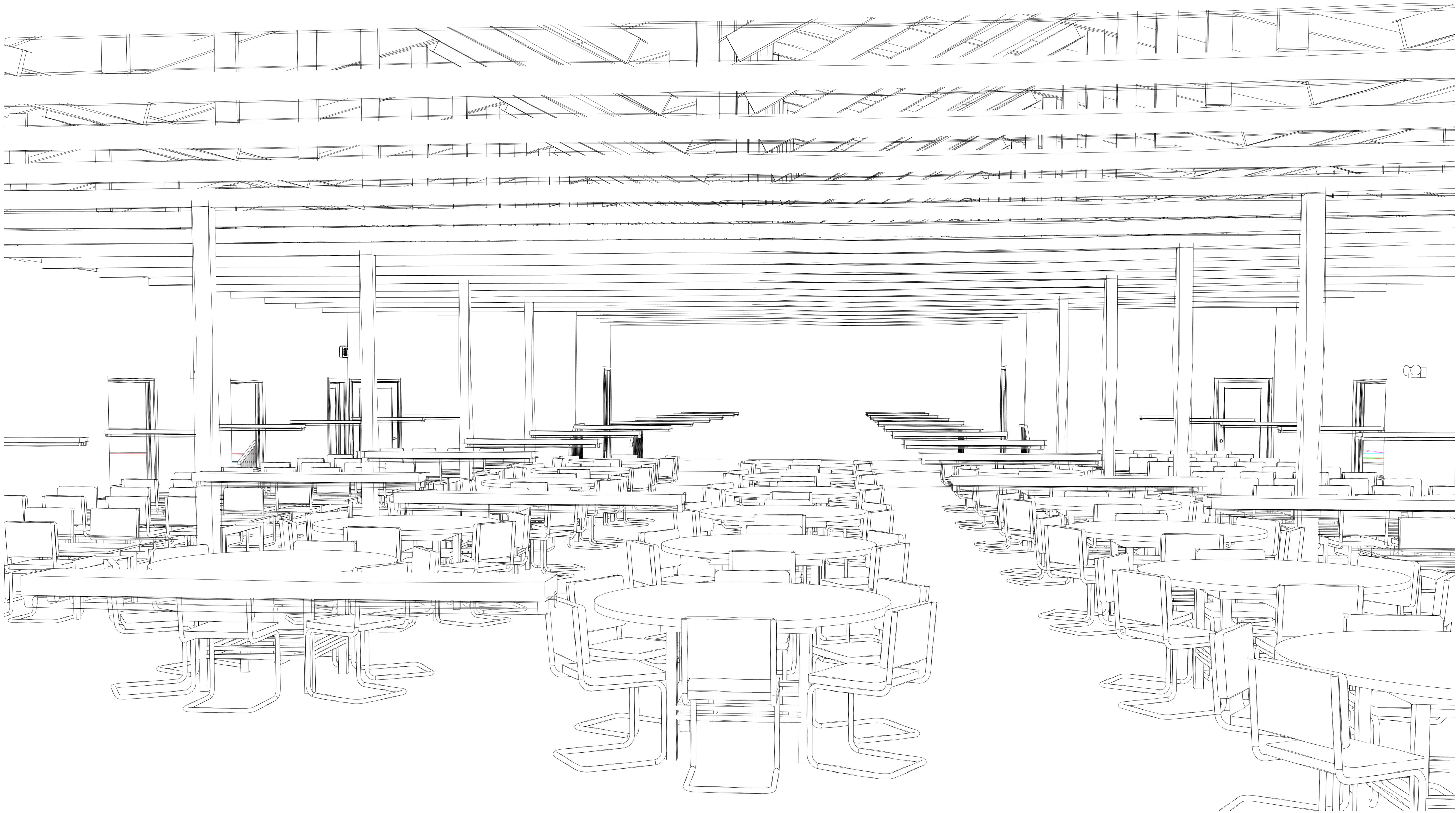
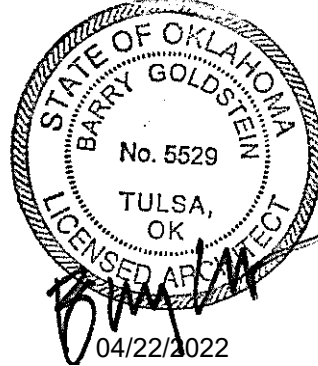


CHARO  
CHARO'S VENUE  
3146 S MINGO RD  
TULSA, OK 74146

PROJECT NUMBER  
22019  
PERMIT SET  
04.21.2022



T U L S A , O K .  
9 1 8 . 8 5 9 . 9 3 4 3  
W . C O M



PROJECT TEAM

DESIGN:  
RCJ DESIGNS, LLC  
1312 S GARNETT RD, SUITE E  
TULSA, OK. 74128  
  
RAUL CISNEROS JR  
918.859.9343  
WWW.RCJDESIGNS.COM

SCOPE OF WORK

SUMMARY:  
CHANGE OF USE TO AN EVENT CENTER AND INTERIOR REMODEL

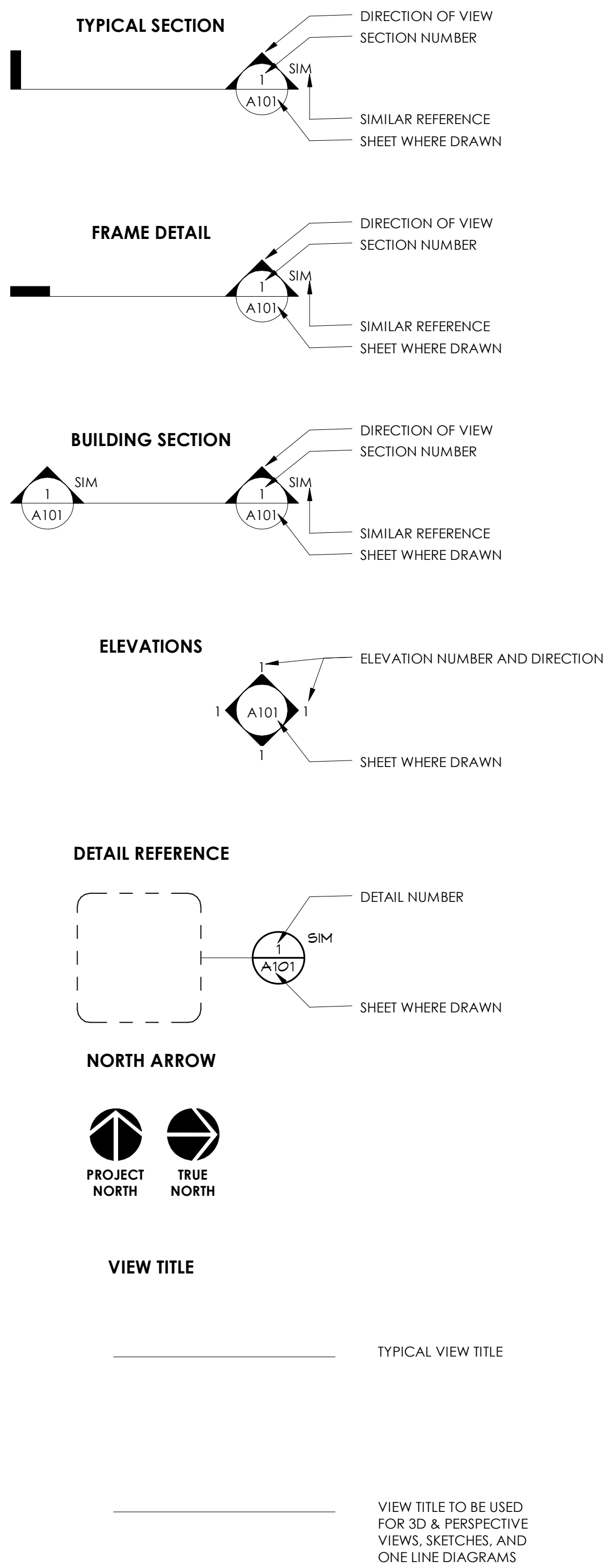
SHEET INDEX

CS	COVER SHEET
A000	ABBREVIATIONS / SYMBOLS
A001	PROJECT DATA
D101	DEMOLITION PLAN
D201	DEMOLITION REFLECTED CEILING PLAN
A100	SITE PLAN
A101	EXISTING / PROPOSED FLOOR PLAN
A201	REFLECTED CEILING PLAN
A401	ROOM & DOOR SCHEDULES

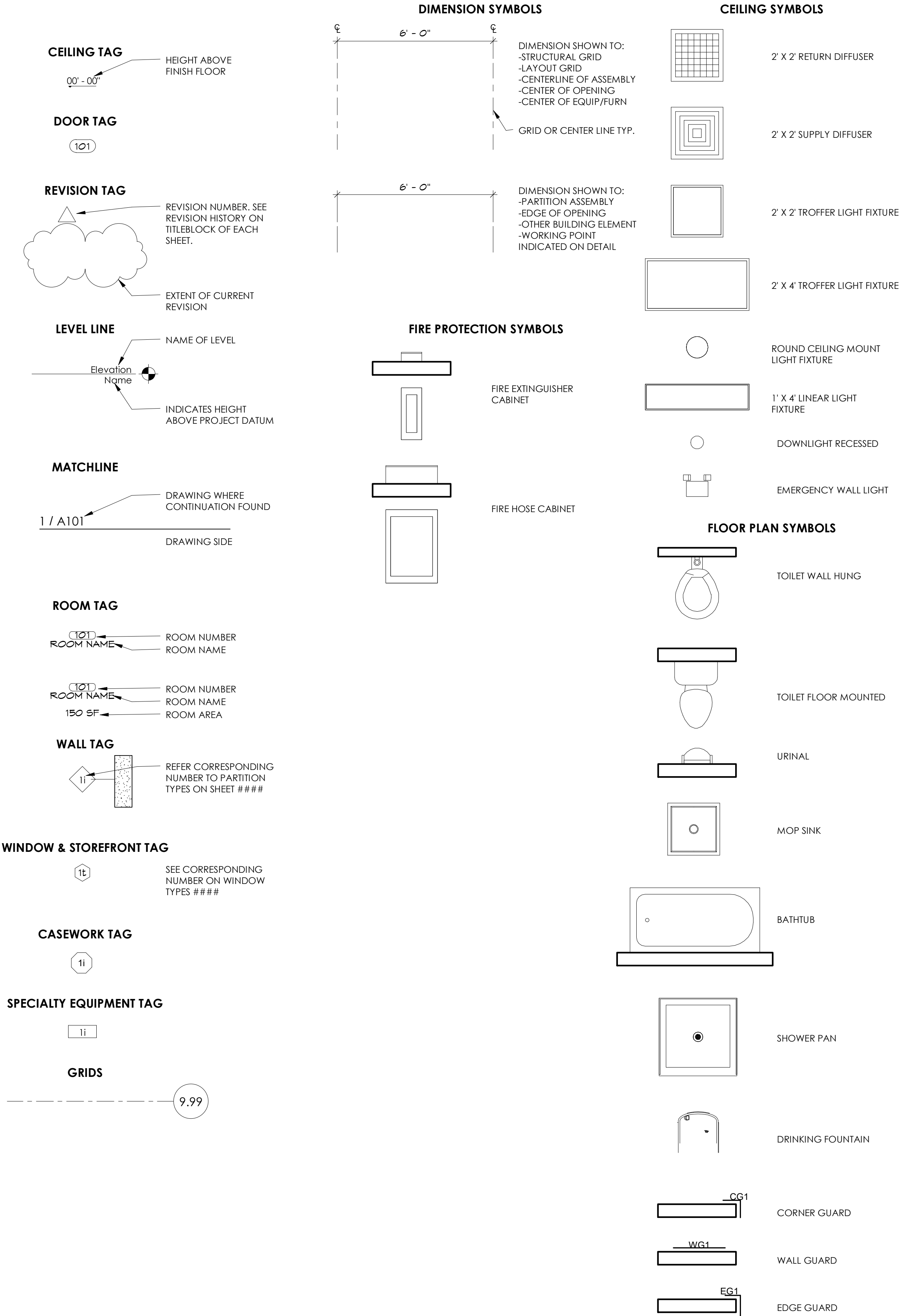
ARCHITECTURAL ABBREVIATIONS

A	AB	ANCHOR BOLT	G	GA	GAS	PTN	PTN	PARTITION
	ACT	ACOUSTICAL CEILING TILE		GAL	GALLON		PIS	PNEUMATIC TUBE STATION
	ACP	ACOUSTICAL CEILING		GALV	GALVANIZED		PVC	POLYVINYL CHLORIDE
	ACS PNL	ACCESS PANEL		GB	GRAB BAR		PVG	PAVING
	AD	AREA DRAIN		GC	GENERAL CONTRACTOR		PVMT	PAVEMENT
	ADDL	ADDITIONAL		GFRG	GLASS FIBER REINFORCED CONCRETE		PWR	POWER
	ADH	ADHESIVE		GL	GLASS		Q	QUARRY TILE
	ADJ	ADJUSTABLE		GLU LAM	GLUE LAMINATED		QTR	QUARTER
	ADC	ADJACENT		GLZ	GLAZING		QTY	QUANTITY
	AFF	ABOVE FINISH FLOOR		GR	GRADE OR GRADING		R	RISER
B	AFG	ABOVE FINISH GRADE	H	GVL	GRAVEL	RAD	RA	RETURN AIR
	AFS	ABOVE FINISH SLAB		GYP	GYP SUM		RB	RADIUS
	AGGR	AGGREGATE		GYP BD	GYP SUM BOARD		RCP	REFLECTED CEILING PLAN
	ALUM	ALUMINUM		GYP PLAS	GYP SUM PLASTER		RCPT	RECEPTACLE
	ALT	ALTERNATE		H	HIGH		RD	ROOF DRAIN
	ANOD	ANODIZED		HB	HOSE BIBB		RECT	RECTANGULAR
	APPROX	APPROXIMATE(LY)		HC	HOLLOW CORE		REF	REFERENCE
	ARCH	ARCHITECT(URAL)		HD	HEAD		REFR	REFRIGERATOR
	ASPH	ASPHALT		HDBD	HARDBOARD		REG	REGISTER
	AVG	AVERAGE		HDW	HARDWARE		REIN	REINFORCE (D) (ING)
C	BB	BULLETIN BOARD	I	HDWD	HARDWOOD	REIN	REGD	REQUIRED
	BD	BOARD		HT	HEIGHT		REQT	REQUIREMENT
	BTWN	BETWEEN		HM	HOLLOW METAL		RESIL	RESILIENT
	BITUM	BITUMINOUS		HNDRL	HANDRAIL		RET	RETURN
	BUDG	BUILDING		HORIZ	HORIZONTAL		REV	REVISION
	BM	BENCHMARK		HPT	HIGH POINT		RH	RIGHT HAND
	BOT	BOTTOM		HR	HOUR		RHMS	ROUND HEAD MACHINE
	BOS	BOTTOM OF STEEL		HVAC	HEATING-VENTILATION-AIR		RHWS	ROUND HEAD WOOD
	BRG	BEARING		HW	HOT WATERING		RM	ROOM
	BSMT	BASEMENT		ID	INSIDE DIAMETER		RND	ROUND
D	BUR	BUILT UP ROOFING SYSTEM	J	IN	INCH	ROW	RO	ROUGH OPENING
	CB	CATCH BASIN		INCAND	INCANDESCENT		RWL	RAIN WATER LEADER
	CCR	CARD CONTROL READER		INCL	INCLUDE, INCLUDING		SA	SUPPLY AIR
	CCT	CUBICLE CURTAIN TRACK		INFO	INFORMATION		SB	SPLASH BLOCK
	CCTV	CLOSED CIRCUIT TELEVISION		INSTR	INTERIOR		SC	SOLID CORE
	CG	CEMENT, CEMENTITIOUS		INTV	INVERT		SCHED	SCHEDULE
	CEM	CERAMIC		IVT	INTRAVENOUS TRACK		SCRN	SCREEN
	CH BD	CHALK BOARD		JAN	JANITOR		SD	STORM DRAIN
	CI	CAST IRON		JST	JOIST		SHT	SHEET, SHEETING
	CJ	CONTROL JOINT		JT	JOINT		SHWR	SHOWER
E	CL	CENTER LINE	K	KG	KILOGRAM	SHV	SIM	SIMILAR
	CLG	CEILING		KIT	KITCHEN		SK	SINK
	CLR	CLEAR		KPL	KICK PLATE		SKS	SHEET METAL SCREW
	CMU	CONCRETE MASONRY UNIT		KS	KNEE SPACE		SMAS	SPACE, SPACED, SPACING
	CNTR	COUNTER		L	LENGTH, LONG		SPEC	SPECIFICATION
	COL	COLUMN		LAB	LABORATORY		SPKLR	SPEAKER
	CONC	CONCRETE		LAM	LAMINATE, LAMINATION		STS	SELF-TAPPING STEEL
	CONF	CONFERENCE		LAV	LAVATORY		SUSP	SUSPENDED
	CONIN	CONNECTION		LB	POUND		SVCE	SERVICE
	CONSTR	CONSTRUCTION		LED	LIGHT EMITTING DIODE		SW	SOUTHWEST
F	CONT	CONTINUOUS	L	LF	LINEAR FOOT	SYMM	SYST	SYSTEM
	CONTR	CONTRACTOR		LG	LENGTH		T	TREAD
	CORR	CORRUGATED		LIN	LINEAR		T&B	TOP AND BOTTOM
	CPT	CARPET		LPT	LOW POINT		T&G	TONGUE AND GROOVE
	CSK	COUNTERSUNK		LT	LIGHT		TC	TOP OF CONCRETE, TOP OF CURB
	CSP	COMBINATION STANDPIPE		LT WT	LIGHT WEIGHT		TD	TRENCH DRAIN
	CSWK	CASEWORK		LTG	LIGHTING		TEL	TELEPHONE
	CT	CERAMIC TILE		LVR	LOUVER		TEMP	TEMPORARY
	CU	COLD WATER		M	METERS		THERM	THERMAL
	CW	CASEWORK		MACH	MACHINE		THK	THICK, THICKNESS
G	D	DEPTH	M	MATL	MATERIAL	THRES	THRU	THROUGH
	DBL	DOUBLE		MATV	MASTER ANTENNA TELEVISION SYSTEM		TMPD GL	TEMPERED GLASS
	DBL ACT	DOUBLE ACTING		MAX	MAXIMUM		TO	TOP OF
	DEG	DEGREE		MB	MACHINE BOLT		TOR	TOP OF RAILING
	DEMO	DEMOLISH		MC	MEDICINE CABINET		TOS	TOP OF STEEL
	DEPT	DEPARTMENT		MDO	MEDIUM DENSITY OVERLAY		TOT	TOTAL
	DET	DETAIL		MED	MEDIUM		TOW	TOP OF WALL
	DF	DRINKING FOUNTAIN		MEMB	MEMBRANE		TP	TOP OF PAVEMENT
	DIA	DIAMETER		MFR	MANUFACTURER		TB	TELEPHONE TERMINAL
	DIAG	DIAGONAL		MH	MANHOLE		TV	TELEVISION
H	DIFF	DIFFUSER	N	MIN	MINIMUM	TYP	UC	UNDER COUNTER
	DIM	DIMENSION		MISC	MISCELLANEOUS		UL	UNDERWRITERS LABORATORIES
	DIM PT	DIMENSION POINT		MILDG	MOLDING		UNO	UNLESS NOTED OTHERWISE
	DISP	DISPENSER		MM	MILLIMETERS		UPS	UNINTERRUPTIBLE POWER SUPPLY
	DIST	DISTANCE		MO	MASONRY OPENING		UTL	UTILITY
	DN	DOWN		MOD	MODULE, MODULAR		VAC	VACUUM
	DR	DRAIN		MTD	MOUNTED		VB	VALVE BOX
	DS	DOWNSPOUT		MTG	MOUNTING		VCT	VINYL COMPOSITION TILE
	DSP	DRY STANDPIPE		MVB	MOVABLE		VERT	VERTICAL
	DT	DRAPERY TRACK		MULL	MULLION		VEST	VESTIBULE
I	DWG	DRAWING	O	OC	ON CENTER	V	VIT	VITREOUS
	DWGS	DRAWINGS		OD	OUTSIDE DIAMETER		VP	VENT PIPE
	EXIST	EXISTING		OFCI	OWNER FURNISHED-CONTRACTOR		VOL	VOLUME
	EA	EACH		OFOI	OWNER FURNISHED-OWNER INSTALLED		VWC	VINYL WALL COVERING
	EDR	EQUIPMENT DRAWING		OPP	OPPOSITE		W	WEST
	EG	EDGE GUARD		ORD	OVERFLOW ROOF DRAIN		W/	WITH
	EIS	EXTERIOR INSULATION FINISH		OH	OVERHEAD		W/O	WITHOUT
	EL	ELEVATION		OZ	OUNCE		W/W	WALL TO WALL
	ELAST	ELASTOMERIC		PA	PUBLIC ADDRESS		WC	WATER CLOSET
	ELEC	ELECTRICAL		PART	PARTIAL		WD	WOOD
J	ELEV	ELEVATION	P	PBD	PARTICLEBOARD	W	WDW	WINDOW
	EMER	EMERGENCY		PBX	PRIVATE TELEPHONE EXCHANGE		WGL	WIRE GLASS
	ENCL	ENCLOSURE		PCF	POUNDS PER CUBIC FOOT		WCHR	WHEELCHAIR
	ENGR	ENGINEER		PCI	POUNDS PER CUBIC INCH		WM	WIRE MESH
	EOS	EDGE OF SLAB		PERF	PERFORATED		WO	WHERE OCCURS
	EP	ELECTRICAL PANEL		PERIM	PERIMETER		WPT	WORKING POINT
	EPB	ELECTRICAL PANEL BOARD		PERM	PERMANENT		WR	WATER RESISTANT
	EPDM	ETHYLENE PROPYLENE DIENE		PERP	PERPENDICULAR		WSCT	WAINSCOT
	EQ	EQUALIZER		PI	POINT OF INTERSECTION		WSP	WET STANDPIPE
	EQUL SP	EQUALLY SPACED		PL	PLATE		WT	WEIGHT
K	EQUIP	EQUIPMENT	Q	PLAM	PLASTIC LAMINATE	X	WTHPRF	WEATHERPROOF
	EQUIV	EQUIVALENT		PLAS	PLASTER		WTRPRF	WATERPROOF
	ES	ENVIRONMENTAL SERVICE		PLBG	PLUMBING		WWF	WELDED WIRE FABRIC
	ESCAL	ESCALATOR		PLF	POUNDS PER LINEAR FOOT		WWW	WELDED WIRE MESH
	EST	ESTIMATE(D)		PLYWD	PLYWOOD		XFMR	TRANSFORMER
	EWC	ELECTRIC WATER COOLER		PNEU	PNEUMATIC		Y	YARD
	EXC	EXCAVATED		PNL	PANEL			
	EXH	EXHAUST		PNL BD	PANEL BOARD			
	EXP	EXPANSION		PNT	PAINT			
	EJ	EXPANSION JOINT		PORT	PORTABLE			
L	EXT	EXTERIOR	R	PP	PUSH PLATE	R	RA	RETURN AIR
	F/F	FACE TO FACE		PPM	PARTS PER MILLION		RAD	RADIUS
	FA	FIRE ALARM		PR	PAIR		RCP	REFLECTED CEILING PLAN
	FAS	FIRE ALARM STATION		PRCST	PRECAST		RCPT	RECEPTACLE
	FB	FLAT BAR		PREP	PREPARATION		RD	ROOF DRAIN
	FCU	FAN COIL UNIT		PREFAB	PREFABRICATION		RECT	RECTANGULAR
	FD	FLOOR DRAIN		PRKG	PARKING		REF	REFERENCE
	FDC	FIRE DEPARTMENT CONNECTION		PROJ	PROJECT		REFR	REFRIGERATOR
	FDN	FOUNDATION		PROP	PROPERTY		REG	REGISTER
	FEC	FIRE EXTINGUISHER		PSF	POUNDS PER SQUARE		REIN	REINFORCE (D) (ING)
M	FE	FIRE EXTINGUISHER	S	PSI	POUNDS PER SQUARE INCH	S	REQD	REQUIRED
	FF	FINISH FACE		PT	POINT		REQT	REQUIREMENT
	FHC	FIRE HOSE CABINET					RESIL	RESILIENT
	FFH/FEC	FIRE HOSE / FIRE EXTINGUISHER					RET	RETURN
	FHMS	FLAT HEAD MACHINE					REV	REVISION
	FHWS	FLAT HEAD WOOD SCREW					RH	RIGHT HAND
	FHY	FIRE HYDRANT					RHMS	ROUND HEAD MACHINE
	FLAM	FLAMMABLE					RHWS	ROUND HEAD WOOD
	FLASH	FLASHING					RM	ROOM
	FLEX	FLEXIBLE					RND	ROUND
N	FLUOR	FLUORESCENT	T				RO	ROUGH OPENING
	FO	FACE OF					RWL	RAIN WATER LEADER
	FSB	FOLDING SHOWER BENCH					SA	SUPPLY AIR
	FT	FASTER					SB	SPLASH BLOCK
	FTNR	FASTENER					SC	SOLID CORE
	FEET	FOOT, FEET					SCHED	SCHEDULE
	FTG	FOOTING					SCRN	SCREEN
	FURN	FURNITURE					SD	STORM DRAIN
	FXTR	FIXTURE					SHT	SHEET, SHEETING
							SHWR	SHOWER

ARCHITECTURAL TAGS & ANNOTATION SYMBOLS



ARCHITECTURAL SYMBOLS



T U L S A . O K .  
9 1 8 . 8 5 9 . 9 3 4 3  
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DRAWN FOR:

**CHARO**

**CHARO'S VENUE**

3146 S MINGO RD  
TULSA, OK 74146

NO.	REVISION	DATE

PROJECT NUMBER:

22019

ISSUE:

PERMIT SET

DATE:

04.21.2022

DRAWN BY:

Author

CHECKED BY:

Checker

SHEET TITLE:

**ABBREVIATIONS &  
SYMBOLS**

**A000**

PROJECT DATA

PROJECT DESCRIPTION

CHARO'S VENUE  
3146 S MINGO RD  
TULSA, OK 74146

LEGAL DESCRIPTION

SUBDIVISION: UNPLATTED  
LEGAL: PRT NE NE BEG 5425 & 200W NEG NE TH 5266.31 SW126.03 N266.31 SE124.40  
POB SEC 24 19 13 .766AC  
SECTION: 24 TOWNSHIP: 19 RANGE: 13

APPLICABLE BUILDING CODES PER CITY OF TULSA

2015 EDITIONS OF THE FOLLOWING  
INTERNATIONAL BUILDING CODE  
INTERNATIONAL EXISTING BUILDING CODE  
INTERNATIONAL RESIDENTIAL CODE (ONE AND TWO DWELLINGS)  
INTERNATIONAL BUILDING CODE, SELF CERTIFICATION PROGRAM  
INTERNATIONAL FIRE CODE  
INTERNATIONAL MECHANICAL & FUEL GAS CODE  
INTERNATIONAL PLUMBING CODE  
NATIONAL ELECTRICAL CODE

USE GROUP

(PER SECTION 303)

A2, EVENT CENTER

CONSTRUCTION TYPE

(PER SECTION 506)

VB (SPRINKLED)

GENERAL AREA CALCULATION

EXISTING BUILDING AREA:  
FIRST FLOOR: 7,200 SQ FT

ZONING TYPE:

(C5) SHOPPING CENTER DISTRICT

OCCUPANTS:

ASSEMBLY (STANDING SPACE) 5 NET  
987 SF / 5 NET = 198 OCCUPANTS  
99 MALE/FEMALE

ASSEMBLY (UNCONCENTRATED) 15 NET  
5,041 SF / 15 NET = 336 OCCUPANTS  
168 MALE/FEMALE

STORAGE 300 GROSS  
220 SF / 300 GROSS = 1 OCCUPANTS  
1 MALE/FEMALE

KITCHEN 200 GROSS  
265 SF / 200 GROSS = 2 OCCUPANTS  
1 MALE/FEMALE

LOCKER ROOM/ DRESSING 50 GROSS  
220 SF / 50 GROSS = 5 OCCUPANTS  
3 MALE/FEMALE

STAGE 15 NET  
435 SF / 15 NET = 29 OCCUPANTS  
15 MALE/FEMALE

TOTAL OCCUPANTS: 585 OCCUPANTS

MEANS OF EGRESS:

(PER SECTION 1005.3.2)

585 OCCUPANTS X 0.20 = 117 REQUIRED  
FRONT DOOR = 68" PROVIDED  
WEST DOOR = 32" PROVIDED  
EAST DOOR = 32" PROVIDED

TOTAL EXIT = 132" PROVIDED

1010.1.1 - MINIMUM WIDTH REQUIRED OF DOOR OPENING = 32"

1016.2 - EGRESS THROUGH INTERVENING SPACES EGRESS FROM A ROOM OR SPACE SHALL NOT PASS THROUGH ADJOINING OR ENTERVENING ROOMS OR AREAS

TB 1006.2.1 - COMMON PATH OF EGRESS TRAVEL = 75'

TB 1011.2 - EXIT ACCESS TRAVEL DISTANCE = 250' (WITH SPRINKLER SYSTEM)

PLUMBING FIXTURE COUNT PER TABLE 2402.1:

ASSEMBLY, EVENT CENTER (585 OCCUPANTS)

-WATER CLOSETS  
243 MALE/FEMALE OCCUPANTS  
MALE 1 PER 125 = 3 REQUIRED  
FEMALE 1 PER 65 = 5 REQUIRED

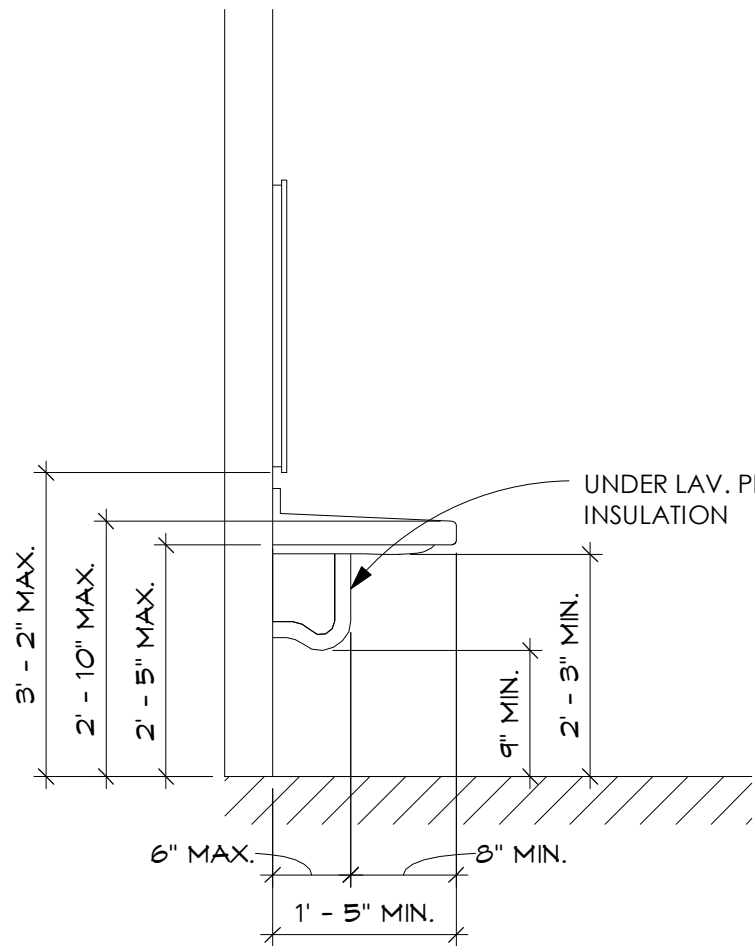
-LAVATORIES  
243 MALE/FEMALE OCCUPANTS  
MALE 1 PER 200 = 2 REQUIRED  
FEMALE 1 PER 200 = 2 REQUIRED

-DRINKING FOUNTAINS

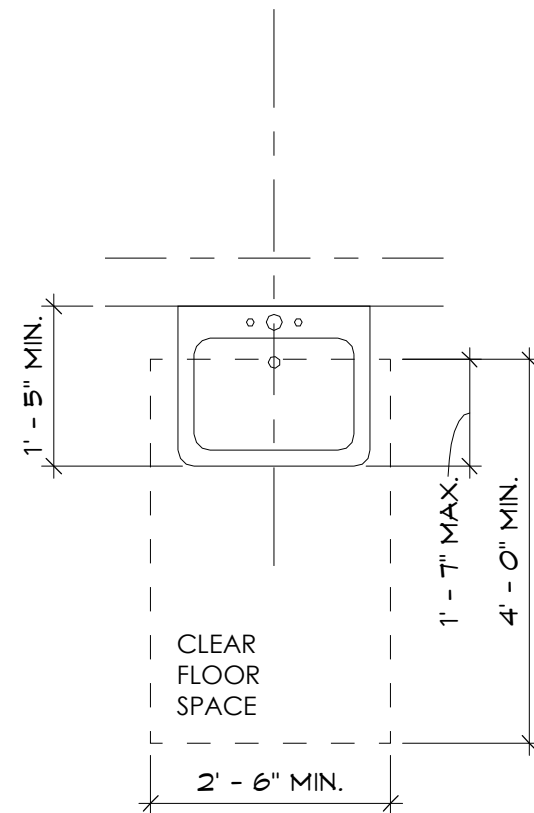
585 OCCUPANTS  
1 PER 500 = 2 REQUIRED

-SERVICE SINKS

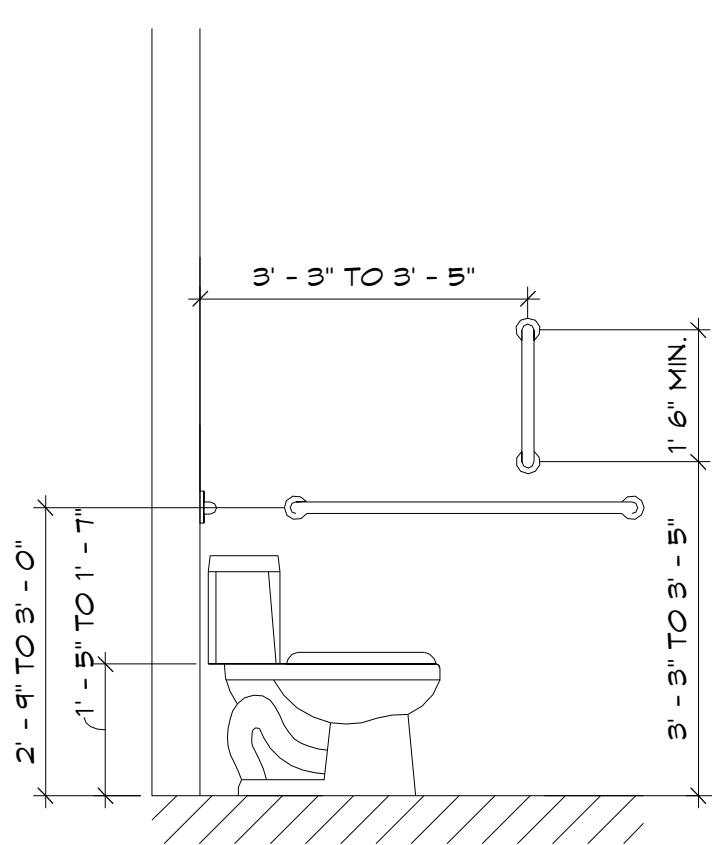
1 REQUIRED = 1 PROVIDED



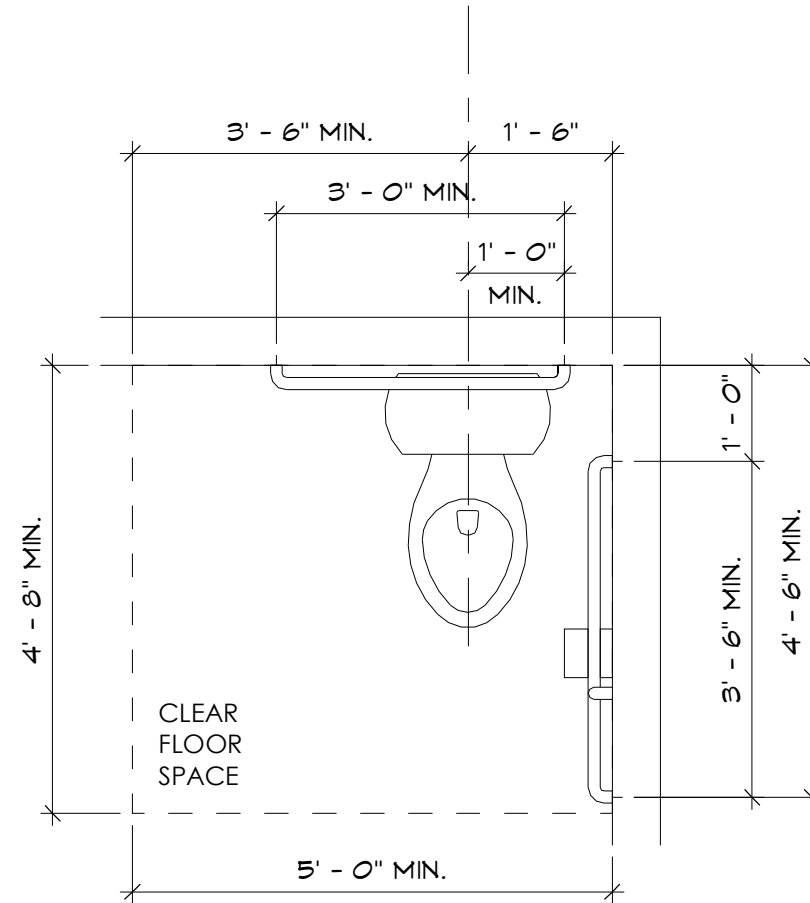
LAVATORY  
ELEVATION



LAVATORY  
PLAN

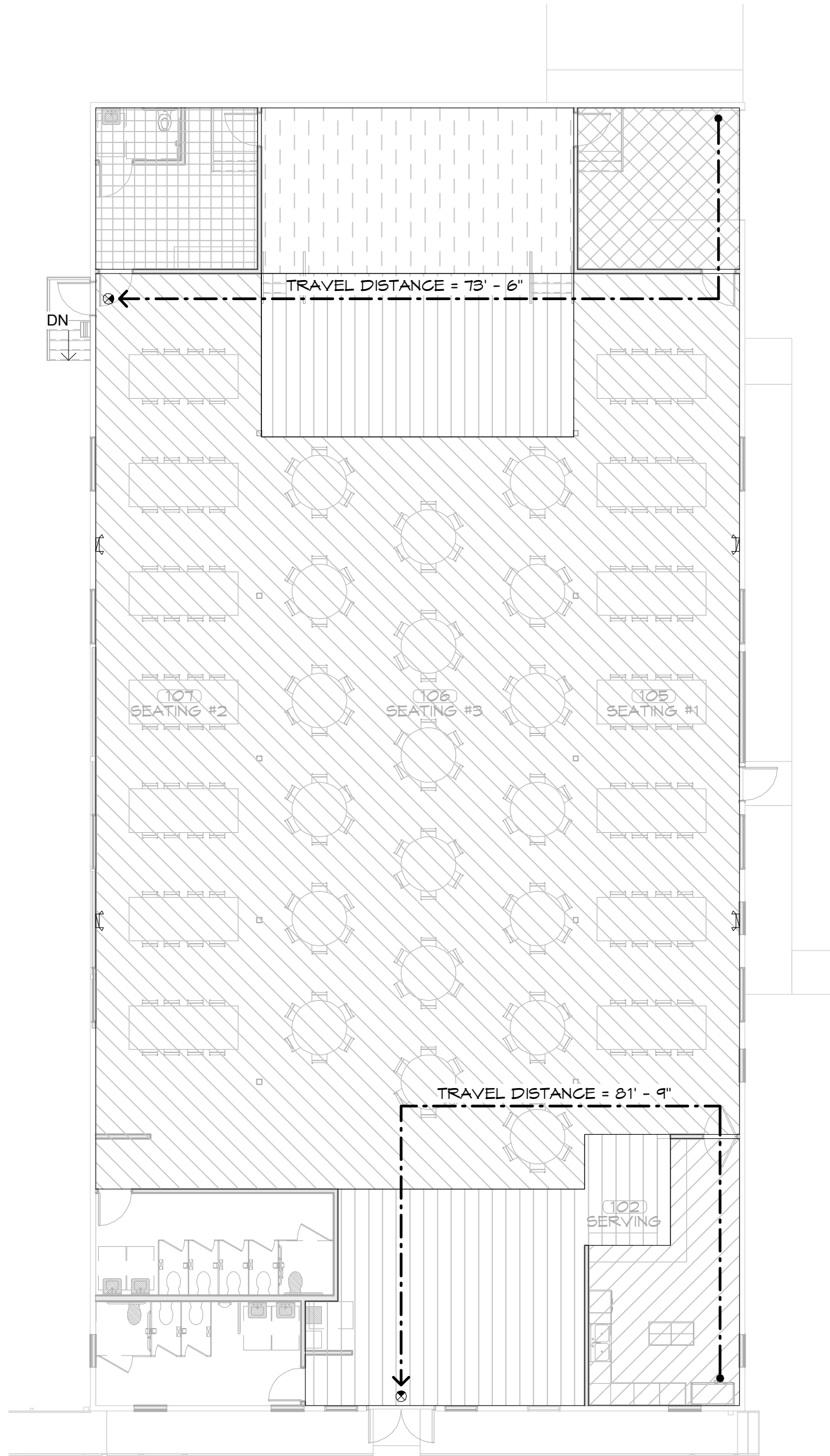


WATER CLOSET  
ELEVATION



WATER CLOSET  
PLAN

1 ADA DETAILS  
1/2" = 1'-0"

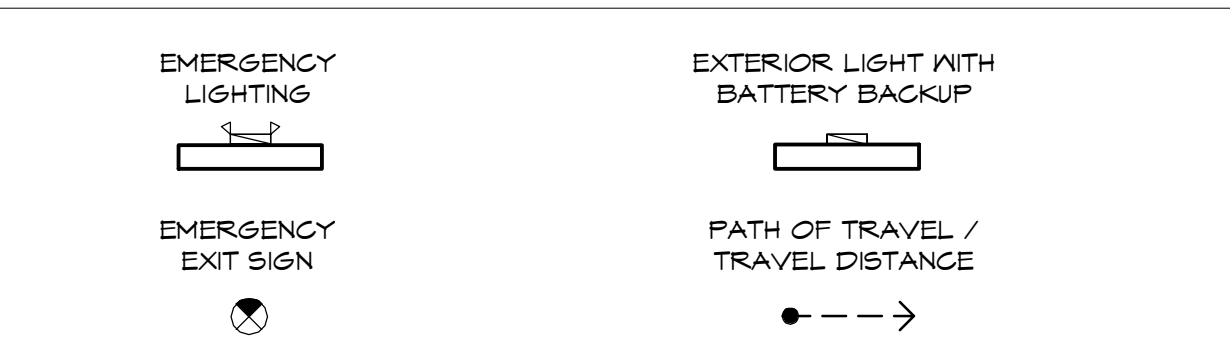


2 LIFE SAFETY PLAN  
3/32" = 1'-0"

OCCUPANTS:

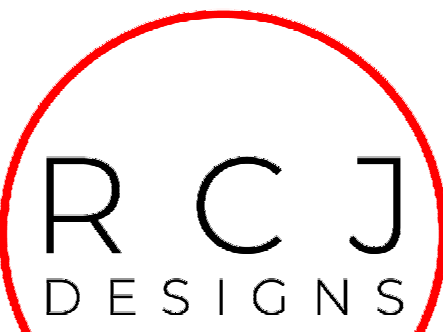
ASSEMBLY (STANDING SPACE) 5 NET 987 SF / 5 NET = 198 OCCUPANTS 99 MALE/FEMALE	ASSEMBLY (UNCONCENTRATED) 15 NET 5,041 SF / 15 NET = 336 OCCUPANTS 168 MALE/FEMALE	STORAGE 300 GROSS 220 SF / 300 GROSS = 1 OCCUPANTS 1 MALE/FEMALE	KITCHEN 200 GROSS 265 SF / 200 GROSS = 2 OCCUPANTS 1 MALE/FEMALE	LOCKER ROOM/ DRESSING 50 GROSS 220 SF / 50 GROSS = 5 OCCUPANTS 3 MALE/FEMALE	STAGE 15 NET 435 SF / 15 NET = 29 OCCUPANTS 15 MALE/FEMALE
TOTAL OCCUPANTS: 585 OCCUPANTS					

LIFE SAFETY LEGEND

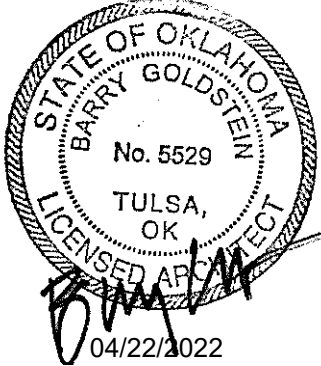


NOTES:

- SCALE. DO NOT SCALE DRAWINGS.
- CODES. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE COMPLIANCE WITH SAID CODES.
- DIMENSIONS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, FRAMING CONDITIONS, AND SITE CONDITIONS BEFORE STARTING WORK. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR POSSIBLE DEFICIENCIES. ANY AND ALL COSTS ASSOCIATED WITH WORK OR REPAIR THEREOF PERFORMED FOLLOWING DISCOVERY OF DISCREPANCIES, UNFORESEEN CONDITIONS, OR DEFICIENCIES WILL BE BORNE BY THE CONTRACTOR.
- DIMENSIONS. ALL INTERIOR DIMENSIONS ARE TO THE CENTERLINE OF FRAMING, TO THE CENTERLINE OF OPENINGS OR TO THE INSIDE FINISH FACE, UNLESS NOTED OTHERWISE.
- INSTALLATION. ALL MATERIALS, SUPPLIES AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PER APPLICABLE CODES AND REQUIREMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- MATERIAL STORAGE. MATERIALS STORED ON SITE SHALL BE PROTECTED FROM DAMAGE BY MOISTURE, WIND, SUN, ABUSE, THEFT OR ANY OTHER HARMFUL AFFECTS. REFERENCE SPECIFICATIONS FOR FURTHER STORAGE REQUIREMENTS.
- SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY PRECAUTIONS OR SAFETY PROGRAMS USED TO PROVIDE A SAFE WORKING ENVIRONMENT ON THE JOB SITE. REFERENCE SPECIFICATIONS FOR SAFETY REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL SHORING AND BRACING DURING ALL PHASES OF CONSTRUCTION.
- PERMITS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS INCLUDING PAYING TERO FEES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS AND A CERTIFICATE OF OCCUPANCY. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL THE PERMITTING AUTHORITIES.
- CONTRACT DOCUMENTS. THESE CONTRACT DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED WITHOUT HIS OR HER WRITTEN CONSENT. THESE CONTRACT DOCUMENTS ARE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THE OWNER SHALL NOT REUSE OR PERMIT THE REUSE OF THESE CONTRACT DOCUMENTS EXCEPT BY MUTUAL AGREEMENT IN WRITING. THE CONTRACT DOCUMENTS SHALL NOT BE USED FOR ISSUE OF A BUILDING PERMIT OR ANY CONSTRUCTION UNLESS SIGNED AND SEALED BY THE ARCHITECT.
- RECYCLE BINS TO BE PROVIDED FOR WORKERS DURING CONSTRUCTION.



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TULSA, OK 74146

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Checker

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PROJECT DATA

A001

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PARKING REQUIREMENTS

USE CATEGORY	MEASUREMENT (SPACE PER)	RATIO/ CH DISTRICT
ASSEMBLY, INDOOR ENTERTAINMENT	1,000 SQ. FT.	3.75
7,200 SQ FT/ 1,000 SQ FT = 7.2	7.2 X 3.75 =	27 PARKING SPACES REQUIRED 35 PARKING SPACE PROVIDED

LEGAL DESCRIPTION

ALL THAT PART OF THE NORTHEAST QUARTER (NE/4) OF SECTION TWENTY-FOUR (24), TOWNSHIP NINETEEN (19) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, MORE PARTICULARLY DESCRIBED AS FOLLOWS,  
TO-WIT:

COMMENCING AT THE NORTHEAST CORNER OF SAID NE/4; THENCE SOUTH 00°11'14" WEST ALONG THE EAST LINE OF SAID NE/4, A DISTANCE OF 592.00 FEET TO A POINT; THENCE DUE WEST AND PARALLEL TO THE NORTH LINE OF SAID NE/4, A DISTANCE OF 260.00 FEET TO THE POINT OF BEGINNING; THENCE DUE WEST AND PARALLEL TO THE NORTH LINE OF SAID NE/4, A DISTANCE OF 269.85 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF SOUTH 93RD EAST AVENUE; THENCE DUE SOUTH ALONG THE EAST RIGHT-OF-WAY LINE OF SOUTH 93RD EAST AVENUE, A DISTANCE OF 172.82 FEET; THENCE TO THE RIGHT ON A CURVE HAVING A RADIUS OF 570.00 FEET AND ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SOUTH 93RD EAST AVENUE, A DISTANCE OF 94.11 FEET TO A POINT; THENCE DUE EAST AND PARALLEL TO THE NORTH LINE OF SAID NE/4, A DISTANCE OF 336.73 FEET TO A POINT; THENCE NORTH 00°11'14" EAST AND PARALLEL TO THE EAST LINE OF SAID NE/4, A DISTANCE OF 266.31 FEET TO THE POINT OF BEGINNING.

ALL THAT PART OF THE NORTHEAST QUARTER (NE/4) OF SECTION TWENTY-FOUR (24), TOWNSHIP NINETEEN (19) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS,  
TO-WIT:

BEGINNING AT THE NORTHEAST CORNER OF SAID NE/4; THENCE SOUTH 0°11'14" WEST ALONG THE EAST BOUNDARY OF SAID NE/4, A DISTANCE OF 532.00 FEET; THENCE DUE WEST AND PARALLEL TO THE NORTH BOUNDARY OF SAID NE/4, A DISTANCE OF 50 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 0°11'14" WEST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH MINGO ROAD, A DISTANCE OF 60 FEET; THENCE DUE WEST AND PARALLEL TO THE NORTH BOUNDARY OF SAID NE/4 A DISTANCE OF 479.85 FEET TO A POINT IN THE EAST RIGHT-OF-WAY LINE OF SOUTH 93RD EAST AVENUE; THENCE DUE NORTH ALONG THE EAST RIGHT-OF-WAY LINE OF SOUTH 93RD EAST AVENUE, A DISTANCE OF 60 FEET; THENCE DUE EAST AND PARALLEL TO THE NORTH BOUNDARY OF SAID NE/4, A DISTANCE OF 480.05 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT, ALL THAT PART OF THE NORTHEAST QUARTER (NE/4) OF SECTION 24, TOWNSHIP 19 NORTH, RANGE 13 EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, MORE PARTICULARLY DESCRIBED AS FOLLOWS,  
TO-WIT:

COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER (NE/4); THENCE SOUTH 0°11'14" WEST ALONG THE EAST BOUNDARY OF SAID NORTHEAST QUARTER A DISTANCE OF 532.00 FEET; THENCE DUE WEST AND PARALLEL TO THE NORTH BOUNDARY OF SAID NORTHEAST QUARTER A DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 0°11'14" WEST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH MINGO ROAD A DISTANCE OF 60.00 FEET; THENCE DUE WEST AND PARALLEL TO THE NORTH LINE OF SAID NORTHEAST QUARTER A DISTANCE OF 187.10 FEET; THENCE NORTH 0°11'14" EAST AND PARALLEL TO THE EAST LINE OF SAID NORTHEAST QUARTER A DISTANCE OF 55.00 FEET; THENCE DUE WEST AND PARALLEL TO THE NORTH LINE OF SAID NORTHEAST QUARTER A DISTANCE OF 100.00 FEET; THENCE NORTH 0°11'14" EAST AND PARALLEL TO THE EAST LINE OF SAID NORTHEAST QUARTER A DISTANCE OF 5.00 FEET; THENCE DUE EAST AND PARALLEL TO THE NORTH LINE OF SAID NORTHEAST QUARTER A DISTANCE OF 287.1 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT,  
A TRACT OF LAND SITUATED IN THE NORTHEAST QUARTER (NE/4) OF SECTION 24, TOWNSHIP 19 NORTH, RANGE 13 EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHEAST CORNER OF SAID NE/4; THENCE S01°17'13"E ALONG THE EAST LINE OF SAID NE/4 A DISTANCE OF 532.00 FEET; THENCE S88°31'33"W A DISTANCE OF 337.10 FEET TO THE POINT OF BEGINNING; THENCE S01°17'13"E A DISTANCE OF 5.00 FEET; THENCE N88°31'33"E A DISTANCE OF 11.17 FEET; THENCE S01°16'09"E A DISTANCE OF 321.31 FEET; THENCE S88°31'33"W A DISTANCE OF 210.70 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF SOUTH 93RD EAST AVENUE; THENCE ALONG SAID EAST RIGHT-OF-WAY ON A CURVE TO THE LEFT HAVING A RADIUS OF 570.00 FEET, AN ARC LENGTH OF 94.11 FEET, A CHORD BEARING OF N07°15'17"E AND A CHORD DISTANCE OF 94.01 FEET; THENCE N01°28'27"W ALONG SAID EAST RIGHT-OF-WAY A DISTANCE OF 232.62 FEET; THENCE N88°31'33"E A DISTANCE OF 192.95 FEET TO THE POINT OF BEGINNING, SAID TRACT CONTAINS 7.53 ACRES, MORE OR LESS.

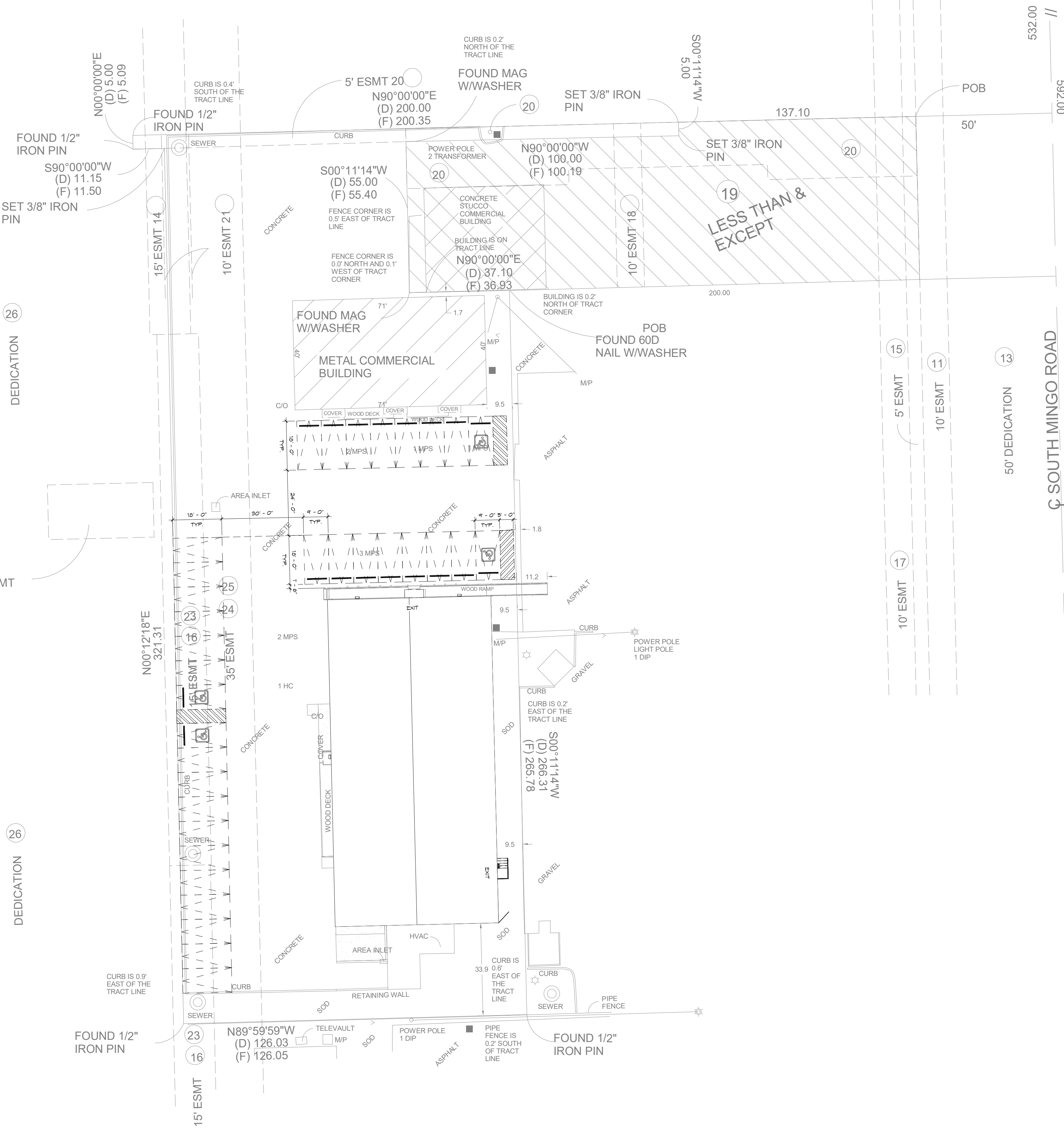
INSTRUMENT NOTES

○ DENOTES INSTRUMENT SHOWN ON SURVEY  
SEQUENCE COINCIDES WITH COMMITMENT

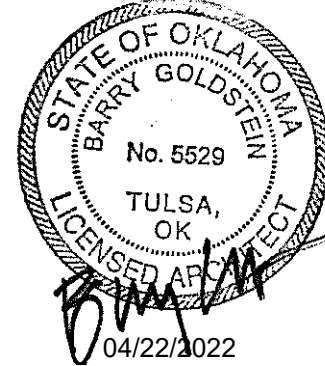
ALL EASEMENTS AND RIGHTS-OF-WAY CONTAINED IN AMERICAN LAND TITLE ASSOCIATION COMMITMENT FOR TITLE INSURANCE, COMMITMENT NO. 21148020, EFFECTIVE DATE JUNE 28, 2021 AT 7:59 A.M., ARE SHOWN HEREON.

10. EASEMENT RECORDED IN BOOK 790, PAGE 392; PARTIAL RELEASE IN BOOK 2920, PAGE 125 OF THE RECORDS OF THE TULSA COUNTY CLERK. DOES NOT AFFECT THE PROPERTY DESCRIBED HEREON.
11. RIGHT OF WAY RECORDED IN BOOK 3504, PAGE 611 OF THE RECORDS OF THE TULSA COUNTY CLERK.
12. DEDICATION RECORDED IN BOOK 3551, PAGE 121 OF THE RECORDS OF THE TULSA COUNTY CLERK. DOES NOT AFFECT THE PROPERTY DESCRIBED HEREON.
13. DEDICATION RECORDED IN BOOK 3566, PAGE 631 OF THE RECORDS OF THE TULSA COUNTY CLERK.
14. EASEMENT RECORDED IN BOOK 3715, PAGE 33 OF THE RECORDS OF THE TULSA COUNTY CLERK.
15. EASEMENT RECORDED IN BOOK 3723, PAGE 175 OF THE RECORDS OF THE TULSA COUNTY CLERK.
16. EASEMENT RECORDED IN BOOK 3729, PAGE 639 OF THE RECORDS OF THE TULSA COUNTY CLERK.
17. EASEMENT RECORDED IN BOOK 3889, PAGE 457 OF THE RECORDS OF THE TULSA COUNTY CLERK.
18. RIGHT OF WAY RECORDED IN BOOK 3908, PAGE 1826 OF THE RECORDS OF THE TULSA COUNTY CLERK.
19. RIGHT OF WAY RECORDED IN BOOK 3908, PAGE 1827 OF THE RECORDS OF THE TULSA COUNTY CLERK.
20. EASEMENT RECORDED IN BOOK 4717, PAGE 1041 OF THE RECORDS OF THE TULSA COUNTY CLERK.
21. EASEMENT RECORDED IN BOOK 4717, PAGE 1051 OF THE RECORDS OF THE TULSA COUNTY CLERK.
22. DEDICATION RECORDED IN BOOK 3551, PAGE 122 OF THE RECORDS OF THE TULSA COUNTY CLERK. DOES NOT AFFECT THE PROPERTY DESCRIBED HEREON.
23. EASEMENT RECORDED IN BOOK 3889, PAGE 467 OF THE RECORDS OF THE TULSA COUNTY CLERK.
24. ORDER RECORDED IN BOOK 5883, PAGE 1903 OF THE RECORDS OF THE TULSA COUNTY CLERK. EXHIBITS A, B, AND C ARE NOT PLOTTED, EXHIBITS ILLEGIBLE
25. ORDER RECORDED IN BOOK 6096, PAGE 1871 OF THE RECORDS OF THE TULSA COUNTY CLERK. EXHIBITS A, B, AND C ARE NOT PLOTTED, EXHIBITS ILLEGIBLE
26. DEDICATION RECORDED AS DOCUMENT NO. 201208719 OF THE RECORDS OF THE TULSA COUNTY CLERK.

1 SITE PLAN  
3/64" = 1'-0"



T U L S A , O K .  
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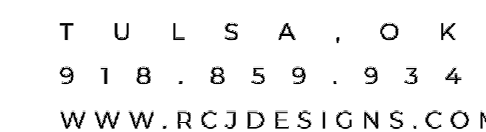
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SHEET TITLE:

SITE PLAN

A100

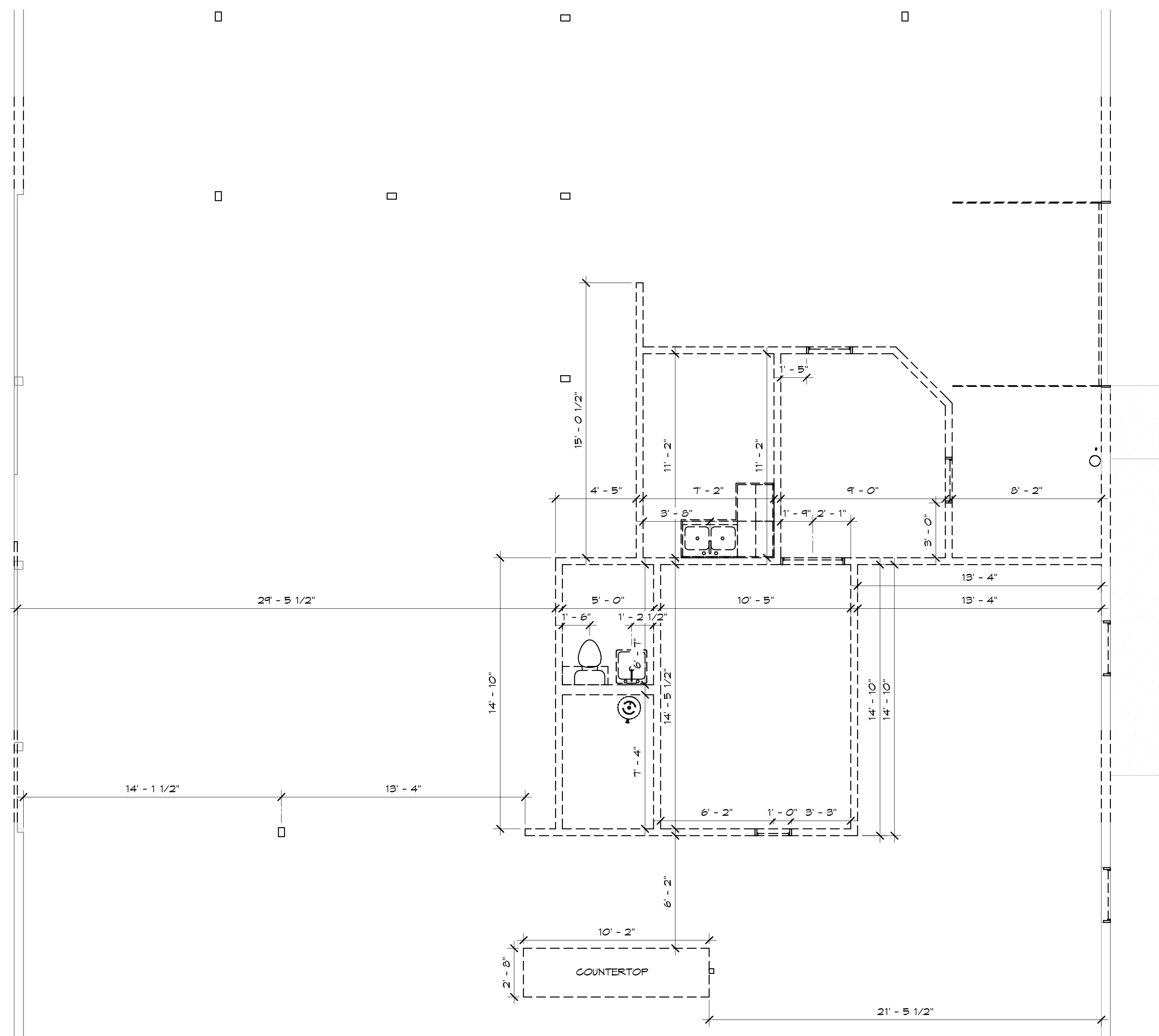
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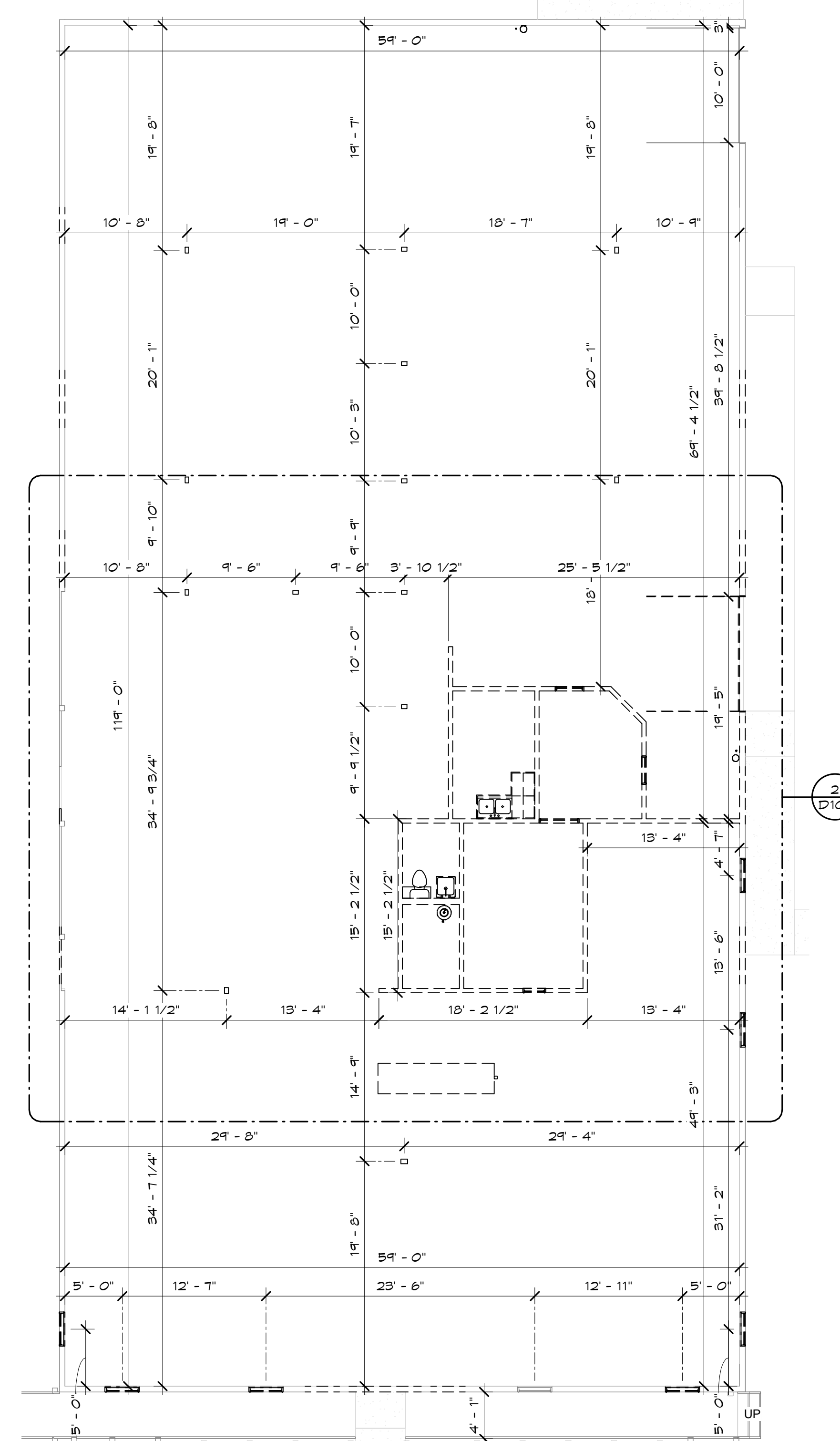
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SHEET TITLE:

# D101



## 2 ENLARGED DEMOLITION PLAN



# 1 DEMOLITION FLOOR PLAN

1/8" = 1'-0"



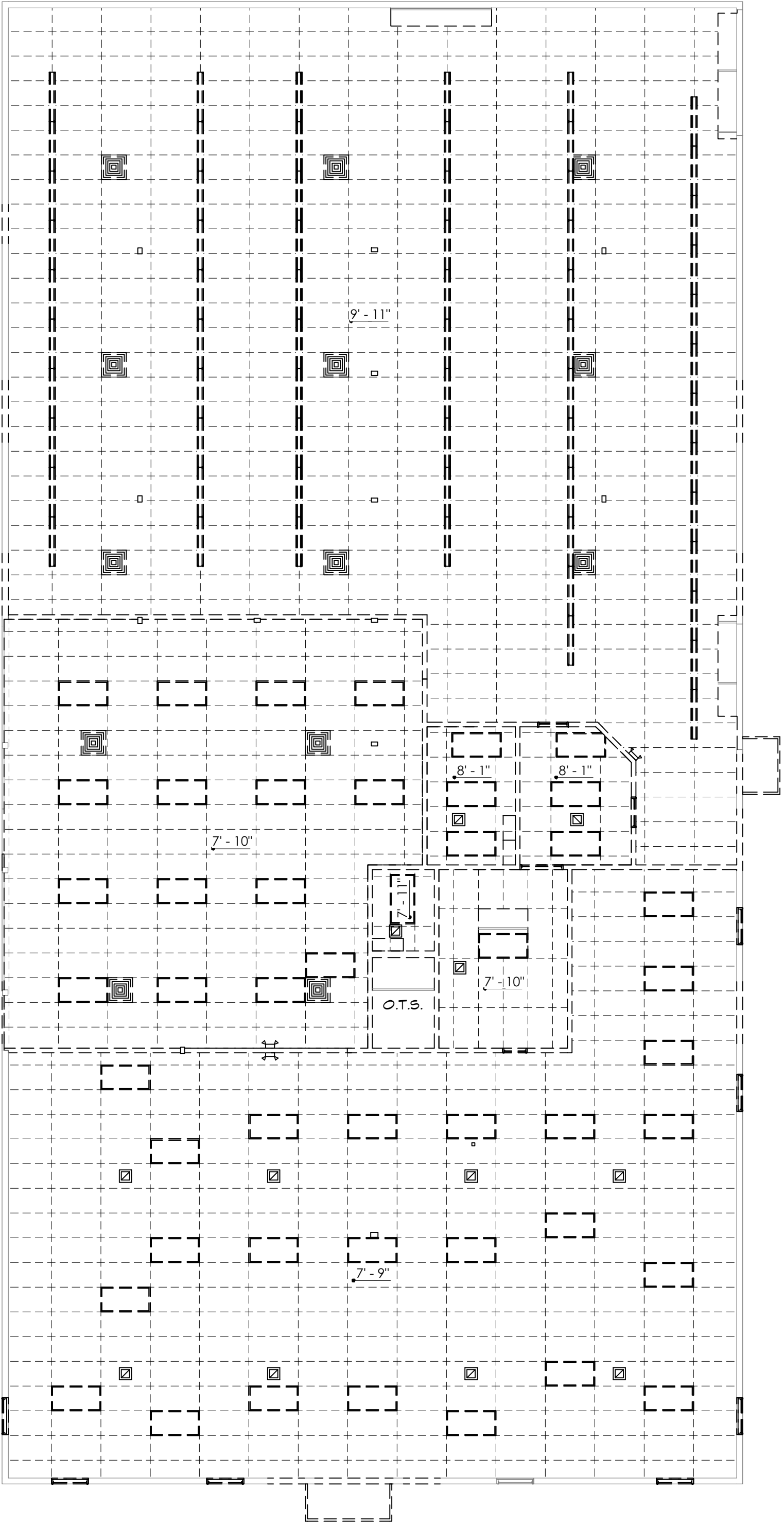
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LEGEND

NOT ALL ITEMS MAY BE USED

EXISTING TO REMAIN

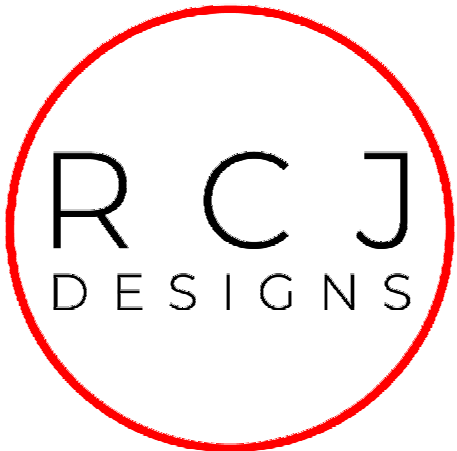
REMOVE/DEMOLISH



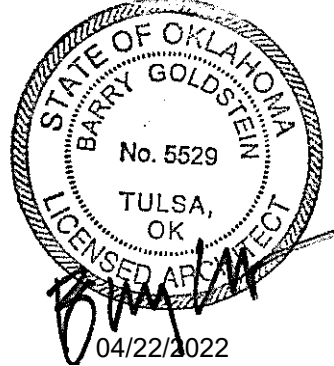
2

DEMOLITION REFLECTED CEILING PLAN

1/8" = 1'-0"



T U L S A , O K  
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**DEMOLITION REFLECTED  
CEILING PLAN**

**D201**

## FLOOR PLAN

1. NOTE

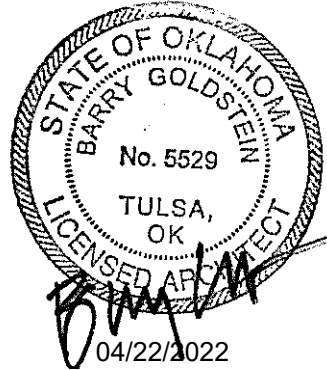

$$1/4'' = 1'-0''$$

$$1/4'' = 1'-0''$$

$$1/8'' = 1'-0''$$




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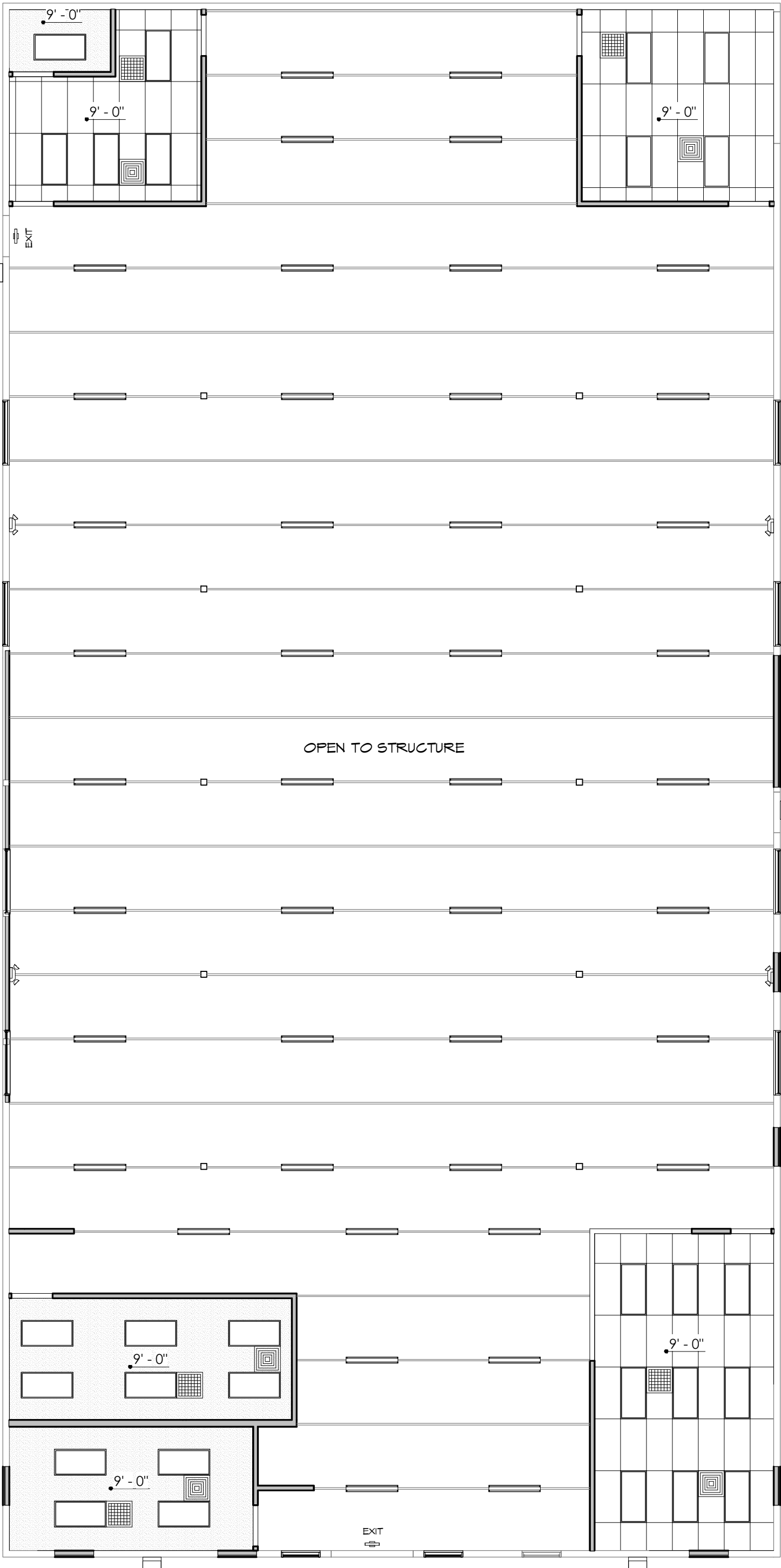
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**REFLECTED CEILING  
PLAN**

**A201**

- NOTES:
1. ALL CEILINGS TO BE 9'-0" UNLESS NOTED OTHERWISE. REFERENCE LIFE SAFETY PLAN FOR EXIT AND EGRESS LIGHTING.



REFLECTED CEILING PLAN LEGEND

NOT ALL ITEMS MAY BE USED

1

KEY NOTE

EXISTING TO REMAIN

2X2 RETURN REGISTER

2X4 LIGHT FIXTURE

2X4 LIGHT FIXTURE, EMERGENCY BACK-UP LIGHTING

EXIT SIGN, EMERGENCY LIGHT W/ BATTERY BACKUP

EXHAUST FAN, 150 CFM

EXTERIOR WALL PACK W/ EMERGENCY LIGHTING

LIGHT FIXTURE, SELECTION BY OWNER

2' x 4' A.C.T. ACOUSTICAL CEILING TILE  
RE: FINISH SCHEDULE

EMERGENCY LIGHTING W/ BATTERY BACK UP

PAINTED GYPSUM ACCOLBOARD TILE  
RE: FINISH SCHEDULE

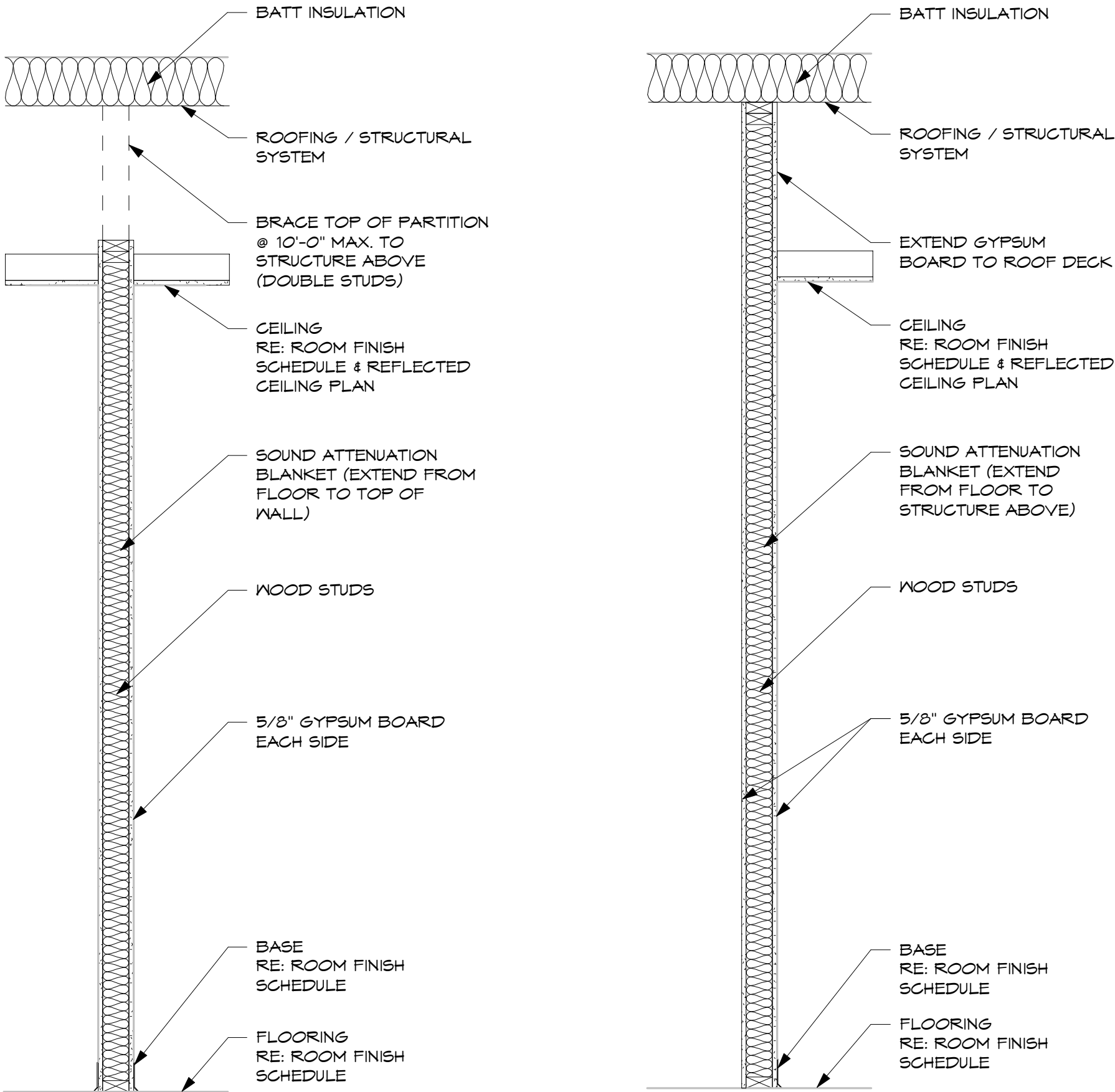
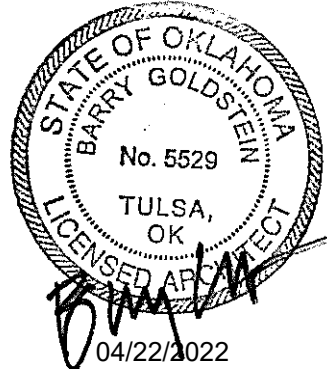
NOTE:  
ALL LIGHTING FIXTURES TO BE LED  
W/ DIMMABLE BALLAST.

**1** REFLECTED CEILING PLAN  
1/8" = 1'-0"



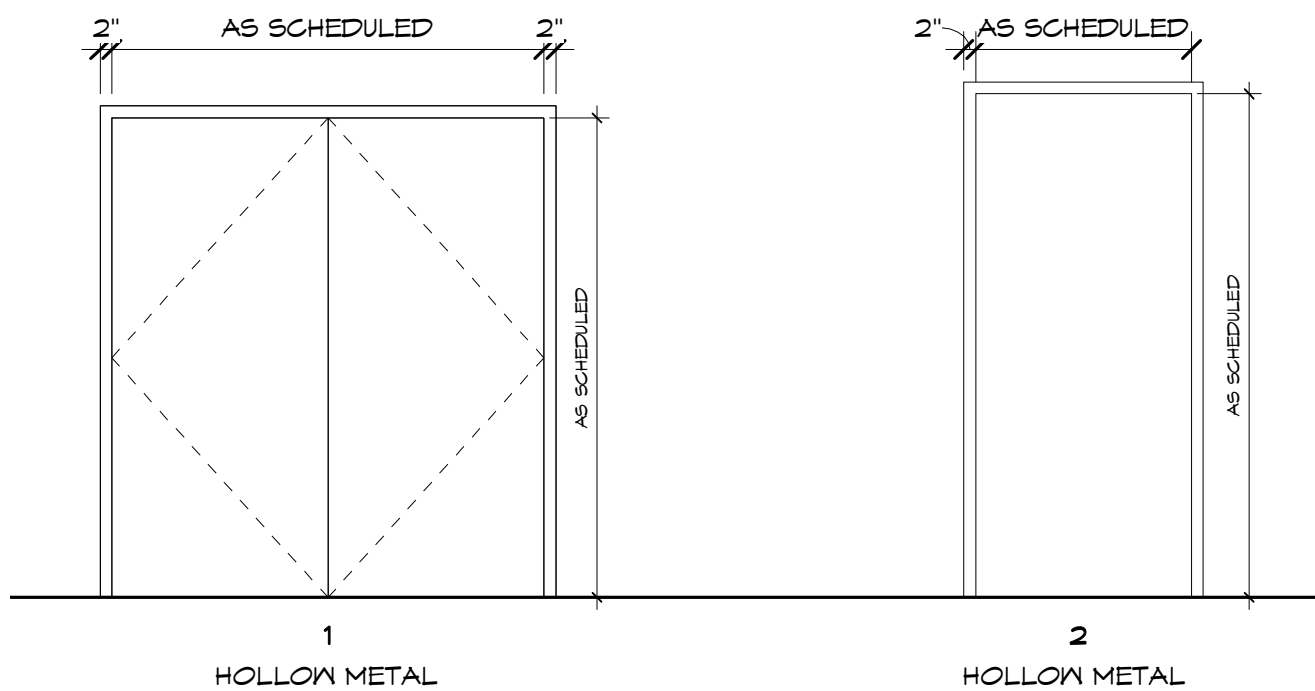


T U L S A . O K .  
9 1 8 . 8 5 9 . 9 3 4 3  
WWW.RCJDESIGNS.COM



B2 B1 PARTITION TYPE							
MARK	MARK SIZE	STUD SIZE	STUD SPACING	GWB	FIRE RATING	STC RATING	U.L. NO.
B1	-	2x4	16" O.C.	5/8"	-	-	
B2	-	2x6	16" O.C.	5/8"	-	-	

A3 A2 A1 PARTITION TYPE							
MARK	MARK SIZE	STUD SIZE	STUD SPACING	GWB	FIRE RATING	STC RATING	U.L. NO.
A1	-	2x4	16" O.C.	5/8"	-	-	
A2	-	2x6	16" O.C.	5/8"	-	-	
A3	-	2x4	16" O.C.	5/8"	1 HR	-	U305



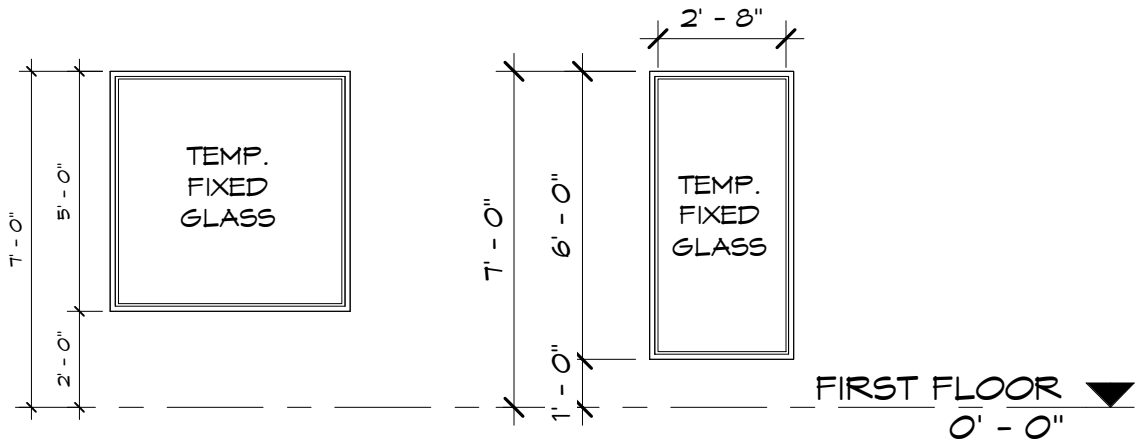
WINDOW SCHEDULE		
TYPE	WIDTH	HEIGHT
1	5' - 0"	5' - 0"
2	3' - 0"	6' - 0"

FINISH SCHEDULE						
NAME	NUMBER	WALL	CEILING	FLOOR	BASE	NOTES
ENTRY	100	GYF	O.T.S.	CONCRETE	RUBBER	
KITCHEN	101	GYF	ACT TILE	TILE	RUBBER	
SERVING	102	GYF	O.T.S.	CONCRETE	RUBBER	
MENS R.R.	103	GYF	GYF	TILE	RUBBER	
WOMENS R.R.	104	GYF	GYF	TILE	RUBBER	
SEATING #1	105	GYF	O.T.S.	CONCRETE	RUBBER	
SEATING #3	106	GYF	O.T.S.	CONCRETE	RUBBER	
SEATING #2	107	GYF	O.T.S.	CONCRETE	RUBBER	
STORAGE	108	GYF	ACT TILE	CONCRETE	RUBBER	
STAGE	109	GYF	O.T.S.	CONCRETE	RUBBER	
DRESSING ROOM	110	GYF	ACT TILE	SEALED CONCRETE	RUBBER	
R.R.	111	GYF	GYF	CONCRETE	RUBBER	

FINISH MATERIAL LEGEND		
FINISH	MANUFACTURER/MODEL	COLOR
ACT	SUSPENDED ACOUSTICAL TILE	----
WT-1	PORCELAIN WALL TILE	----
EPX	EPOXY FLOORING	----
RB	RUBBER BASE	----
FT-1	PAINT	----
FT-2	PAINT	----
TB	TILE BASE	----

- NOTES:
- RUBBER BASE TO BE INSTALLED IN LONGEST SECTIONS POSSIBLE - USE ROLLED PRODUCT
  - PROVIDE GYPSUM BOARD AS FOLLOWS:
    - 5/8 INCH, TYPE X ON ALL HORIZONTAL SURFACES, FINISH LEVEL 4\*
    - 5/8 INCH, ABUSE-RESISTANT ON ALL VERTICAL SURFACES, FINISH LEVEL 5\*
    - 5/8 INCH, MOISTURE AND MOLD RESISTANT ON ALL WET LOCATIONS, FINISH LEVEL 5\*
  - GLOSS LEVELS\*\*
    - ALL CEILINGS - FLAT
    - OFFICE VERTICAL WALLS - FLAT
    - BREAK ROOM - SEMI-GLOSS
    - RESTROOMS - SEMI-GLOSS
    - CORRIDOR - SATIN

DOOR SCHEDULE						
#	WIDTH	HEIGHT	TYPE	FRAME TYPE	HND FUNCTION	NOTES
100	3' - 0"	7' - 0"	B	1	ENTRY	PANIC HARDWARE
101	3' - 0"	6' - 8"	D	2	EASY SWING	
102	3' - 0"	6' - 8"	E	2	PASSAGE	
103	3' - 0"	6' - 8"	E	2	PASSAGE	
104	3' - 0"	6' - 8"	D	1	ENTRY	PANIC HARDWARE
105	3' - 0"	6' - 8"	D	2	STORAGE	20 MIN. RATED, SMOKE SEALS
106	3' - 0"	6' - 8"	D	2	STORAGE	
107	3' - 0"	6' - 8"	D	2	STORAGE	
108	3' - 0"	6' - 8"	E	2	PRIVACY	
108A	10' - 0"	10' - 0"	F	2	-	OVERHEAD DOOR
109	3' - 0"	6' - 8"	D	2	PRIVACY	
110	3' - 0"	6' - 8"	D	1	ENTRY	PANIC HARDWARE

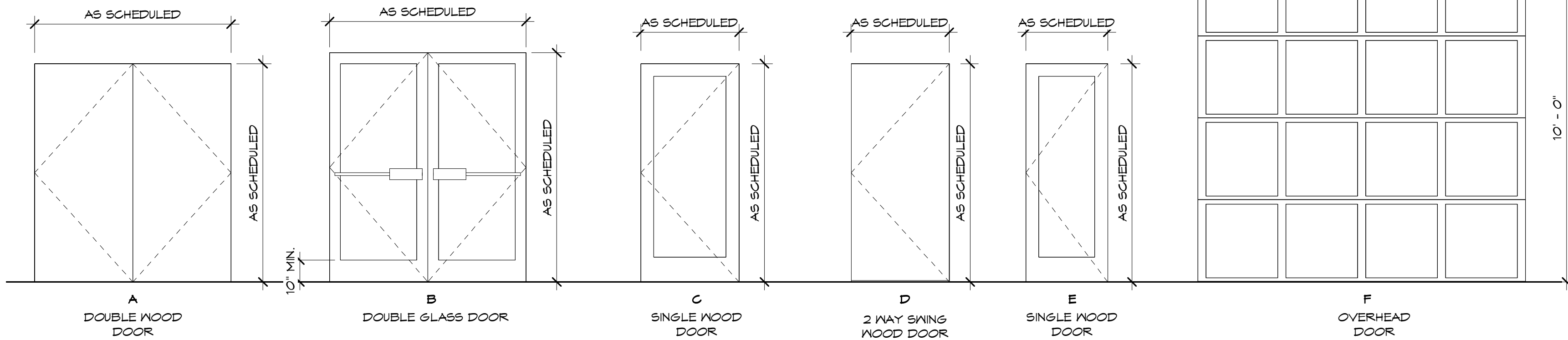


WINDOW TYPES

1/4" = 1'-0"

DOOR FRAME TYPES

3/8" = 1'-0"



DOOR TYPES

3/8" = 1'-0"

DRAWN FOR:

CHARO

CHARO'S VENUE

3146 S MINGO RD  
TULSA, OK 74146

NO.	REVISION	DATE

PROJECT NUMBER:  
22019  
ISSUE:  
PERMIT SET  
DATE:  
04.21.2022  
DRAWN BY:  
Author  
CHECKED BY:  
Checker  
SHEET TITLE:

ROOM & DOOR  
SCHEDULES

A401

#185037

NON-EXCLUSIVE EASEMENT

Dated: August 9, 1983  
Filed: August 16, 1983 at 10:36 AM  
Recorded in Book 4717 Page 1041

THIS INDENTURE is made and entered into this 9th day of August, 1983, by and between MARK HIGGINS, an individual and PAUL L. ALDRIDGE and CARLA R. ALDRIDGE, husband and wife, ("Grantors") and NOLAN L. GROSS and GINGER L. GROSS, husband and wife, ("Grantees").

W I T N E S S E T H:

WHEREAS, Grantees have concurrently herewith sold and conveyed to Grantors certain real property located in the City of Tulsa, Tulsa County, State of Oklahoma ("Conveyed Property");

WHEREAS, Grantees own certain real property located in the City of Tulsa, Tulsa County, State of Oklahoma, adjacent to the Conveyed Property ("Grantees' Property"), which real property is more particularly described hereinbelow;

WHEREAS, Grantors, in consideration of the conveyance of the Conveyed Property, have agreed to grant to Grantees a mutual non-exclusive right-of-way easement, utility easement and construction easement over certain portions of the Conveyed Property, the right to relocate or cause to be relocated certain utility poles in the easement area and a sign easement, all to run in favor of the Grantees' Property described below.

NOW, THEREFORE, in consideration of the mutual covenants herein contained, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, Grantors do hereby grant, bargain, sell and convey unto Grantees the following easements:

-Continued-

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1. A right-of-way easement for access, ingress, egress, regress, vehicular traffic and parking to, over, through, upon, across and from the following-described portion of the Conveyed Property, with grantors and grantees, respectively, paying  $\frac{1}{4}$  the cost of maintaining the easement, to-wit: All that part of the Northeast Quarter (NE/4) of Section Twenty-Four (24), Township Nineteen (19), Range Thirteen (13) East of the Indian Base and Meridian, Tulsa County, State of Oklahoma, according to the U.S. Government Survey thereof, more particularly described as follows, to-wit:

COMMENCING at the Northeast Corner of said NE/4; thence South  $00^{\circ} 11' 14''$  West along the East boundary of said NE/4 a distance of 532.00 Feet; thence due West and parallel to the North boundary of said NE/4 a distance of 50.00 Feet to the Point of Beginning; thence South  $00^{\circ} 11' 14''$  West along the West right-of-way line of South Mingo Road a distance of 22.0 Feet; thence due West a distance of 54.6 Feet; thence due North a distance of 5.6 Feet; thence due West a distance of 73.0 Feet; thence due South a distance of 5.6 Feet; thence due West a distance of 59.5 Feet; thence due North a distance of 22.0 Feet; thence due East a distance of 187.1 Feet to the Point of Beginning;

2. (1) A right-of-way easement for access, ingress, egress, regress, vehicular traffic and parking; and  
(11) An easement for the surveying, excavating, installation, construction, laying, relaying, erecting, repairing, maintaining and operating of any and all utilities including but not limited to telephone, gas, electric, water, cable television and sewers, including lines, cables, pipes, conduits, valves, transformers, fittings, motors and together with all necessary and convenient appurtenances thereto; together with Grantors' covenant to grant, if required or necessary, an easement as herein conveyed to Grantee to any and all utility franchisers, companies or others making such utility installations, including maintenance and operation, for the benefit of Grantees, for such area within this easement as shall

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Guaranty Abstract Company

be required for such utilities, as well as five (5) feet on either side thereof; and

(iii) An easement for the construction, laying, erecting, maintaining, operating, destruction or reconstruction of structures, buildings, fences and other improvements and encroachments of any kind or character whatsoever; to, over, across, upon, under, through and from the following-described portion of the Conveyed Property, to-wit:

All that part of the Northeast Quarter (NE/4) of Section Twenty-Four (24), Township Nineteen (19), Range Thirteen (13) East of the Indian Base and Meridian, Tulsa County, State of Oklahoma, more particularly described as follows, to-wit:

COMMENCING at the Northeast Corner of said NE/4; thence South  $00^{\circ} 11' 14''$  West along the East boundary of said NE/4 a distance of 532.00 Feet; thence due West and parallel to the North boundary of said NE/4 a distance of 237.1 Feet to the Point of Beginning; thence West a distance of 100.0 Feet; thence South a distance of 5.0 Feet; thence due East a distance of 100.0 Feet; thence North a distance of 5.0 Feet to the Point of Beginning;

3. An easement for the relocation of a certain utility pole by Grantors, at the request of Grantees and at Grantees' expense, or by Grantee's located as follows to any other location on either of the above-described tracts adjacent to the Mingo Road Veterinary Hospital not to unreasonably interfere with Grantor's use of such property, to wit:

Commencing at the Northeast corner of the NE/4 of Section 24, Township 19 North, Range 13 East of the Indian Base and Meridian, Tulsa County, Oklahoma, according to the United States Government Survey thereof, THENCE South  $0^{\circ} 11' 14''$  West along the East boundary of said NE/4 a distance of 532 feet; THENCE due West and parallel to the North boundary of said NE/4 a distance of 206.1 feet; THENCE due South a distance of 1.5 feet; said point being the location of said utility pole.

4. An easement for the continued location, maintenance, installation, repair, replacement, servicing or alteration of an electrical advertising sign not to exceed

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Guaranty Abstract Company

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one hundred fifty (150) square feet in size to advertise Seller's business under the name "Southern Agriculture Inc." or any successor or assignee of such company in perpetuity provided such sign does not unreasonably interfere with Grantors' sign for the Mingo Road Veterinary Hospital and further that such sign does not contain any reference to veterinary pharmaceutical vaccines or antibiotics, together with all necessary electrical lines, cables, conduits, and other necessary appurtenances thereto, to, over, across, under and from the following-described portion of the Conveyed Property, to-wit:

Commencing at the Northeast corner of the NE/4 of Section 24, Township 19 North, Range 13 East of the Indian Base and Meridian, Tulsa County, Oklahoma, according to the United States Government Survey thereof, THENCE South 0° 11' 14" West along the East boundary of said NE/4 a distance of 532 feet; THENCE due West and parallel to the North boundary of said NE/4 a distance of 50 feet; THENCE South 0° 11' 14" West along the westerly right-of-way of South Mingo Road a distance of 18.3 feet; THENCE due West a distance of 2.6 feet, said point being the location of the electric sign.

EACH AND EVERY of the above-described easements shall be perpetual non-exclusive easements to become appurtenant to and run with the land of Grantees described as follows:

All that part of the Northeast Quarter (NE/4) of Section 24, Township 19 North, Range 13 East of the Indian Base and Meridian, Tulsa County, State of Oklahoma, more particularly described as follows, to-wit:

COMMENCING at the Northeast Corner of said Northeast Quarter (NE/4); thence South 0° 11' 14" West along the East boundary of said Northeast Quarter (NE/4) a distance of 532.00 feet; thence due West and parallel to the North boundary of said Northeast Quarter (NE/4) a distance of 200.00 feet to the Point of Beginning; thence due West and parallel to the North line of said NE/4 a distance of 37.1 feet; thence North 0° 11' 14" East a distance of 55.00 feet; thence due West and parallel to the North line of said NE/4 a distance of 100.00 feet; thence North 0° 11' 14" East a distance of 5.0 feet; thence West and parallel to the North line of said NE/4 a distance of 192.75 feet

-Continued-

Guaranty Abstract Company

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to a point on the East right-of-way line of South 93rd East Avenue; thence due South along the East right-of-way line of South 93rd East Avenue, a distance of 232.62 Feet; thence to the right on a curve having a radius of 570.00 Feet and along the Easterly right-of-way line of South 93rd East Avenue, a distance of 94.11 Feet to a point; thence due East and parallel to the North line of said NE/4, a distance of 336.73 Feet to a point; thence North 00° 11' 14" East and parallel to the East line of said NE/4 a distance of 266.31 Feet to the Point of Beginning;

LESS THE FOLLOWING:

The North 54.5 Feet of the East 120.00 Feet of the following-described tract of land:

All that part of the Northeast Quarter (NE/4) of Section 24, Township 19 North, Range 13 East of the Indian Base and Meridian, Tulsa County, State of Oklahoma, more particularly described as follows, to-wit:

COMMENCING at the Northeast Corner of said Northeast Quarter (NE/4); thence South 00° 11' 14" West along the East line of said Northeast Quarter (NE/4) a distance of 592.00 Feet to a point; thence due West and parallel to the North line of said Northeast Quarter (NE/4) a distance of 200.00 Feet to the Point of Beginning; thence due West and parallel to the North line of said Northeast Quarter (NE/4) a distance of 329.85 Feet to a point on the East right-of-way line of South 93rd East Avenue; thence due South along the East right-of-way line of South 93rd East Avenue a distance of 172.62 Feet; thence to the right on a curve having a radius of 570.00 Feet and along the Easterly right-of-way line of South 93rd East Avenue, a distance of 94.11 Feet to a point; thence due East and parallel to the North line of said Northeast Quarter (NE/4) a distance of 336.73 Feet to a point; thence North 00° 11' 14" East and parallel to the East line of said Northeast Quarter (NE/4) a distance of 266.31 Feet to the Point of Beginning.

The grant of a particular easement by Grantor shall bind and burden its respective parcel, which shall, for the purposes of this Agreement, be deemed to be the servient tenement.

The grant of a particular easement to a Grantee shall benefit its respective parcel, which shall, for the purposes of this Agreement, be deemed to be the dominant tenement.

A party granting an easement or license is referred to as the "Grantor" thereof, it being intended that the grant shall

-Continued-

Everett Abstract Company

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#185037

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thereby bind and include not only such party, but its heirs, successors and assigns as well.

A party to which an easement is granted is referred to as the "Grantee" thereof, it being intended that the grant shall benefit and include not only such party, but its heirs, successors and assigns as well.

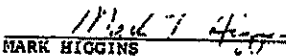
All easements hereby granted are non-exclusive and irrevocable.

IN WITNESS WHEREOF, each of the parties hereto has caused this Agreement to be duly executed as of the date first above written.


GRANTORS:

  
PAUL ALDRIDGE

  
CARLA R. ALDRIDGE

  
MARK HIGGINS

GRANTEES:

  
GINGER L. CROSS

  
NOLAN L. CROSS

-Continued-

Guaranty Abstract Company

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STATE OF OKLAHOMA )  
COUNTY OF TULSA )

#185037

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Before me, a Notary Public in and for said county and state, on the 24 day of August, 1983, personally appeared PAUL ALDRIDGE and CARLA R. ALDRIDGE, husband and wife, to me known to be the identical persons who executed the foregoing instrument, and acknowledged to me that they executed the same as their free and voluntary act and deed for the uses and purposes therein set forth.

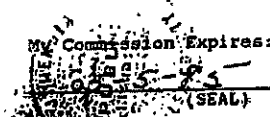
R. L. Brunson  
Notary Public



STATE OF OKLAHOMA )  
COUNTY OF TULSA )

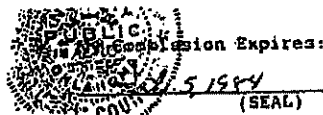
Before me, a Notary Public in and for said county and state, on the 24 day of August, 1983, personally appeared NOLAN L. GROSS and GINGER L. GROSS, husband and wife, to me known to be the identical persons who executed the foregoing instrument, and acknowledged to me that they executed the same as their free and voluntary act and deed for the uses and purposes therein set forth.

M. J. Meridian  
Notary Public



STATE OF OKLAHOMA )  
COUNTY OF TULSA )

Before me, a Notary Public in and for said county and state, on the 24 day of August, 1983, personally appeared MARK HIGGINS, to me known to be the identical persons who executed the foregoing instrument, and acknowledged to me that they executed the same as their free and voluntary act and deed for the uses and purposes therein set forth.



R. L. Brunson  
Notary Public



0 200 400  
Feet



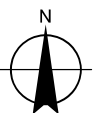
Subject  
Tract

**BOA-23374**

19-13 24

Note: Graphic overlays may not precisely  
align with physical features on the ground.

Aerial Photo Date: 2020/2021



9.25



**S 93RD E AVE**

**E 31ST PL S**

**S MINGO RD**

**E 33RD ST S**

0 50 100  
Feet



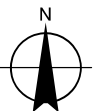
**Subject  
Tract**

**BOA-23374**

19-13 24

*Note: Graphic overlays may not precisely  
align with physical features on the ground.*

Aerial Photo Date: 2020/2021



**9.26**