

BOA-23159

6.1



BOARD OF ADJUSTMENT CASE REPORT

STR: 9212 Case Number:

BOA-23159

CZM: 36

CD: 4

HEARING DATE: 07/27/2021 1:00 PM

APPLICANT: Kimberly McCoy

ACTION REQUESTED: Special Exception to allow an Accessory Dwelling Unit in an RS-3 district (Sec.45.031); Variance to allow a detached accessory building in the side setback and to allow more than 30% coverage by a Detached Accessory Dwelling Unit and Garage in the rear setback in an RS-3 District (Section 90.090-C, Table 90-1, Table 90-2); Variance to allow the aggregate floor area of Detached Accessory Dwelling Units/Accessory Buildings to exceed 500 square feet or 40% of the floor area of the principal residential structure (Section 45.030-A.2, 45.031-D.6).

LOCATION: 1518 S NORFOLK AV E

ZONED: RS-3

PRESENT USE: Residential

TRACT SIZE: 8102.19 SQ FT

LEGAL DESCRIPTION: LT 2 BLK 21, MORNINGSIDE ADDN

RELEVANT PREVIOUS ACTIONS:

BOA-20277; On 06.13.06 the Board approved a Variance of the lot and area requirements in an RS-3 District to permit a lot split and a Variance to allow a detached accessory building in the side yard. Property located 1538 and 1544 S. Norfolk Ave.

BOA-13431; On 01.10.85 the Board approved a variance to reduce the 3' setback for a detached accessory building from 3' to 0'. Property located NE/c of E. 16th St and Madison.

RELATIONSHIP TO THE COMPREHENSIVE PLAN: The Tulsa Comprehensive Plan identifies the subject property as part of an "Existing Neighborhood " and an "Area of Stability".

An **Existing Neighborhood** is intended to preserve and enhance Tulsa's existing single-family neighborhoods. Development activities in these areas should be limited to the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects, as permitted through clear and objective setback, height, and other development standards of the zoning code.

The **Areas of Stability** include approximately 75% of the city's total parcels. Existing residential neighborhoods, where change is expected to be minimal, make up a large proportion of the Areas of Stability. The ideal for the Areas of Stability is to identify and maintain the valued character of an area while accommodating the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects. The concept of stability and growth is specifically designed to enhance the unique qualities of older neighborhoods that are looking for new ways to preserve their character and quality of life. The concept of stability and growth is specifically designed to enhance the unique qualities of older neighborhoods that are looking for new ways to preserve their character and quality of life.

ANALYSIS OF SURROUNDING AREA: The subject tract is South of the SW/c of E. 15th St. S. and S. Norfolk Ave.

6.2

STAFF COMMENTS: The applicant is requesting a Special Exception to allow an Accessory Dwelling Unit in an RS-3 district (Sec.45.031); Variance to allow a detached accessory building in the side setback and to allow more than 30% coverage by a Detached Accessory Dwelling Unit and Garage in the rear setback in an RS-3 District (Section 90.090-C, Table 90-1, Table 90-2); Variance to allow the aggregate floor area of Detached Accessory Dwelling Units/Accessory Buildings to exceed 500 square feet or 40% of the floor area of the principal residential structure (Section 45.030-A.2, 45.031-D.6)

Included in your packet are Sections 45.030 and 45.031 relating to regulations for Accessory Buildings and Accessory Dwelling Units.

Table 90-1: Permitted Setback Obstructions in R Zoning Districts

Obstruction	Setback		
	Street	Side	Rear
Accessory buildings (see also <u>§90.090-C2</u>)	No	No	Yes

Table 90-2: Accessory Building, Including Accessory Dwelling Units, Coverage Limits in Rear Setback

Zoning District	Maximum Coverage of Rear Setback
RS-1 and RE Districts	20%
RS-2 District	25%
RS-3, RS-4, RS-5 and RD Districts	30%
RM zoned Lots Used for Detached Houses or Duplexes	30%

Proposed accessory building is to be 3' from side lot lines, side setback per the zoning code is 5'.

Proposed accessory building is 1,658 square feet, zoning code limits it to 1,256 square feet.

Proposed accessory building covers 918 (76.5%) square feet of the rear setback, the zoning code limits the rear yard coverage to 360 (30%) square feet.

STATEMENT OF HARDSHIP:

1. Residence is within HP district and the houses, and lots are old and small.
2. HP approved.
3. There is an existing old ADU that will be demoed to build this new one with an enclosed garage.
4. New ADU is 968 sf and the garage portion is 690 sf (total 1,658 sf). We request a variance to allow the square feet which together is over the 40% (1,256 sf) of the principal structure floor area.
5. Very little room is in the rear yard and if current setback requirements are met, there would be no yard remaining and no room to maneuver into garage.
6. Fences are 6-0' and not in the street setback.

SAMPLE MOTION:

Special Exception:

Move to _____ (approve/deny) a **Special Exception** to allow an Accessory Dwelling Unit in an RS-3 district (Sec.45.031)

- Per the Conceptual Plan(s) shown on page(s) _____ of the agenda packet.
- Subject to the following conditions (including time limitation, if any):
_____.

The Board finds that the requested Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

Variance

Move to _____ (approve/deny) a **Variance** to allow a detached accessory building in the side setback and to allow more than 30% coverage by a Detached Accessory Dwelling Unit and Garage in the rear setback in an RS-3 District (Section 90.090-C, Table 90-1, Table 90-2); **Variance** to allow the aggregate floor area of Detached Accessory Dwelling Units/Accessory Buildings to exceed 500 square feet or 40% of the floor area of the principal residential structure (Section 45.030-A.2, 45.031-D.6)

- Finding the hardship(s) to be _____.
- Per the Conceptual Plan(s) shown on page(s) _____ of the agenda packet.
- Subject to the following conditions _____.

In granting the **Variance** the Board finds that the following facts, favorable to the property owner, have been established:

a. That the physical surroundings, shape, or topographical conditions of the subject property would result in unnecessary hardships or practical difficulties for the property owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;

b. That literal enforcement of the subject zoning code provision is not necessary to achieve the provision's intended purpose;

c. That the conditions leading to the need of the requested variance are unique to the subject property and not applicable, generally, to other property within the same zoning classification;

d. That the alleged practical difficulty or unnecessary hardship was not created or self-imposed by the current property owner;

e. That the variance to be granted is the minimum variance that will afford relief;

f. That the variance to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property; and

g. That the variance to be granted will not cause substantial detriment to the public good or impair the purposes, spirit, and intent of this zoning code or the comprehensive plan."



Facing South on Norfolk



Facing North on Norfolk



Subject Property

supporting structure (excluding any guy lines) to the nearest point on the residential zoning district boundary line, excluding R-zoned freeways.

Section 45.030 **Accessory Buildings and Carports in R Districts**

45.030-A Accessory Building Size

1. RE and RS-1 Districts

In RE and RS-1 districts, the total aggregate floor area of all detached accessory buildings, including accessory dwelling units, and accessory buildings not erected as an integral part of the principal residential building may not exceed 750 square feet or 40% of the floor area of the principal residential structure, whichever is greater. [1]

2. RS-2, RS-3, RS-4, RS-5 and RM Districts

In RS-2, RS-3, RS-4, RS-5 or RM, zoned lots used for detached houses or duplexes, the total aggregate floor area of all detached accessory buildings, including accessory dwelling units, and accessory buildings not erected as an integral part of the principal residential building may not exceed 500 square feet or 40% of the floor area of the principal residential structure, whichever is greater. [1]

[1] For detached accessory buildings, including accessory dwelling units, located within rear setbacks see §90.090-C2.

45.030-B Carports

Carports are allowed in R zoning districts. Any carport that occupies all or a portion of the street setback or street yard area must be approved in accordance with the special exception procedures of Section 70.120 and comply with the regulations of Section 90.090-C1.

Section 45.031 **ADU, Accessory Dwelling Units in R, AG, and AG-R Districts**

Section 45.031-A Definition

A dwelling unit that is located in an accessory building on the same lot as a detached house to which it is accessory and subordinate.

Examples of ADUs include carriage houses, garage apartments, and mother-in-law flats.

Section 45.031-B Purpose

1. The purpose of allowing accessory dwelling units within R, AG, and AG-R districts is to:
 - a. accommodate new housing units while preserving the character of existing neighborhoods;
 - b. allow efficient use of the city's existing housing stock and infrastructure;
 - c. provide housing options and choices that respond to varying income levels, changing household sizes and lifestyle needs; and

- d. provide a means for residents—particularly seniors, single parents, and empty-nesters—to remain in their homes and neighborhoods, and obtain extra income, security, companionship and assistance.
2. The ADU supplemental regulations are also intended to help ensure that that new buildings and modifications to existing buildings are designed with sensitivity to their context in terms of building placement, proportions, building materials, and similar design features.

Section 45.031-C Applicability

These regulations apply to all accessory dwelling units, as defined by Section 45.031-A.

Section 45.031-D Regulations

1. Where Allowed

Accessory dwelling units are allowed by special exception in RE, RS, AG, and AG-R districts on lots occupied by a detached house. Accessory dwelling units are allowed by right in RD, RT, RM and RMH districts on lots occupied by a detached house.

2. Number

No more than one accessory dwelling unit is allowed per lot.

3. Methods of Creation

An accessory dwelling unit may be created only through the following methods:

- a. Constructing an accessory dwelling unit on a lot with a new or existing detached house; or
- b. Converting or increasing existing floor area within an accessory building on a lot with an existing detached house.

4. Density (Minimum Lot Area and Lot Area per Unit)

No additional lot area or lot area per unit is required for the accessory dwelling unit.

5. Open space (Minimum open space per unit)

No additional open space is required for the accessory dwelling unit.

6. Accessory Dwelling Unit Size

a. RE and RS-1 Districts

In RE and RS-1 districts, the total aggregate floor area of all detached accessory buildings, including accessory dwelling units, may not exceed 750 square feet or 40% of the floor area of the principal residential structure, whichever is greater. [1]

b. RS-2, RS-3, RS-4, RS-5, and RM Districts

In RS-2, RS-3, RS-4, RS-5 or RM zoned lots used for detached houses, the total aggregate floor area of all detached accessory buildings, including accessory dwelling units, may not exceed 500 square feet or 40% of the floor area of the principal residential structure, whichever is greater. [1]

[1] For detached accessory buildings, including accessory dwelling units, located within rear setbacks, see Section 90.090-C2.

7. Building and Fire Codes

All accessory dwelling units are subject to applicable building and fire codes.

8. Additional Regulations for Accessory Dwelling Units

a. Entrances

Building entrances to accessory dwelling units may not face the nearest side or rear property line unless there is an alley abutting that property line.

b. Setbacks

An accessory dwelling unit must be located at least 10 feet behind the detached house. This required 10-foot separation distance must be open from the ground to the sky except that it may include walkways, patios, decks and similar structures that do not exceed 30 inches in height above finished grade.

c. Exterior Finish Materials

The exterior finish material of any new accessory dwelling unit must be the same or visually match in type, size and placement, the exterior finish material of the detached house.

d. Roof Pitch

The roof pitch any new accessory dwelling unit must be the same as the predominant roof pitch of the principal building.

Section 45.040 Compressed Natural Gas (CNG) Refueling Appliances

Private (restricted access), consumer-oriented (home), CNG refueling appliances are permitted as an accessory use to lawfully established household living uses in all zoning districts.

Section 45.050 Dumpsters

45.050-A Regulations

Dumpsters established or placed on or after the effective date specified in [Section 1.030](#) are subject to the following regulations:

1. Dumpsters may only be placed with the written permission of the owner of the subject property.
2. Dumpsters must be located on a dustless, all-weather surface.
3. Dumpsters may not:
 - a. Obstruct motorized or non-motorized traffic;

The Special Exception of the required 110 percent distance from an R district was not needed due to the change of location of the site.

A tract of land lying in and being part of Lot 3 and the Northwest Quarter (NW/4) of the Southeast Quarter (SE/4) of Section 33, Township 20 North, Range 12 East of the Indian Meridian as described in Book 326, Page 167, Deed Records of Osage County, Oklahoma; Said tract being more particularly described as follows:

Commencing at a mag nail found for the Southwest corner of said SE/4; Thence N 88°28'27" E on the South line of said SE/4, a distance of 1112.89 feet to a point on said South line; Thence N 01°31'33" W perpendicular to said South line, a distance of 626.12 feet to a 1/2" iron rod with cap set for the Southwest corner, said corner being the Point of Beginning; Thence N 01°27'23" W a distance of 43.00 feet to a 1/2" iron rod with cap set for the Northwest corner; Thence N 89°36'43" E a distance of 25.00 feet to a 1/2" iron rod with cap set for the Northeast corner; Thence S 01°27'23" E a distance of 43.00 feet to a chiseled "X" set for the Southeast corner; Thence S 89°36'43" W a distance of 25.00 feet to the Point of Beginning, containing 1,075.00 square feet or 0.025 acres, more or less, City of Tulsa, Osage County, State of Oklahoma

NEW APPLICATIONS

Case No. 20277

Action Requested:

Variance of the minimum lot width, lot area and land area in the RS-3 district; and a Variance of the side yard requirement for an accessory building in the RS-3 district; to permit a lot split and conveyance of property, located: 1538 and 1544 South Norfolk Avenue.

Presentation:

Peter Brolick, 502 West 6th, represented Barbara McKinnis, the land owner.

Comments and Questions:

Mr. Dunham understood this request was to clear the title only, not to change anything. Mr. Brolick stated that a survey was done in 1978, which showed the fence was two feet over the property line. They went to litigation, it was settled and all agreed the fence should remain there.

Interested Parties:

David W. Warta, 100 West 5th Street, represented Andrea Mogab, the home owner at 1538 South Norfolk. He stated they are in support of this application. The new property line is acceptable.

Comments and Questions:

The Board members questioned him regarding the court case. Mr. Warta stated they agreed to settle the matter through the Board of Adjustment. Mr. Brolick explained they would present the results of this application and their agreement to the judge and it will be completed.

Board Action:

On **Motion of Stead**, the Board voted 5-0-0 (Dunham, Stephens, Henke, Stead, Tidwell "aye"; no "nays"; no "abstentions"; no "absences") to **APPROVE** a Variance of the minimum lot width, lot area and land area in the RS-3 district; and a Variance of the side yard requirement for an accessory building in the RS-3 district; to permit a lot split and conveyance of property, finding the neighborhood, established in the early 1900's is a legal non-conforming matter and the variances are needed to permit the lot-split and clear the title; by reason of extraordinary or exceptional conditions or circumstances which are peculiar to the land, structure or building involved, the literal enforcement of the terms of the Code would result in unnecessary hardship; that such extraordinary or exceptional conditions or circumstances do not apply generally to other property in the same use district; and that the variances to be granted will not cause substantial detriment to the public good or impair the purposes, spirit, and intent of the Code, or the Comprehensive Plan, per survey, on the following described property:

Lot 5 and Lot 6; Block 15; MORNINGSIDE ADDN, City of Tulsa, Tulsa County, State of Oklahoma

Case No. 20278

Action Requested:

Variance of the required 100 ft. of frontage on an arterial street in the OM district to 75 ft., located: 7315 South Lewis.

Presentation:

David Dryer, 5110 South Yale Avenue, Suite 430, represented the buyer on the subject property. It was discovered there was not sufficient frontage and they considered rezoning but determined the lot-split would be better. He did not expect it to have an impact on the marketability or ability to sell and it would be the same or similar structure as on the new lot-split area.

Case No. 13430 (continued)

Protestants:

Walene Smith, 1120 North Canton, Tulsa, Oklahoma, represented the protestants and submitted a petition of protest (Exhibit "Q-2"). Photographs of the subject property were also submitted (Exhibit "Q-3").

Letters of protest were submitted from Tilene Nabors, 1115 North Canton, Tulsa, Oklahoma (Exhibit "Q-4"); Miss Blanche Ruppel, 1108 North Canton, Tulsa, Oklahoma (Exhibit "Q-5"); and Mr. and Mrs. Mervin J. Smith, 1120 North Canton, Tulsa, Oklahoma (Exhibit "Q-6").

Other protestants present were: Arlene Nabors, 1115 North Canton; Jeane Goins, 1215 North Allegheny; Arlene Willis, 1242 North Fulton; Wesley McDorman, 1244 North Darlington Street; R. Nelson Wilkins, 1124 North Canton; Madeline Breshears Lambert, 1127 North Canton; Pam Jackson, 1131 North Canton; and Flory Mae Lawson, 1219 North Canton.

Board Action:

On MOTION of VICTOR and SECOND by CLUGSTON, the Board voted 3-0-1 (Chappelle, Smith, Victor, "aye"; no "nays"; Clugston, "abstaining"; Purser, "absent") to DENY a Special Exception (Section 420—Accessory Uses in Residential Districts—Under the provisions of Use Unit 1206) for a home occupation to allow auto repair and body work in an RS-3 zoned district; on the following described property:

Lot 18, Block 4, Yale Terrace Addition to the City of Tulsa, Tulsa County, Oklahoma.

Additional Comments:

In answer to a question, Mr. Jackere informed that Mr. Brown has ten days to file an appeal to District Court with the City of Tulsa. If an appeal is not filed, the City will take action to remove the use.

Case No. 13431

Action Requested:

Variance—Section 420.2—Accessory Uses in Residential Districts—Use Unit 1206—Request a variance of the 3' setback to 0' to allow an addition to an existing detached accessory building in an RS-3 district, located N. of NE/c of 16th Street and Madison.

Presentation:

The applicant, Walter Carlton, 1531 South Madison, Tulsa, Oklahoma, 74120, informed that the homes in his neighborhood were built in 1919, and most of the garages were placed on the lot lines. The Ordinances have changed since then, but his garage is compatible with the rest of the neighborhood. He explained that he is following a precedent that has already been set. The back of the add-on faces east. He presented pictures showing his garage and others adjacent to his that sit on the property lines (Exhibit "R-1"). He submitted a plat of survey (Exhibit "R-2") and a plot

Case No. 13431 (continued)

plan (Exhibit "R-3"). He is converting a one-car garage and apartment to a two-car garage.

Protestants:

Carolyn Sue Webb, 1525 South Madison, Tulsa, Oklahoma, informed that she lives next door to Mr. Carlton and is opposed to the application. She submitted pictures of the property line which is already crowded by several garages (Exhibit "R-4"). She also submitted a letter stating her protest (Exhibit "R-5").

Letters of protest were submitted from Grant C. Bull, Maple Ridge Association Board of Trustees (Exhibit "R-6"); and Jeff and Gail Huber, 1530 South Norfolk, Tulsa, Oklahoma (Exhibit "R-7").

Applicant's Rebuttal:

Mr. Carlton explained that the existing accessory buildings encroached the setbacks and this imposes a hardship. He informed that he wants to save as much of his yard as possible. He did not have a Building Permit when he built the accessory building, but he has applied for one.

Comments and Questions:

Mr. Victor stated that he is familiar with this area and all of the garages and accessory buildings are crowded in small areas near the back of the lots.

Mr. Clugston asked Mr. Carlton how long the existing garage has been on the property. Mr. Carlton informed that the garage was built when the house was built in 1919. The new addition is not encroaching any further than the existing garage. The north boundary line will be one foot from the property line, and Ms. Webb's garage is one inch from the property line.

Board Action:

On MOTION of VICTOR and SECOND by CHAPPELLE, the Board voted 3-1-0 (Chappelle, Clugston, Victor, "aye"; Smith, "nay"; no "abstentions"; Purser, "absent") to APPROVE a Variance (Section 420.2—Accessory Uses in Residential Districts—Under the provisions of Use Unit 1206) of the 3' sideyard setback to 1' (north) and the 3' rearyard setback to 0' (east) to allow an addition to an existing detached accessory building in an RS-3 district; finding that the variance is not inconsistent with the existing structures in the area; and finding that the variance granted will not cause substantial detriment to the public, or impair the purposes, spirit, and intent of the Code, or the Comprehensive Plan; on the following described property:

Lot 10, and North 17' of Lot 9, Block 15, Morningside Addition to the City of Tulsa, Tulsa County, Oklahoma.

1.10.85:430 (31)

Zoning Official
Plans Examiner II

TEL (918) 596-9611
@cityoftulsa.org



DEVELOPMENT SERVICES

175 EAST 2nd STREET, SUITE 450
TULSA, OKLAHOMA 74103

May 26, 2021

ZONING CLEARANCE PLAN REVIEW

LOD No. *1*

Applicant:

*David Beeson
1518 S. Norfolk Ave.
Tulsa, OK 74120*

APPLICATION NO.: *R-1072* (PLEASE REFERENCE THIS NUMBER WHEN CONTACTING OUR OFFICE)

Project Location: *1518 S. Norfolk Ave.*

Description: *ADU addition*

INFORMATION ABOUT SUBMITTING REVISIONS

OUR REVIEW HAS IDENTIFIED THE FOLLOWING CODE OMISSIONS OR DEFICIENCIES IN THE PROJECT APPLICATION FORMS, DRAWINGS, AND/OR SPECIFICATIONS. THE DOCUMENTS SHALL BE REVISED TO COMPLY WITH THE REFERENCED CODE SECTIONS.

REVISIONS NEED TO INCLUDE THE FOLLOWING:

1. A COPY OF THIS DEFICIENCY LETTER
2. A WRITTEN RESPONSE AS TO HOW EACH REVIEW COMMENT HAS BEEN RESOLVED
3. THE COMPLETED REVISED/ADDITIONAL PLANS FORM (SEE ATTACHED)
4. BOARD OF ADJUSTMENT APPROVAL DOCUMENTS, IF RELEVANT

REVISIONS SHALL BE SUBMITTED DIRECTLY TO THE CITY OF TULSA PERMIT CENTER LOCATED AT 175 EAST 2nd STREET, SUITE 450, TULSA, OKLAHOMA 74103, PHONE (918) 596-9601. THE CITY OF TULSA WILL ASSESS A RESUBMITTAL FEE. DO NOT SUBMIT REVISIONS TO THE PLANS EXAMINERS.

SUBMITTALS FAXED / EMAILED TO PLANS EXAMINERS WILL NOT BE ACCEPTED.

IMPORTANT INFORMATION

1. SUBMIT TWO (2) SETS [4 SETS IF HEALTH DEPARTMENT REVIEW IS REQUIRED] OF REVISED OR ADDITIONAL PLANS. REVISIONS SHALL BE IDENTIFIED WITH CLOUDS AND REVISION MARKS.
2. INFORMATION ABOUT ZONING CODE, INDIAN NATION COUNCIL OF GOVERNMENT (INCOG), BOARD OF ADJUSTMENT (BOA), AND TULSA METROPOLITAN AREA PLANNING COMMISSION (TMAPC) IS AVAILABLE ONLINE AT WWW.INCOG.ORG OR AT INCOG OFFICES AT 2 W. 2nd ST., 8th FLOOR, TULSA, OK, 74103, PHONE (918) 584-7526.
3. A COPY OF A "RECORD SEARCH" IS IS NOT INCLUDED WITH THIS LETTER. PLEASE PRESENT THE "RECORD SEARCH" ALONG WITH THIS LETTER TO INCOG STAFF AT TIME OF APPLYING FOR BOARD OF ADJUSTMENT ACTION AT INCOG. UPON APPROVAL BY THE BOARD OF ADJUSTMENT, INCOG STAFF WILL PROVIDE THE APPROVAL DOCUMENTS TO YOU FOR IMMEDIATE SUBMITTAL TO OUR OFFICE. (See revisions submittal procedure above.).

(continued)

6.141

REVIEW COMMENTS

SECTIONS REFERENCED BELOW ARE FROM THE CITY OF TULSA ZONING CODE TITLE 42 AND CAN BE VIEWED AT <http://tulsaplanning.org/plans/TulsaZoningCode.pdf>

Application No. R-1072

1518 S. Norfolk Ave.

May 26, 2021

Sec 70.080

1. Site plan must include dimensions of all buildings and drives. Resubmit plan with attached information and review will continue.

2. Sec 70.070 Historic Preservation Permits A. Applicability
Within any HP zoning district, an HP permit must be obtained in accordance with the procedures of this section before any work is performed on or changes are made to any existing building, structure or lot...

Review Comment: Provide HP approval with signed and sealed certificate from the HP Society.

3. Sec. 45.031 ADU, Accessory Dwelling Units in R, AG and AG-R Districts. D. Regulations 1. Where Allowed. Accessory dwelling units are allowed by special exception in RE, RS, AG and AG-R districts on lots occupied by a detached house.

Review Comments: Provide approval from the Board of Adjustment for an ADU in RS-3 zoning.

4. Sec 45.031 D 6. Accessory Dwelling Unit Size
b. RS-2, RS-3, RS-4, RS5 and RM Districts ...

may not exceed 500 square feet or 40% of the floor area of the principal residential structure, whichever is greater. Review Comment: Revise

your plans to meet requirements of this section
or get a variance from the Board of Adjustment.

5. Sec 90.090 Setbacks-A, Measurement 3. Rear
setbacks are measured from the rear lot line.

Table 90.1 Accessory buildings are allowed in
rear setbacks, 90-2 Accessory Building, including
ADU, Coverage Limits in Rear Setback, RS-3 -30%.

The proposed property exceeds 30% in the rear
setback. Reuse plan to meet requirement or
seek variance from the Board of Adjustment.

Zoning Review Continued on next page, see attached.
The zoning review will resume after these modified plans are submitted.

Note: Please direct all questions concerning variances, special exceptions, alternative landscape plans, alternative compliance parking ratios and all questions regarding (BOA) or (TMAPC) application forms and fees to an INCOG representative at 584-7526. It is your responsibility to submit to our offices documentation of any appeal decisions by an authorized decision making body affecting the status of your application so we may continue to process your application. INCOG does not act as your legal or responsible agent in submitting documents to the City of Tulsa on your behalf. Staff review comments may sometimes identify compliance methods as provided in the Tulsa Zoning Code. The permit applicant is responsible for exploring all or any options available to address the noncompliance and submit the selected compliance option for review. Staff review makes neither representation nor recommendation as to any optimal method of code solution for the project.

This letter of deficiencies covers Zoning plan review items only. You may receive additional letters from other disciplines such as Building or Water/Sewer/Drainage for items not addressed in this letter. A hard copy of this letter is available upon request by the applicant.

Please Notify Plans Examiner By Email When You Have Submitted A Revision. If you originally submit paper plans, revisions must be submitted as paper plans. If you submit online, revisions must be submitted online

END -ZONING CODE REVIEW

NOTE: THIS CONSTITUTES A PLAN REVIEW TO DATE IN RESPONSE TO THE SUBMITTED INFORMATION ASSOCIATED WITH THE ABOVE REFERENCED APPLICATION. ADDITIONAL ISSUES MAY DEVELOP WHEN THE REVIEW CONTINUES UPON RECEIPT OF ADDITIONAL INFORMATION REQUESTED IN THIS LETTER OR UPON ADDITIONAL SUBMITTAL FROM THE APPLICANT.

KEEP OUR OFFICE ADVISED OF ANY ACTION BY THE CITY OF TULSA BOARD OF ADJUSTMENT OR TULSA METROPOLITAN AREA PLANNING COMMISSION AFFECTING THE STATUS OF YOUR APPLICATION FOR A ZONING CLEARANCE PERMIT.

REVIEW COMMENTS

SECTIONS REFERENCED BELOW ARE FROM THE CITY OF TULSA ZONING CODE TITLE 42 AND CAN BE VIEWED AT <http://tulsaplanning.org/plans/TulsaZoningCode.pdf>

Application No. ~~Rev 1077~~ cont.

6, Sec 45.080 A - Fences and walls within required building setbacks may not exceed 8 feet in height, except in required street setbacks fences may not exceed four feet in height. Review Comment: Revise plan to meet requirements or seek a variance from the Board of Adjustment.

END OF REVIEW

Commercial review

Sec.70.080-C: Site Plan for zoning review.

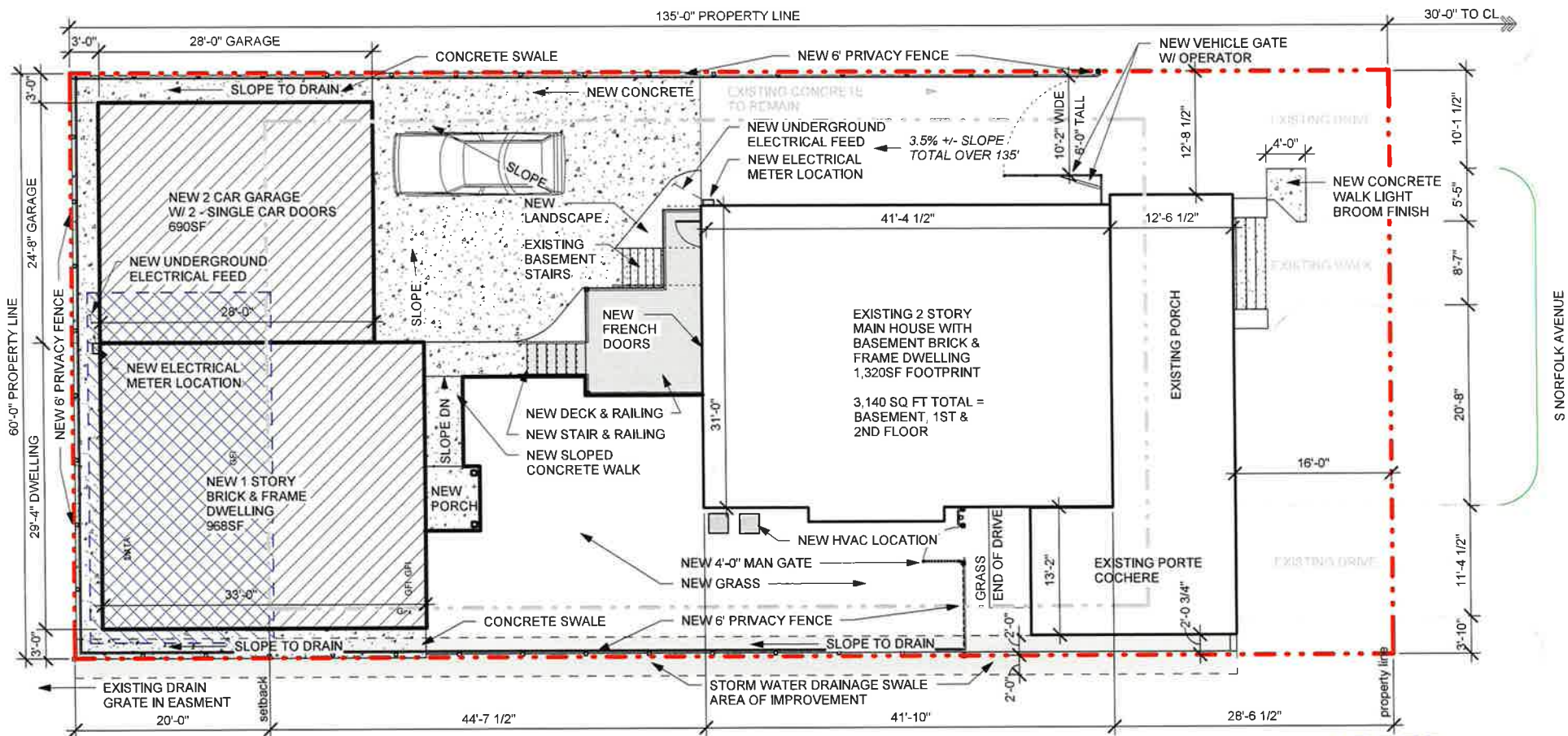
- North arrow
- Appropriate drawing scale;
- Legal description of the lot;
- Actual shape and dimensions of the lot;
- Lot lines and names of abutting streets;
- Public rights-of-way;
- * The location and dimensions of existing buildings or structures, including distances to lot lines;
- * The location, dimensions and height of proposed buildings or structures;
- Architectural projections for existing and proposed buildings and structures, i.e. stairs, porches, balconies, fireplaces, roof overhangs, etc.;
- * The intended use of existing and proposed buildings, structures or portion of the lot; *mother-in-law, garage*
- * The setbacks from the proposed new buildings or structures and alterations of existing buildings or structures to the centerline of abutting Right-of-Way;
- * Location and dimensions of parking areas. This includes the parking spaces, the maneuvering areas necessary to enter and exit the spaces and the drives providing access to the parking spaces and maneuvering areas from a public or private street or other parking areas.



David & Christine Beeson Residence
1518 South Norfolk Avenue
Tulsa, Oklahoma 74120

Site showing current drainage paths

6.19



LEGAL DESCRIPTION:

LOT TWO (2), BLOCK TWENTY-ONE (21), SECOND AMENDED PLAT OF MORNINGSIDE ADDITION TO THE CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF, AND KNOWN AS 1518 SOUTH NORFOLK AVENUE.



David & Christine Beeson Residence
1518 South Norfolk Avenue
Tulsa, Oklahoma 74120

Site Plan
1" = 10'-0"

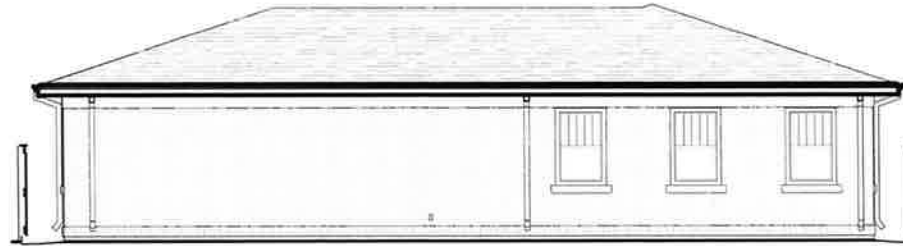
6.20



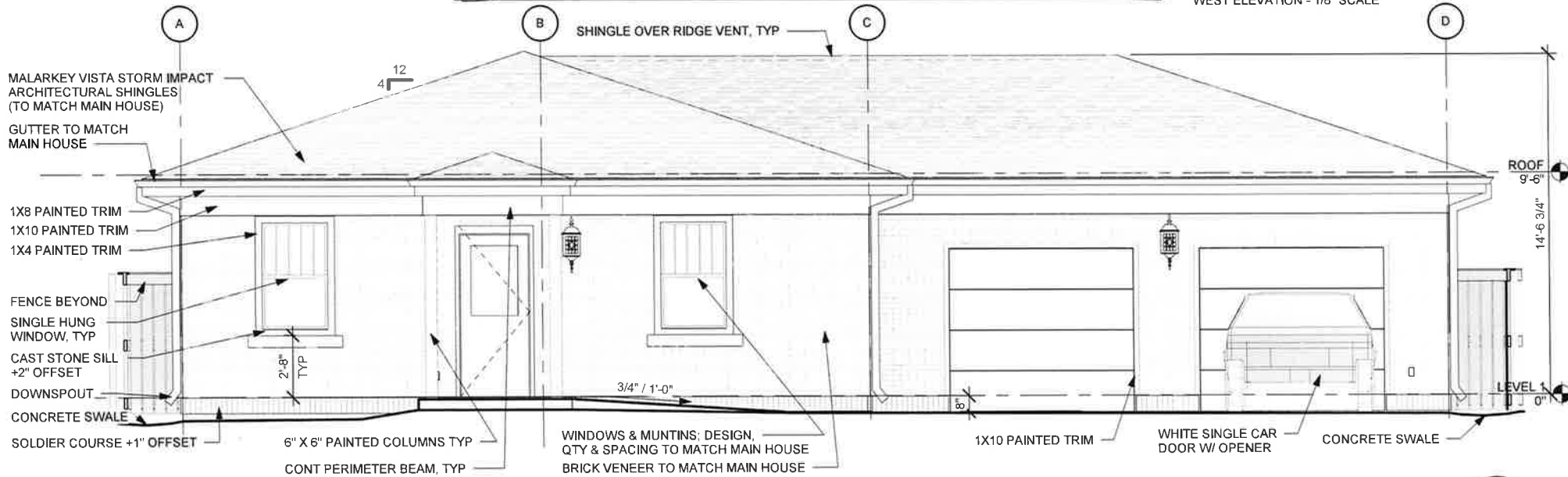
SOUTH ELEVATION - 1/8" SCALE



NORTH ELEVATION - 1/8" SCALE



WEST ELEVATION - 1/8" SCALE



David & Christine Beeson Residence
 1518 South Norfolk Avenue
 Tulsa, Oklahoma 74120

EAST ELEVATION EXTERIOR

1/4" = 1'-0"

6.21



David & Christine Beeson Residence
1518 South Norfolk Avenue
Tulsa, Oklahoma 74120



Site showing adjacent structures on all sides

6.22

ANNOTATION LEGEND

TITLE	VIEW TITLE
(A1)	NEW TITLE
(A1)	BUILDING ELEVATION
(A1)	INTERIOR ELEVATION
(A1)	BUILDING SECTION
(A1)	WALL SECTION
(A1)	DETAIL
ROOM NAME	ROOM NAME & NUMBER
101A	DOOR NUMBER
A	WINDOW TYPE
A2	WALL TYPE NUMBER & STUD SIZE
LEVEL	ELEVATION
(2'-00")	CEILING HEIGHT (AFF)
(A)	COLUMN GRID
(A)	NORTH ARROW

LEGAL DESCRIPTION:
 LOT TWO (2) BLOCK TWENTY-ONE (21) SECOND AMENDED PLAT OF MOHAWK CREEK ADDITION TO THE CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA ACCORDING TO THE RECORDED PLAT THEREOF, AND KNOWN AS 1518 SOUTH NORFOLK AVENUE.

PROJECT DESCRIPTION:
BRICK HOUSE:
 RECONSTRUCTION OF THE CURRENT ONE STORY BRICK HOUSE AND NEW CONSTRUCTION OF A ONE STORY BRICK HOUSE (MOTHER-IN-LAW QUARTERS) MATCHING THE MAIN HOUSE IN DESIGN AND DETAILS THAT MATCHES THE HISTORIC NORTH BRICK & REDS. LOOK AND FEEL, USING MATCHING MATERIALS AND FINISHES.
 NEW BRICK HOUSE = 888 SQ FT & 888 SQ FT GARAGE - ACCESSORY DWELLING UNIT (ADU).
 HISTORIC OVERLAY DOES NOT APPLY TO ACCESSORY DWELLING UNITS AND HISTORIC ZONING DOES NOT APPLY. STRUCTURE DOES NOT SET ON STREET FRONT FACE.
 ALL CURRENT SETBACKS, BUILDING & ACCESSIBILITY CODES APPLY AND ARE MET.

PROJECT DESCRIPTION:
BRICK HOUSE:
 EXISTING MAIN HOUSE = 1948 SQ FT - BASEMENT, 1ST FLOOR & 2ND FLOOR, EST 1918.
 ALL WORK PERFORMED WILL COMPLY WITH HISTORIC ZONING AND OVERLAYS. ALL PLANNED WORK FOR REPLACEMENT OF ROTTEN OR WEATHED PLYWOOD SIDING AND REPAIRING OF EXISTING WINDOWS, RAISED AND SLOTTED SOUTHERN PLANNED ALUMINUM SUTTERS ON REAR OF MAIN HOUSE ONLY.
 TWO WINDOWS WILL BE REPLACED WITH DOORS ON THE REAR OF THE MAIN HOUSE TO PROVIDE ACCESS TO NEW REAR DECK.
 NEW DECK THAT SITS ON THE BACK OF THE MAIN HOUSE, DECK WILL HAVE STEPS THAT LEAD TO NEW GARAGE AND BACK HOUSE. DECK WILL HAVE A REMOVABLE SUN SHADE.
 NEW FENCE - DRIVE GATE AND WALK GATE, STARTING AT MID PROPERTY GOING BACK, ENCLOSING THAT PORTION OF THE LOT.
 REMOVAL OF BACK CONCRETE DRIVE. THE ENTIRE LOT AT ONE TIME WAS COVERED IN CONCRETE THAT WILL BE REMOVED WITH SOIL LANDSCAPE AND THE BACK HOUSE IMPROVE SITE DRAINAGE OF THIS AND THE NEIGHBORING PROPERTIES, TO THE CITY STORM DRAIN IN BACK LASEMENT.

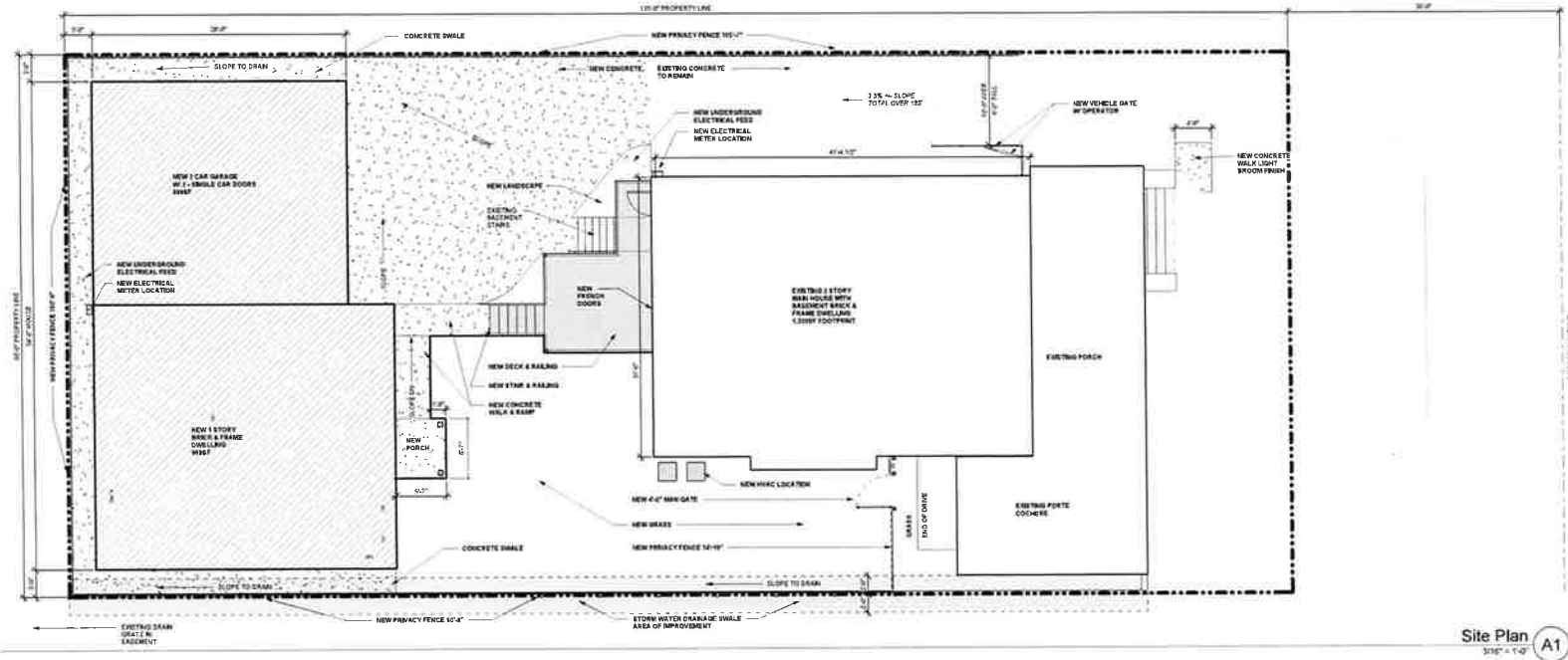
GENERAL ARCHITECTURAL NOTES

- EXTERIOR FINISHES SHALL BE TO THE EXTREMITY FACE OF FRAMING STUDS. DIMENSIONS TO EXTERIOR FINISHES ARE TO THE FACE OF STUDS UNLESS NOTED OTHERWISE.
- LARGE SCALE DETAILS AND PLANT THE PROCEEDURE OVER SHALL BE AS DRAWING. ALL ITEMS ARE CONSIDERED TO BE WHAT IS INDICATED OTHERWISE.
- COORDINATE AND VERIFY ALL DIMENSIONS, OVERLAYS AND CONDITIONS WITH CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL AND ALL OTHER TRADE DRAWINGS AND TRADES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF DISCREPANCIES AS SOON AS POSSIBLE.
- DO NOT SCALE DRAWINGS.
- ALL DETAILS ARE TYPICAL AND VARIATIONS AND PRODUCT OF APPROPRIATE LOCATIONS WHETHER SPECIFICALLY INDICATED OR NOT.
- HOUSE USE OF ALL DOORS AND WINDOWS TO BE 2 STUDS FROM FINISH WALL UNLESS NOTED OTHERWISE.
- THE DRAWINGS & SPECIFICATIONS ARE COMPLEMENTARY DOCUMENTS. WHETHER THEY PRESENT IN THE OTHER COMPLETS IN SPECIFICATIONS AND DRAWINGS SHALL BE SUBJECT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- THIS SET OF DRAWINGS INDICATES GENERAL SCOPE OF THE PROJECT. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DETAIL ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE EQUIPMENT OF THE CONTRACT. ON BASIS OF SCOPE INDICATED OR SPECIFIED, CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR PROPER EXECUTION AND COMPLETION OF THE WORK.
- ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF APPLICABLE LOCAL, STATE, AND FEDERAL CODES OF REGULATIONS.
- ALL NEW CONSTRUCTION SHALL MEET CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND UTILITIES BEFORE PROCEEDING WITH TYPICAL, TRENCHING, OR SIMILAR WORK. THE DRAWINGS DO NOT CERTIFY THE EXISTENCE OF UTILITIES WHICH MAY BE PRESENT BUT UNDETECTED OR UNDETERMINED.
- ALL SUBSTITUTIONS OF MATERIALS AND CONDITIONS MUST BE APPROVED BY ARCHITECT IN ACCORDANCE WITH STANDARD CONTRACT CONDITIONS.
- ALL FINISH SURFACES AND COMPONENTS TO BE COVERED UNLESS OTHERWISE INDICATED. ALL EXTERIOR COMPONENTS TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. ALL SURFACE COMPONENTS AND COMPONENTS SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AS REQUIRED BY THE OWNER'S REPRESENTATIVE.
- THE FINISH IS PROVIDED BY OTHERS AND IS ALLOWED FOR INFORMATION ONLY. ALL CONDITIONS TO BE FIELD VERIFIED BY CONTRACTOR.
- CONTRACTOR SHALL MAINTAIN SITE DRAINAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN ALL EGRESS AND EGRESS AS REQUIRED BY DIVISION 10. VERIFY THE FOLLOWING: FACILITIES AND THE RESPECTIVE TRADES.
- VERIFY THE FOLLOWING: FACILITIES AND THE RESPECTIVE TRADES: AND ON SITE EQUIPMENT.
- CUTTING AND PATTERNS FOR WORK REQUIRED BY MECH. AND/OR ELEC. SHALL BE PROVIDED BY ARCHITECT AND SHALL BE FIELD VERIFIED BY CONTRACTOR.
- EXPLORE END OF ALL PRESIDENTS ELEMENTS (SLOPE FALL, SLOPE) & FINISH COMPONENTS FABRICATED IN METAL, STONE & OTHER MATERIALS SHALL BE FINISHED SAME AS FACE.



SHEET INDEX

Sheet Number	Sheet Name	PERMIT SET	DATE
A1	COVER SHEET & SITE PLAN		15 MAY 2021
A2	FLOOR PLAN		
A3	FOUNDATION PLAN		
A4	WALL PLAN		
A5	ROOF PLAN		
A6	EXTERIOR ELEVATIONS		



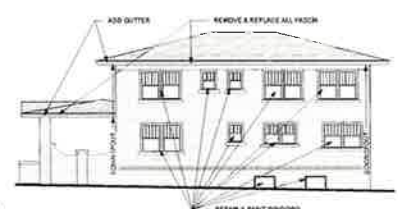
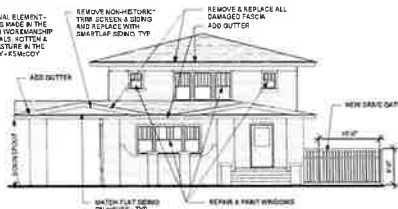
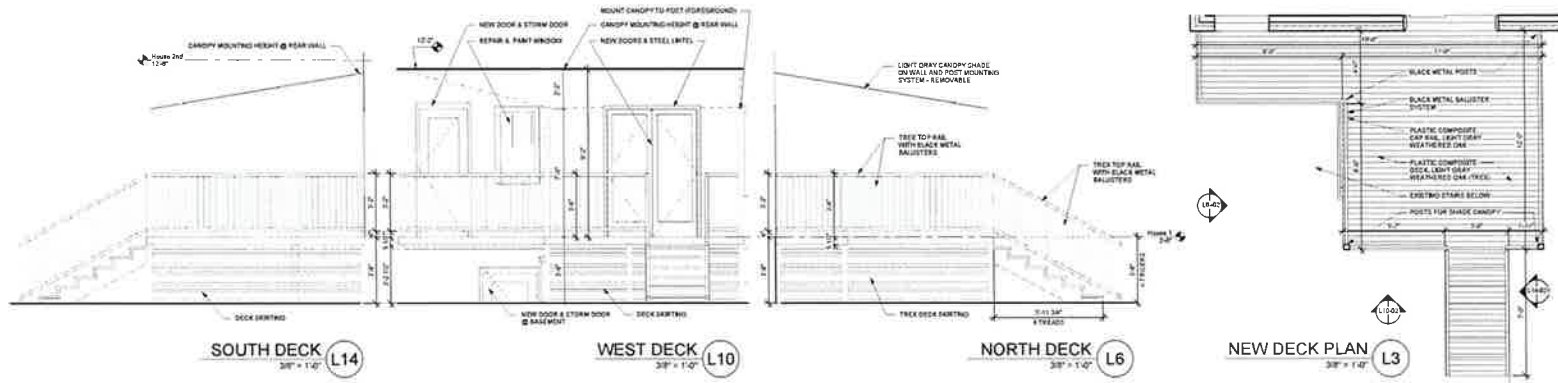
6.23

Site Plan
 1/8" = 1'-0" (A1)

Christine & David Beeson Residence
 1518 South Norfolk Avenue
 Kelly & Kimberly McCoy
 9 March 2021

Christine & David Beeson Residence
 1518 South Norfolk Avenue

ISSUED: PERMIT SET
 DATE: 15 MAY 2021
 SCALE: As indicated
 SHEET NAME: COVER SHEET & SITE PLAN
 SHEET NUMBER: A-001



- HVAC DEMO NOTES:**
- REMOVE ALL LOW ATTIC MOUNTED HVAC SYSTEM GAS FIRED, FUEL EFFICIENT (HSPA) SET CONDENSER COILS AND REMOVE ON CONC PAD
 - REMOVE ALL REFRIG FROM HOV
 - REMOVE EXISTING AIR THRU ROOF
 - REMOVE EXISTING AIR THROUGH ROOF
 - REMOVE EXISTING AIR THROUGH ROOF
 - REMOVE EXISTING AIR THROUGH ROOF
 - REMOVE EXISTING AIR THROUGH ROOF

- GATE NOTES:**
- NEW AUTOMATIC OPERATED DRIVE GATE TO HAVE 1" SO TUBE VERTICAL PICKETS WITH 1" SO TUBE TOP PICKETS
 - DRIVE GATE OPERATOR - REMOTE OR LOCAL WITH 4 REMOTE CONTROL KEY Fobs
 - MAN GATE TO HAVE 1" SO TUBE OUTER FRAME WITH 1" SO TUBE PICKETS ON CENTER
 - MAN GATE TO HAVE LOCKING HANDLE

- FENCE NOTES:**
- REMOVE ALL OLD FENCE ON NORTH, SOUTH AND WEST SIDES
 - ADD NEW WOOD OR TRICK FENCE WHERE SHOWN ON PLAN
 - ADD HOOD MAN OR TRICK FENCE
 - ADD 1/2" X 1/2" X 1/2" METAL DRIVE GATE & OPERATOR WHERE INDICATED
 - NEW FENCE TO BE 4" WOOD WITH METAL POSTS
 - WOOD JOINTS OF FENCE TO BE REJOINED PROPERLY
 - APPROPRIATE DRAINAGE AT TRICK FENCE LINE
- INSULATION NOTES:**
- PROVIDE SPRAY FOAM INSULATION ON THE UNDERSIDE OF THE FIRST FLOOR WHERE NOT OVER THE BASEMENT
 - REMOVE ATTIC INSULATION TO MATCH WHAT IS LEFT IN THE BACK HOUSE.

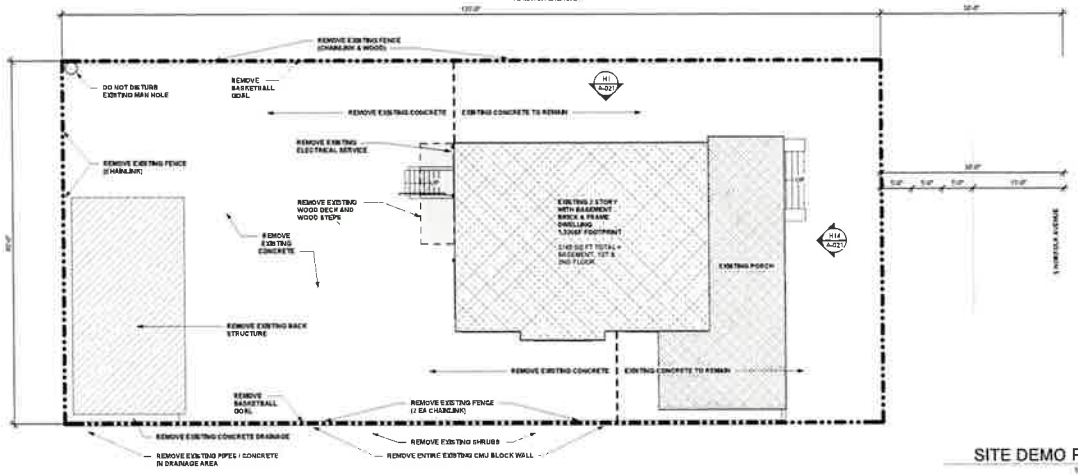
- ELECTRICAL NOTES:**
- REMOVE ALL OLD ELECTRICAL SERVICE AND MAIN
 - REPLACE WITH NEW UNDERGROUND SERVICE
 - REPLACE MAIN SERVICE BOX AND WITERS
 - REPLACE MAIN PANEL IN BASEMENT
- HVAC NOTES:**
- NEW SPLIT HVAC SYSTEM ON MAIN HOUSE
 - NEW HVAC TO HAVE SEPARATE SYSTEM FOR BASEMENT AND FIRST FLOOR COVERING WITH THE EXISTING FLOOR EXCEPT THE REFRIG. CONDENSER AND GAS LINE
 - NEW PROGRAMMABLE THERMOSTATS
 - ROUTE LINES IN CRAWL SPACE UNDER FLOOR AND IN VERTICAL CHASE IN HOUSE

- OUTTER & DOWNSPOUTS NOTES:**
- REMOVE ALL OLD GUTTERS AND DOWNSPOUTS
 - INSTALL NEW GUTTERS TO NEW PRIME AND PAINTED FASCIA ONLY
 - OUTLET TO BE SHOWN ON ELEVATIONS
 - DOWNSPOUTS TO BE SHOWN ON ELEVATIONS
 - GUTTER FINISH TO MATCH FASCIA WHITE PAINT FINISH. SAMPLE AVAILABLE
- PART NOTES:**
- SCRAPE AND PAINT ALL OLD WOOD EXISTING TO RE-MAN
 - PRIME AND PAINT NEW WOOD
 - SCRAPE ALL PAINTED SURFACES TRIM, SHOFF, FASCIA, DOORS
 - REMOVE PAINT SPLATTERS FROM BRICK
- FASCIA & TRIM NOTES:**
- REPLACE SLAT FINISH OR TRIM BOARD USE EXACTLY THE SAME SIZE AND THICKNESS TO MATCH EXISTING
 - REPLACE TRIM WITH EXACT PROFILE. WILL NEED 1/2" NECESSARY TO MATCH EXISTING

- WINDOW NOTES:**
- REPAIR AND PAINT ALL WINDOWS
 - REMOVE STORM WINDOW IF NECESSARY TO MAKE REPAIRS ON GLAZING OR SASH
 - REPLACE GLAZING WHERE CRACKED
 - REPAIR TRIM WHERE NECESSARY
 - GLAZING MATERIALS TO BE USED
 - PRIME AND PAINT WOOD
 - REPAIR INTERIOR SURFACES WHERE NECESSARY
 - REPLACE STORM WINDOW IF SASH DAMAGED
- DECK NOTES:**
- REMOVE ALL OLD DECK
 - ADD NEW DECK AND STAIRS AS SHOWN ON PLANS
 - ADD NEW BASKETBALL SHREYER IF REQUIRED
- DEMOS NOTES:**
- PERMISSION FROM NEIGHBORS TO THE NORTH AND SOUTH HAS BEEN OBTAINED FOR WORK TO HAPPEN ON THEIR PROPERTY WITHIN REASON, WORK IS FOR DEMO OF OLD FENCING AND FENCE WITHIN PROPERTY LINE
- DEMOS EXISTING FENCE AND FOOTING
- DEMOS BASKETBALL GOALS AND FOOTING
- DEMOS EXISTING FENCE AND SHOOTING
- DEMOS BACK WOOD DECK
- DEMOS ALL ASSOCIATED SHREYER IF REQUIRED



MAIN HOUSE WEST ELEVATION DETAIL



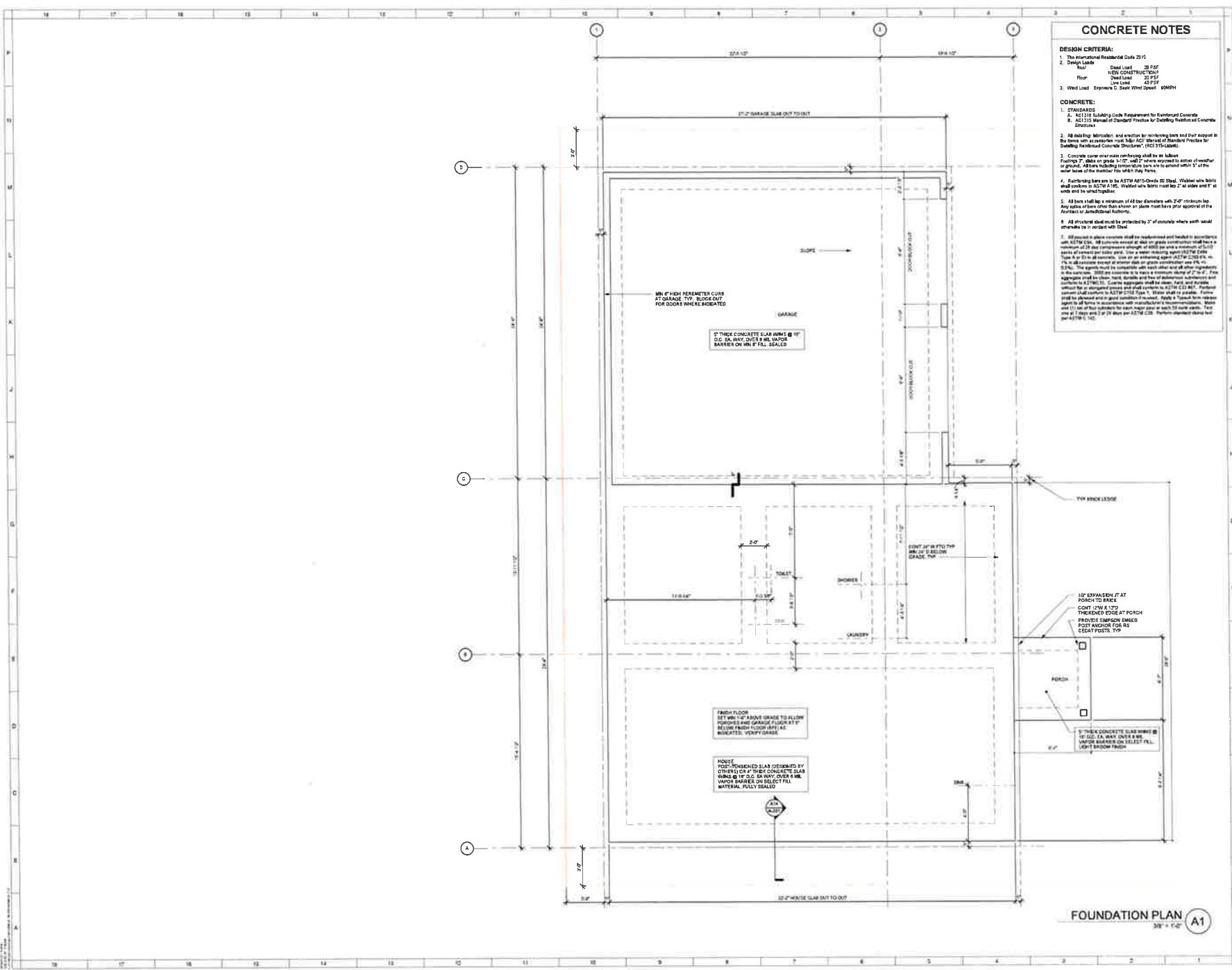
Christine & David Beeson
Residence
1518 South Norfolk Avenue

ISSUED: PERMIT SET
DATE: 15 MAY 2021
SCALE: As Indicated
SHEET NAME: SITE DEMO & ADDITIONAL MAIN HOUSE WORK
SHEET NUMBER:

A-021

6.24

6.25



CONCRETE NOTES

DESIGN CRITERIA:

- The International Residential Code 2015
- Design Loads:
 Roof: Dead Load 20 PSF
 Floor: FLOOR CONSTRUCTION Dead Load 20 PSF
 Live Load 50 PSF
 Wind Load: Exposure C, Basic Wind Speed 100MPH

CONCRETE:

- STANDARDS:
 a. ACI 318I Building Code Requirements for Reinforced Concrete
 b. ACI 315 Manual of Standard Practice for Casting Reinforced Concrete Structures
- All slab top reinforcement and elevation for reinforcing bars and their support in the forms with exception must follow ACI Manual of Standard Practice for Casting Reinforced Concrete Structures (ACI 318I-16).
- Concrete cover over main reinforcing shall be as follows:
 Footings 2" above or grade 1-1/2" wall 2" where exposed to action of weather or ground. All bars including reinforcement bars are to extend within 3" of the main face of the member they serve they serve.
- Reinforcing bars are to be ASTM A615-Grade 60 Steel. Wallbar who bars shall conform to ASTM A 95. Welded wire fabric must lap 2' at sides and 1' at ends and be wind-tight.
- All bars shall lap a minimum of 48 bar diameters with 24" minimum lap. Any splices of bars other than shown on plans must have prior approval of the Architect or Jurisdictional Authority.
- All structural steel must be protected by 3" of concrete where earth loads are applicable to or contact with them.
- All rebar in slabs or columns shall be lap-spliced and lapped in accordance with ASTM C 881. All columns except at slab on grade construction shall have a minimum of 25 bar diameters except at slab on grade construction shall have a minimum of 12 bar diameters per code req. Use a water-reducing agent (ASTM C 494, Type A or B) in all concrete. Use an air-entraining agent (ASTM C 260, Type I) in all concrete except at exterior slab on grade construction use 1% air. The amount shall be consistent with each other and all other ingredients in the concrete. The concrete shall be tested at intervals. Bar or 2' x 2' of fresh aggregate shall be clean, hard, durable and free of adulterant substances and shall conform to ASTM C 33. Concrete aggregate shall be tested and shall conform to ASTM C 33. Portland cement shall conform to ASTM C 150 Type 1. Water shall be potable. Forms shall be allowed only in good condition of use. Apply a Touch form release agent to all forms in accordance with manufacturer's recommendations. Place one (1) set of four cylinders for each major pour and 28 cube tests. Test area of 28 day cure for 28 days per ASTM C 318. Perform compressive test per ASTM C 143.

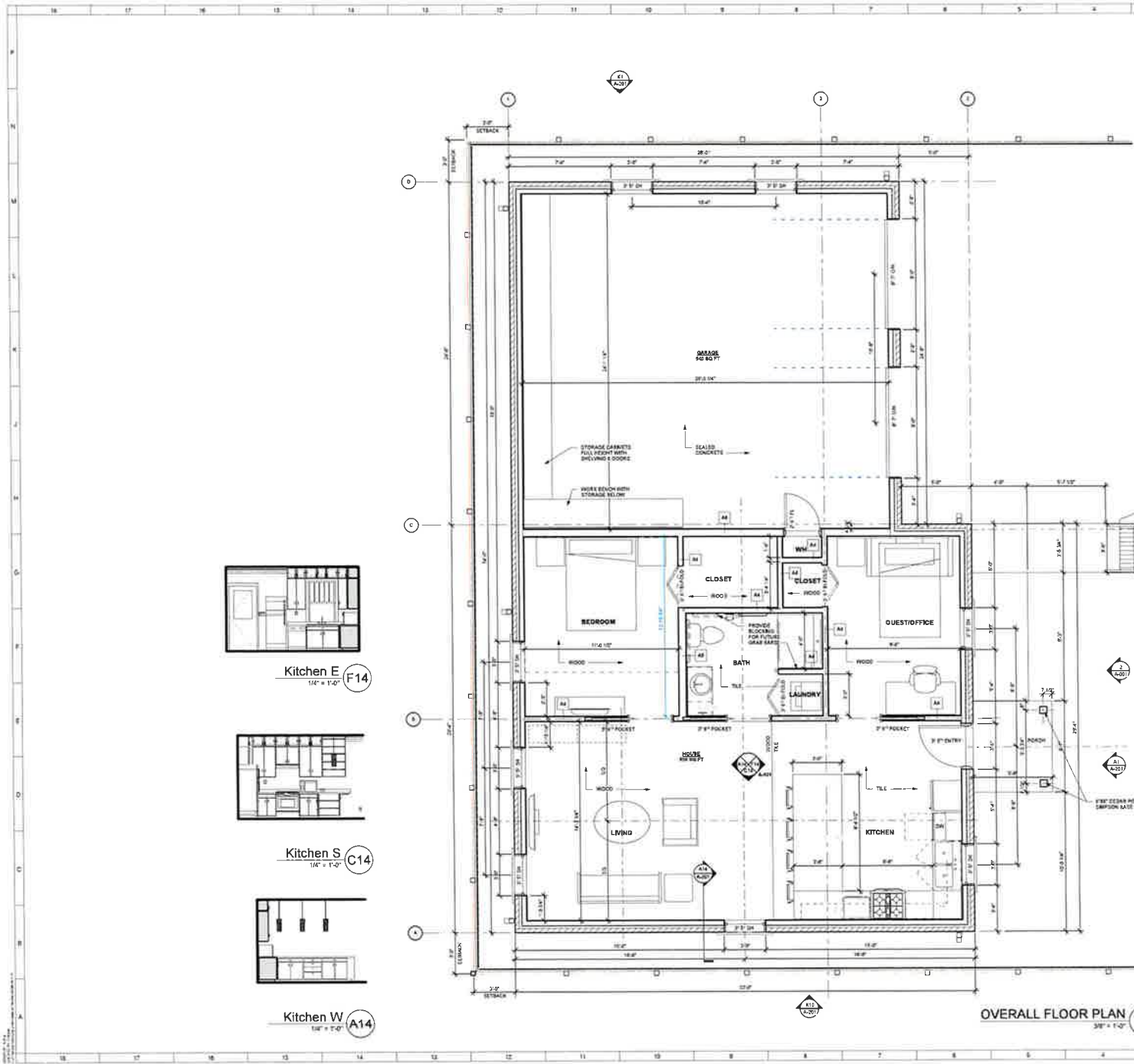
Christine &
David Beeson
Residence
1518 South
Norfolk Avenue



FOUNDATION PLAN
3/8" = 1'-0" (A1)

ISSUED: PERMIT SET
DATE: 15 MAY 2021
SCALE: As indicated
SHEET NAME: FOUNDATION PLAN
SHEET NUMBER:
A-100

6.26



WOOD FRAMING NOTES

- WOOD:**
1. STANDARDS:
 - A. "Timber Construction Manual" by American Institute of Timber Construction (latest edition).
 - B. "National Design Specification for Wood Construction" by National Forest Products Association (latest edition).
 2. Use graded lumber with allowable bending stresses equal to min 1200 psi and 1000 wood moment unless otherwise noted or shown.
 3. Members 1/4" in diameter small cross bracing not over 8 feet in length for all steel joists and floor trusses.
 4. All lumber shall conform to the species and MFR recognize national code shown on the plans or those engineer's approval. All members shall be from lumber which bears the larger fraction stamp of a recognized grading organization or a local lumber inspection agency. No lumber shall be used which does not appear to conform to the proper dimensions and/or grade.
 5. All wall construction provide blocking at all edges of sheathing.
 6. Provide double end stud non-bearing walls parallel to joists.
 7. Provide blocking between floor and exterior bearing walls.
 8. Sills and columns shall be Douglas Fir No. 1 with a maximum allowable stress (E) of 1350 psi. Fy=65 ksi. E=1,900,000 psi unless otherwise noted on plans.
 9. Posts and columns shall be Douglas Fir No. 1 with Fy (parallel to grain) = 6000 psi. E=1,900,000 psi unless otherwise noted on plans.
 10. Plywood shall be as follows:
 - a. Shear shall be installed with the grain perpendicular to support wall. CDX Shear 1/2" thick with 2325 APF each way.
 - b. Refer to latest edition IRC for additional information.
 11. Joists:
 - a. Non-bearing: Secure, Pine or Fir, 2x12 grade at 16" centers (10% max M.C.) or better unless otherwise noted. Fy=4250 psi. E=1,900,000 psi.
 - b. Load bearing: Douglas Fir No. 2, 2x12 grade at 16" centers. (10% max M.C.) or better unless otherwise noted. Fy=4250 psi. E=1,900,000 psi.
 12. Where note on plan, use laminated lumber (unless as manufactured by Trus Joist) for joists with the following properties: Fy=2200 psi. Fy=2200 psi. Fy=2200 psi.
 13. Posts may need extra tie up columns at each end of beam or header unless noted otherwise.
 14. Provide Simpson or equal steeling column base, column cap, jags, hangers, and beam hangers where required for floor and wall framing.
- FRAMING:**
- Use number two (2) Douglas Fir for floor joists and plates, and studs of bearing partitions (if not noted otherwise). Other blocks may be 2x4 grade.
- All exterior and interior walls to be 2x4 frames at 16" O.C. in solid masonry above finish floor unless specifically shown otherwise. All framing shall be 2x4 or heavier.
- All lumber framing, sub-flooring, exterior siding and roof sheathing shall be installed in accordance with applicable local building codes.
- Provide double joist under carport systems. Floor joists over beams or truss let on bottom of joists both sides of beams.
- Provide the following framing for exterior openings (AS AP):
- | | |
|---------------|----------|
| 2'0" to 4'0" | 2" x 4" |
| 4'0" to 6'0" | 2" x 6" |
| 6'0" to 8'0" | 2" x 8" |
| 8'0" to 10'0" | 2" x 10" |
- Provide the following framing for interior openings (AS AP):
- | | |
|---------------|----------|
| 2'0" to 4'0" | 2" x 4" |
| 4'0" to 6'0" | 2" x 6" |
| 6'0" to 10'0" | 2" x 10" |
- Joist (Siding or Floor) shall be noted 15% M.C. Southern Pine Sheathing (2x4) Sheathing exterior grade. (Exterior Walls) Shear shall be installed unless otherwise noted.
- WOOD FLOORING:**
- Subflooring shall be 3/4" T&G floor panels. Secure with glue and screws.

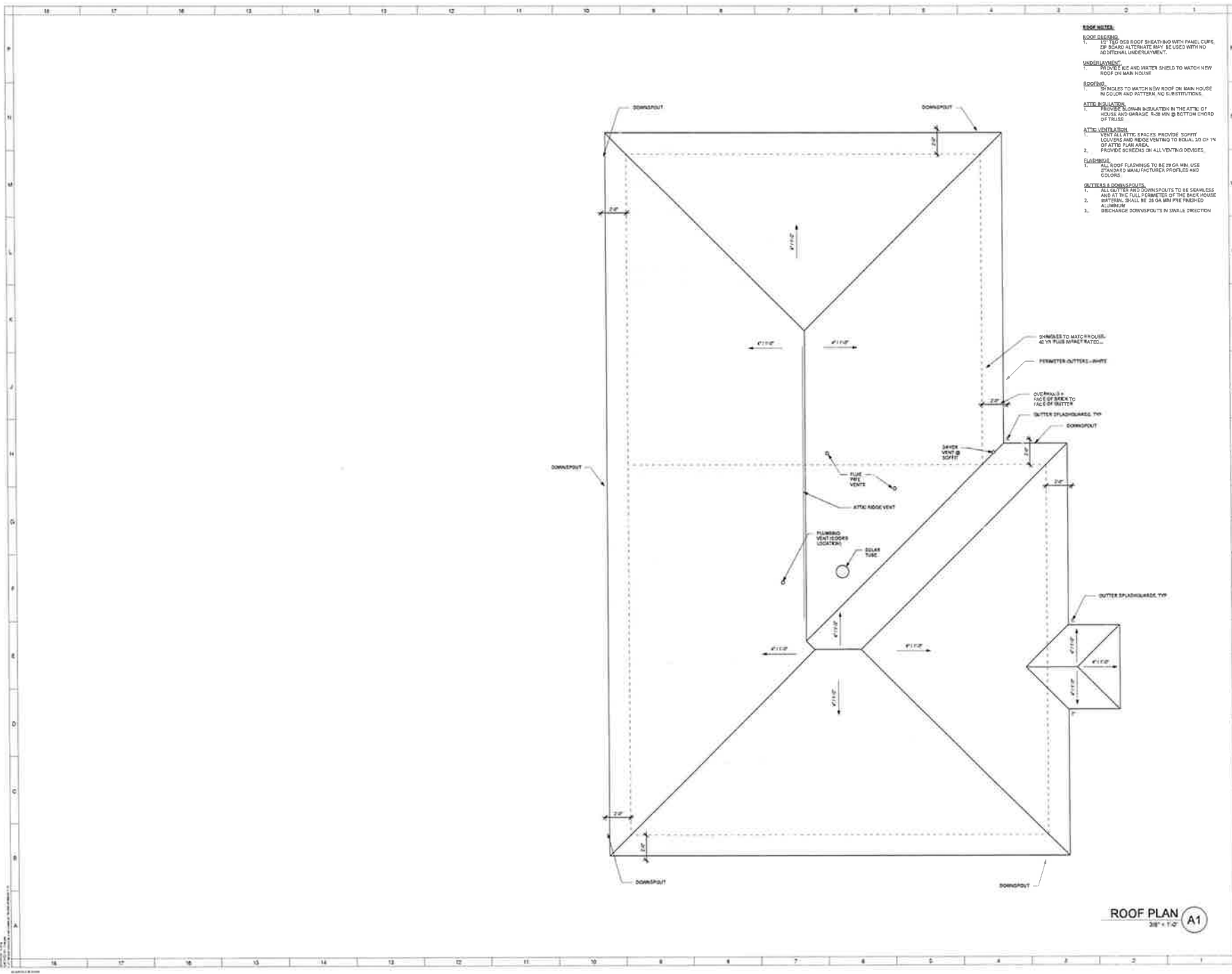
GENERAL NOTES

- DRYWALL:**
- Drywall shall be framed edge wallboard as made by U.S. Gypsum or equal, to thickness and type indicated. Do not moisture shield in accordance with the Owner's Specification's recommended practices in framing and using in correct stud spacing.
- Provide 1/2" gypsum board at all walls and ceilings. Typical unless noted otherwise. Provide 1/2" water resistant gypsum board at all bathroom walls and any "wet" walls. Type unless noted otherwise. Provide gypsum board on exterior of all walls and both 1/2" and 5/8" thick. Schedule REVISIONS may also be used at all areas and shower.
- Provide wall blocking at all wall accessory locations.
- INSULATION:**
- Provide R-19 insulation with vapor barrier to warm side of room. R-19 to exterior walls. R-19 to cavity above exterior wall framing. R-19 framing and sheathing, and latched to joists. R-19 to floor joist. R-19 to ceiling. R-19.
- Provide sound transmission rating of all partitioned rooms and plumbing walls.
- CALLOUTS:**
- All exterior wall openings and areas such as window, door frames, electrical frames, and wood panels shall be caulked with a top quality silicone acrylic latex caulk.
- PAINTING:**
- All painting shall be completed and surfaces are in proper condition to receive the product to be painted. The color and sheen finishes and the application of all walls and both 1/2" and 5/8" thick. Schedule REVISIONS may also be used at all areas and shower.
- DOOR AND WINDOWS:**
- Windows shall be top quality windows with insulated if glazing as selected by Owner. All windows located at exterior to doors and doors shall be 2x4 framing typical.
- Insulating fiberglass batts are indicated on drawings.
- DOORS:**
- DL - double light
 - SL - solid light
 - HC - hollow core
 - HW - hollow metal exterior finished
 - SC - solid core
 - BS - built-in bottom track type system
- WINDOWS:**
- AW - awning window
 - CV - casement window
 - SH - sliding window
 - SI - single hung window
 - QB - glass block window
 - NS - non-thermally broken double pane window

Christine & David Beeson
Residence
1518 South Norfolk Avenue

ISSUED: PERMIT SET
DATE: 15 MAY 2021
SCALE: As indicated
SHEET NAME: FLOOR PLAN
SHEET NUMBER: A-101

6.27



- ROOF MITER:**
- ROOF FINISH:**
1. 1/2" OSB ROOF SHEATHING WITH PANEL CLIPS, OR BOARD ALTERNATE MAY BE USED WITH NO ADDITIONAL UNDERLAYMENT.
- UNDERLAYMENT:**
1. PROVIDE ICE AND WATER SHIELD TO MATCH NEW ROOF ON MAIN HOUSE
- EAVES:**
1. SHINGLES TO MATCH NEW ROOF ON MAIN HOUSE IN COLOR AND PATTERN, NO SUBSTITUTIONS.
- ATTIC INSULATION:**
1. INSULATE BELOW INSULATION IN THE ATTIC OF HOUSE AND GARAGE. R-20 MIN @ BOTTOM CHORD OF TRUSS.
- ATTIC VENTILATION:**
1. VENT ALL ATTIC SPACES PROVIDE SORBIT LOUVERS AND RICE VENTING TO EQUAL 30 OF 1% OF ATTIC FLOOR AREA.
 2. PROVIDE SCREENS ON ALL VENTING DEVICES.
- FLASHING:**
1. ALL ROOF FLASHINGS TO BE 29 GA MIN USE STANDARD MANUFACTURER PROFILES AND COLORS.
- GUTTERS & DOWNSPOUTS:**
1. ALL GUTTERS AND DOWNSPOUTS TO BE SEAMLESS AND AT THE FULL PERIMETER OF THE BALD HOUSE. MATERIAL SHALL BE 28 GA ALUMINUM FINISHED.
 2. ALUMINUM
 3. DECREASE DOWNSPOUTS IN SWALE DIRECTION

Christine &
David Beeson
Residence
1518 South
Norfolk Avenue



ISSUED: PERMIT SET
DATE: 15 MAY 2021
SCALE: 3/8" = 1'-0"
SHEET NAME:
ROOF PLAN

ROOF PLAN A1
38" x 1'-0"

SHEET NUMBER:
A-121

CEILING PLAN LEGEND

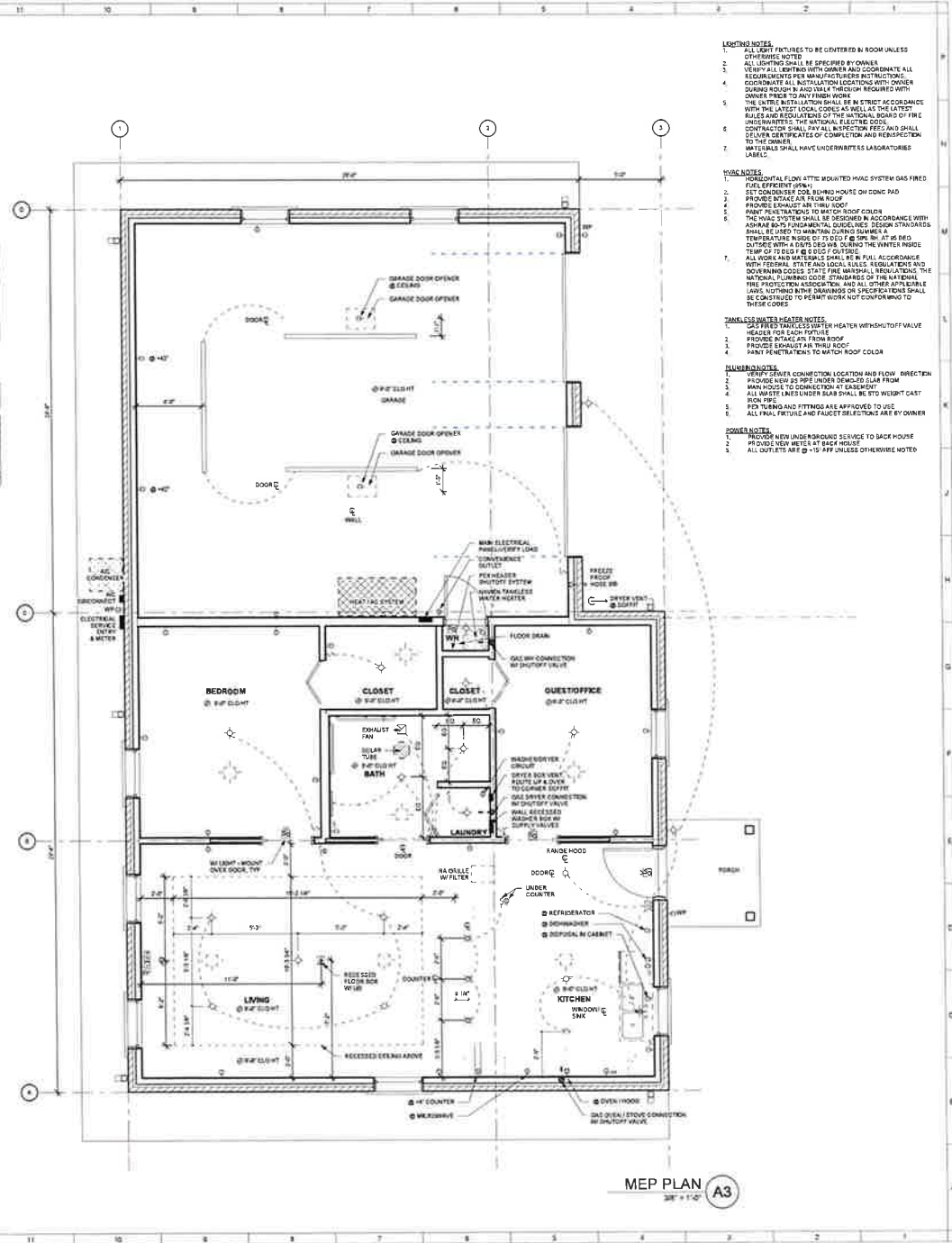


APPLIANCE SCHEDULE

TAX	PRODUCT	MANUFACTURER	MODEL #	FINISH	COMMENTS
AP-1	30" FREE STANDING ELECTRIC RANGE	GE	STAVELER 72" DEEP WOOD CONTROL		
AP-2	MICROWAVE OVEN	GE	STAINLESS 20" HIGH		
AP-3	30" BUILT-IN DISHWASHER	GE	STAINLESS 20" HIGH		
AP-4	LIGHT CONTROLLED FRESH AIR/EXHAUST COOLING	GE	SPLENDOR		
AP-5	24" IT 100 FT FOR AIR PURIFIER/IONIZER	GE	TRIPLE		
AP-6	30" UNDER CABINET HOOD	GE	PROGRESS		
AP-7	STACKED WASHER/DRYER	GE	DISCOVERY		

PLUMBING FIXTURE SCHEDULE

TAX	PRODUCT	MANUFACTURER	PRODUCT NUMBER	COMMENTS
PL-1	1/2" NPT SHOWER / SHOWER HEAD	TEETEC	TEETEC	1/2" NPT SHOWER / SHOWER HEAD
PL-2	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH	TEETEC	TEETEC	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH
PL-3	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH	TEETEC	TEETEC	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH
PL-4	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH	TEETEC	TEETEC	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH
PL-5	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH	TEETEC	TEETEC	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH
PL-6	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH	TEETEC	TEETEC	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH
PL-7	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH	TEETEC	TEETEC	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH
PL-8	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH	TEETEC	TEETEC	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH
PL-9	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH	TEETEC	TEETEC	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH
PL-10	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH	TEETEC	TEETEC	1/2" NPT SHOWER WITH GLASS AND SHOWER BENCH



- LOADING NOTES**
- ALL LIGHT FIXTURES TO BE CRATERED IN ROOM UNLESS OTHERWISE NOTED
 - VERIFY ALL LIGHTING WITH OWNER AND COORDINATE ALL REQUIREMENTS PER MANUFACTURER'S INSTRUCTIONS
 - COORDINATE ALL INSTALLATION LOCATIONS WITH OWNER
 - DURING ROUGH IN AND FINAL THROUGH REQUIRED WITH OWNER PRIOR TO ANY FINISH WORK
 - THE LATEST REVISION SHALL BE IN EFFECT AT CONSTRUCTION WITH THE LATEST LOCAL CODES AT THE LATEST REVISIONS OF THE NATIONAL ELECTRICAL CODE
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE
 - CONTRACTOR SHALL PER ALL INSPECTOR FINDINGS AND SHALL DELIVER CERTIFICATES OF COMPLETION AND REINSPECTION TO THE OWNER
 - MATERIALS SHALL HAVE UNDERWRITERS LABORATORIES LABEL

- MISC. NOTES**
- HORIZONTAL FLOW ATTIC MOUNTED HVAC SYSTEM GAS FIRED FUEL EFFICIENT UNIT
 - SET CONDENSER COIL DURING HOUSE ON SOING PAD
 - PROVIDE INTAKE AIR FROM ROOF
 - PROVIDE EXHAUST AIR THROUGH ROOF
 - PAINT PENETRATIONS TO MATCH ROOF COLOR
 - THE HVAC SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH ASHRAE 62.1 FUNDAMENTAL GUIDES DESIGN STANDARDS SHALL BE USED TO MAINTAIN INDOOR HUMIDITY & TEMPERATURE RANGE OF 75 DEG F @ 50% RH AT 95 DEG OUTSIDE WITH 45% DESIGN WIND THE WINTER WINDS TEMP OF 75 DEG F @ 50% RH
 - ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH FEDERAL, STATE AND LOCAL RULES, REGULATIONS AND ORDINANCES AND STATE FIRE MARSHAL REGULATIONS, THE NATIONAL FIRE PROTECTION ASSOCIATION, AND ALL OTHER APPLICABLE LAWS, NOTHING IN THE DRAWINGS OR SPECIFICATIONS SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES

- EXHAUST/INTAKE HEATER NOTES**
- EXHAUST/INTAKE HEATER WITH SHUTOFF VALVE
 - HEATER FOR EACH FLOOR
 - PROVIDE INTAKE AIR FROM ROOF
 - PROVIDE EXHAUST AIR THROUGH ROOF
 - PAINT PENETRATIONS TO MATCH ROOF COLOR

- PLUMBING NOTES**
- VERIFY PIPING CONNECTION LOCATION AND FLOW DIRECTION
 - PROVIDE NEW 3/4" PIP UNDER DECKED SLAB FROM MAIN HOUSE TO CONNECTION AT BASEMENT
 - ALL WASTE LINES UNDER SLAB SHALL BE STD W/CAST SOUP PIPE
 - PIP TURNING AND FITTINGS ARE APPROVED TO USE
 - ALL FINAL FITTINGS AND FAUCET SELECTIONS ARE BY OWNER

- POWER NOTES**
- PROVIDE NEW UNDER ROUGHING SERVICE TO BACK HOUSE
 - PROVIDE NEW METERS AT BACK HOUSE
 - ALL OUTLETS ARE @ 15' AFF UNLESS OTHERWISE NOTED

Christine & David Besson
Residence
1518 South
Norfolk Avenue

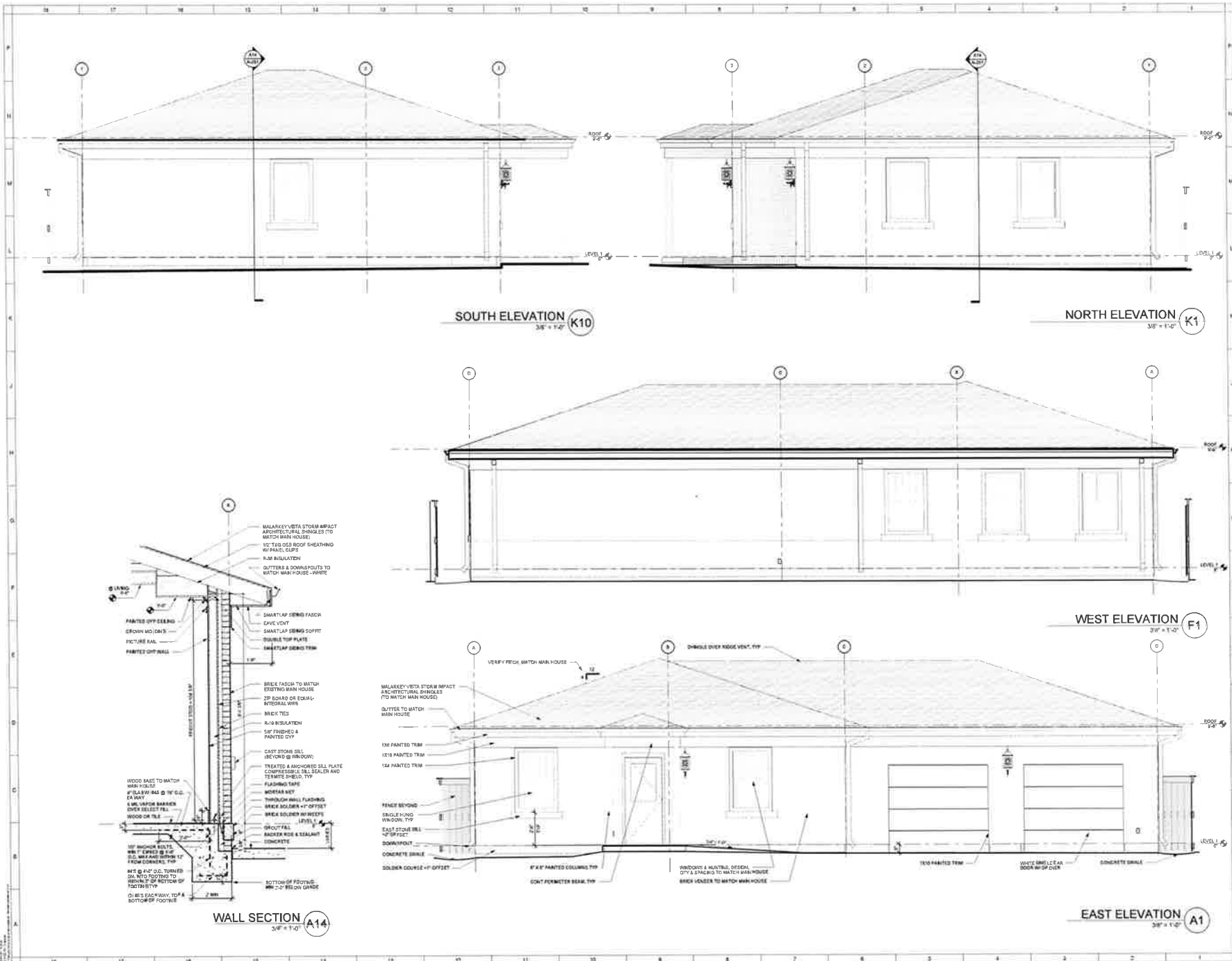


ISSUED: PERMIT SET
DATE: 15 MAY 2021
SCALE: AS SHOWN
SHEET NAME:
MEP PLAN

SHEET NUMBER:
A-131

6.28

MEP PLAN A3
3/8" = 1'-0"



SOUTH ELEVATION K10
3/8" = 1'-0"

NORTH ELEVATION K1
3/8" = 1'-0"

WEST ELEVATION F1
3/8" = 1'-0"

EAST ELEVATION A1
3/8" = 1'-0"

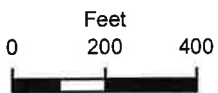
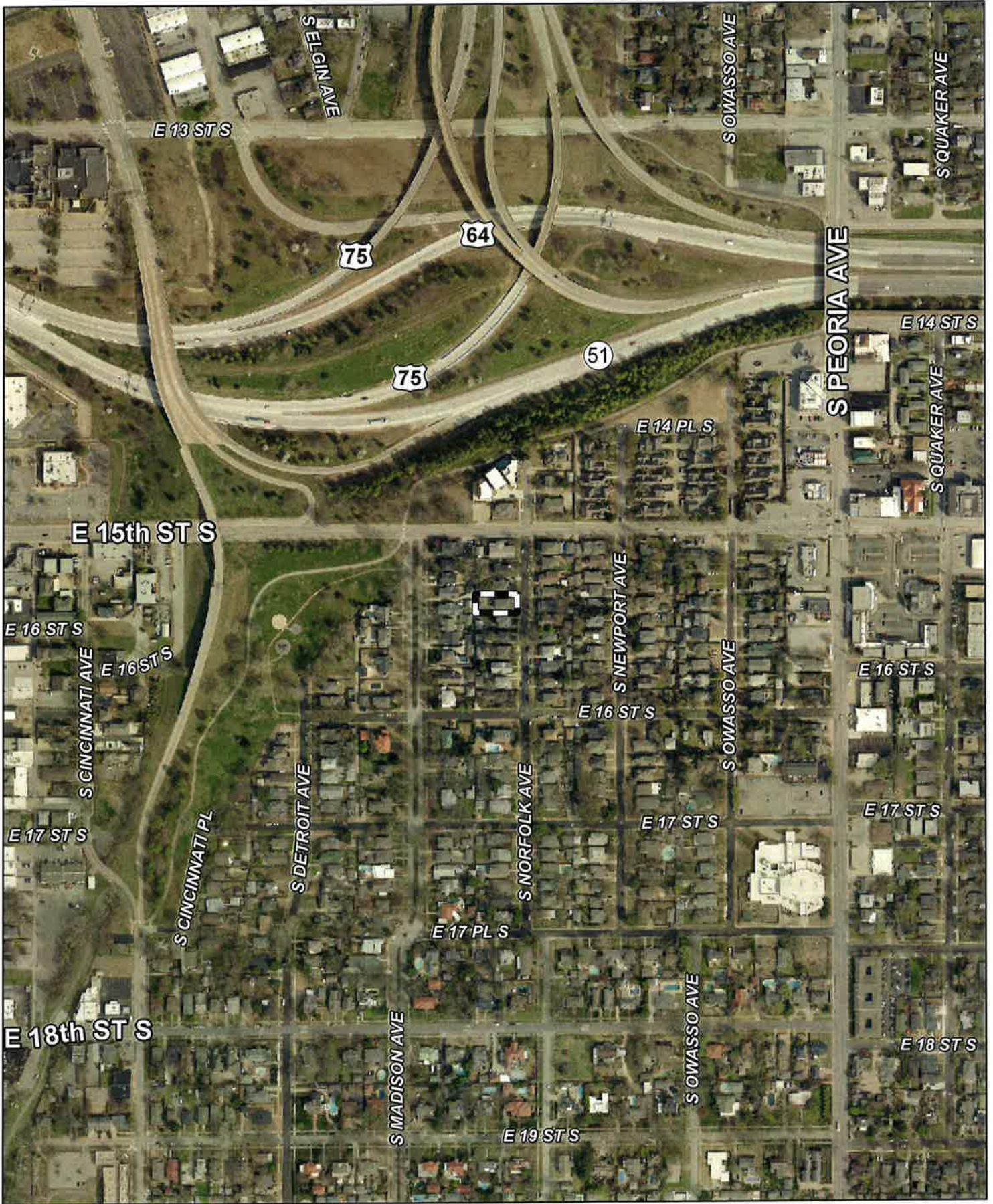
WALL SECTION A14
3/8" = 1'-0"

Christine &
David Beeson
Residence
1518 South
Norfolk Avenue

ISSUED: PERMIT SET
DATE: 15 MAY 2021
SCALE: As indicated
SHEET NAME:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A-201

6.29



Subject Tract

BOA-23159

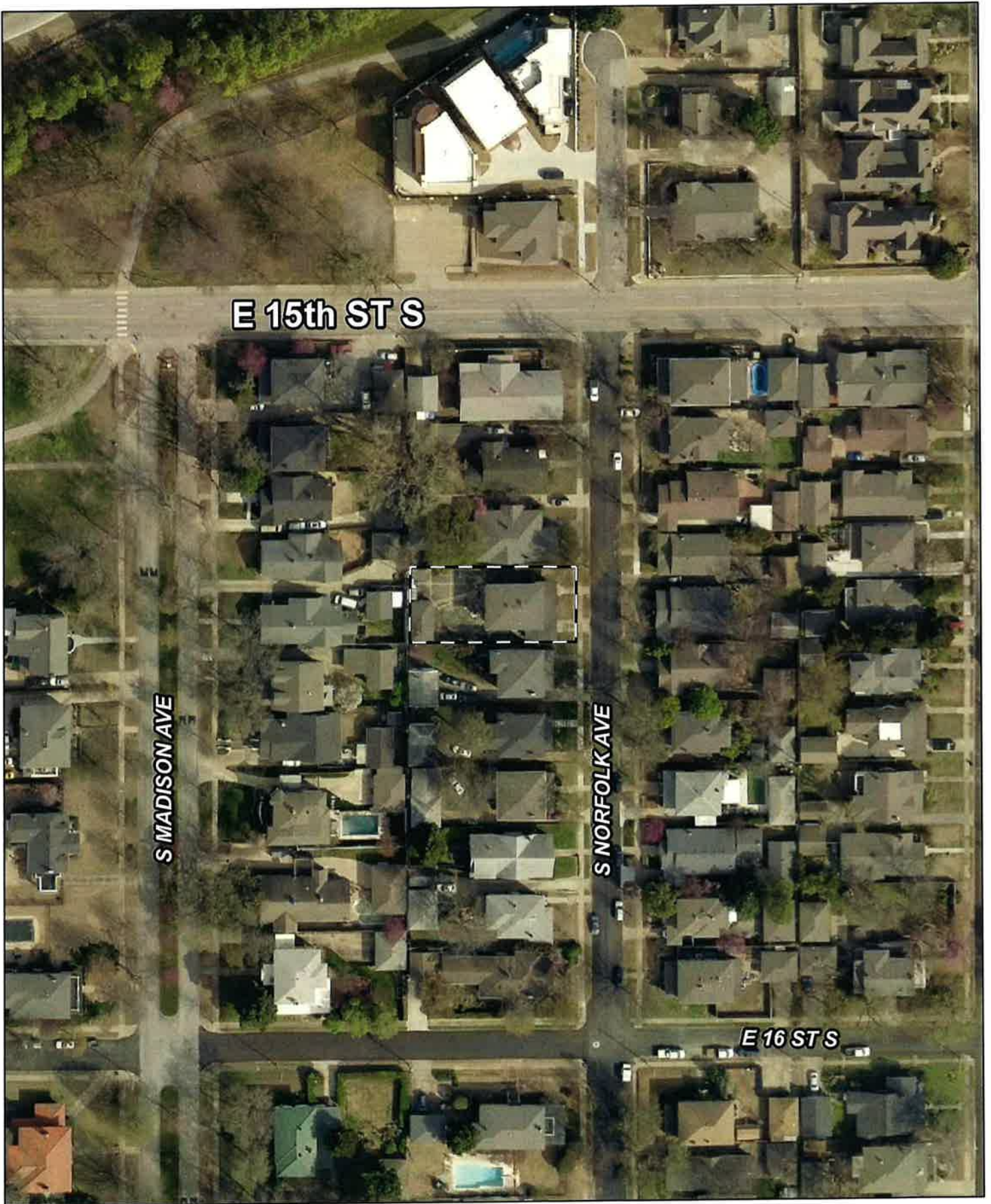
19-12 12

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



6.30



Subject Tract

BOA-23159

19-12 12

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



6.31

From: [Mike Miller](#)
To: [Chapman, Austin](#)
Subject: BOA-23159
Date: Thursday, July 15, 2021 11:17:41 AM

Just sending my thoughts as I work out of town and cannot be at the hearing...I am in favor of the planned project.

Mike Miller
1530 S. Norfolk Ave
918.808.4532

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