

TULSA METROPOLITAN AREA PLANNING COMMISSION

For Meeting No. 2538

February 4, 2009, 1:30 PM

175 East 2nd Street, 2nd Level, One Technology Center

Tulsa City Council Chambers

CONSIDER, DISCUSS AND/OR TAKE ACTION ON

Call to Order:

REPORTS

Chairman's Report:

Worksession Report:

Comprehensive Plan Report:

Report on the update of the Comprehensive Plan

Director's Report:

CONSENT AGENDA

All matters under "Consent" are considered by the Planning Commission to be routine and will be enacted by one motion. Any Planning Commission member may, however, remove an item by request.

1. **LS20278** – Harden & Associates (9316)/Lot-Split (PD 6) (CD 7)
North of East 31st Street and East of South New Haven Avenue, 2901 S
Pittsburg Avenue
2. **LS-20279** – Steve Younger (9230)/Lot-Split (Rescind LC-18) (County)
South of West 41st Street and East of South 69th Avenue, 6850 West 41st
Place
3. **LS-20280** Tulsa Habitat For Humanity (9232)/Lot-Split (County)
West of South 57th Avenue and North of West 61st Street, 6028 South
57th Avenue West
4. **LS-20281** – Tulsa Habitat For Humanity (9233)/Lot-Split (PD 8) (CD 2)
West of South 38th Avenue and North of West 55th Street, 3811 West
55th Street South
5. **LS-20283** – M. Scott Hall (9220)/Lot-Split (County)
South of West 39th Street and West of South 63rd Avenue, 6340 West
39th Street
6. **LC-141** – Tulsa Habitat For Humanity (9316)/Lot Combination (PD 6) (CD 9)
North of East 27th Place and West of South Jamestown Avenue, 2704
South Jamestown
7. **LC-142** – Tulsa Habitat For Humanity (9202)/Lot Combination (PD 10) (CD 1)
East of South Tacoma Avenue and North of West 1st Street, 1515 West
1st Street

8. **LC-143** – Tulsa Habitat For Humanity (9233)/Lot Combination (PD 8) (CD 2)
Northwest corner of South 37th Avenue and West 53rd Place, 3703 West 53rd Place South
9. **LC-144** – Tulsa Habitat For Humanity (9233)/Lot Combination (PD 8) (CD 2)
West of South 38th Avenue and North of West 55th Street, 3811 West 55th Street South
10. **LC-146** – Tulsa Habitat For Humanity (9232)/Lot Combination (County)
Northwest corner of South 57th Avenue and West 61st Street, 6028 South 57th Avenue West
11. **LC-147** – Tulsa Habitat For Humanity (9232)/Lot Combination (County)
West of South 57th Avenue and North of West 61st Street, 6028 South 57th Avenue West
12. **LC-148** – Tulsa Habitat For Humanity (9316)/Lot Combination (PD 6) (CD 9)
Southwest corner of East 27th Place and South Jamestown Avenue, 3348 East 27th Street
13. **LC-150** – Morteza Nikou (9325)/Lot Combination (PD 18B) (CD 5)
East of South Memorial Drive and North of East 44th Street, 8149 E 44th Street, Suite “B”
14. **The Enclave at Brookside** – (8418) Final Plat (PD 6) (CD 9)
Southwest corner of East 39th Street South and Rockford Avenue
(Continued from 1/28/09)
15. **Decatur Park** – (8332) Final Plat (PD 18) (CD 8)
Southwest corner of East 93rd Street South and South Canton Avenue
16. **PUD-300-7 – Blake Burks** (PD-18) (CD-8)
Northeast corner of East 81st Street South and South Sheridan Road
(Minor Amendment to increase the permissible floor area from 7,000 SF to 8,000 SF and increase building height from 26 FT to 30 FT and allow an uninhabitable architectural projection up to 40 feet in total height.)
(Related to Item 17)
17. **PUD-300 – Blake Burks** (PD-18) (CD-8)
Northeast corner of East 81st Street South and South Sheridan Road
(Detail Site Plan for an 8,000 SF retail rug outlet.) (Related to Item 16)
18. **PUD-489 – Larry Jackson** (PD-18) (CD-8)
Approximately 370 feet east of the northeast corner of 71st Street and South Mingo Road (Detail Site Plan for a 2,448 SF restaurant.)
19. **CONSIDERATION OF ITEMS REMOVED FROM THE CONSENT AGENDA**

PUBLIC HEARINGS

20. **Metropolitan Baptist Church** – (0222) Preliminary Plat (PD 11) (CD 11)
North of West Apache and West of North Osage Expressway
21. **Airpark Distribution Center II** – (0420) Preliminary Plat (PD 16) (CD 6)
North side of West Apache Street between North Garnett Road and North 129th East Avenue
22. **Riverwest** – (8202) Preliminary Plat (PD 8) (CD 2)
East of Northeast corner of West 71st Street South and Okmulgee Expressway/Highway 75 (Continued from 1/28/09)
23. **WestRidge Plaza** – (8214) Preliminary Plat (PD 8) CD 2)
Southeast corner of West 81st Street South and South Union Avenue (Continued from 1/28/09)
24. **PUD-744-A – Khoury Engineering** (PD-6) (CD-9)
East of northeast corner of East 42nd Place and South Peoria Avenue (Major Amendment for 14 single-family dwellings/patio homes on 45- to 50-foot wide lots with a maximum height of 42 feet.)
25. **PUD-694-B-1 – Whistler Sign Company, LLC** (PD-8) (CD-2)
9001 South Union Avenue West (Minor Amendment) (This case will be heard before the BOA on 2/24/09 therefore staff requests a continuance to 2/25/09.)

OTHER BUSINESS

26. **Commissioners' Comments**

ADJOURN

PD = Planning District/CD = Council District

NOTICE: If you require special accommodation pursuant to the Americans with Disabilities Act, please notify INCOG (918) 584-7526

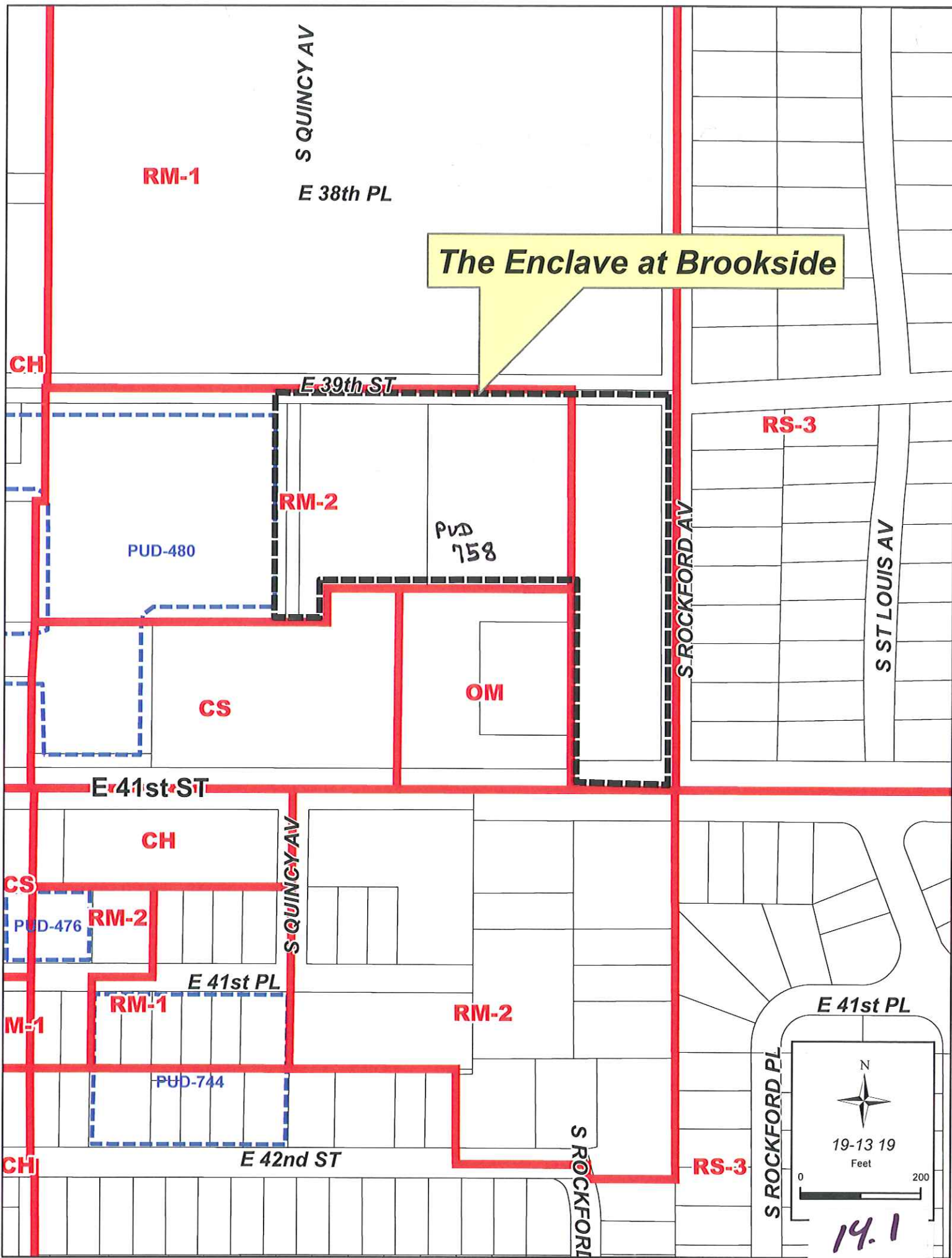
Exhibits, Petitions, Pictures, etc., presented to the Planning Commission may be received and deposited in case files to be maintained at Land Development Services, INCOG.

Ringling/sound on all cell phones and paggers must be turned off during the Planning Commission.

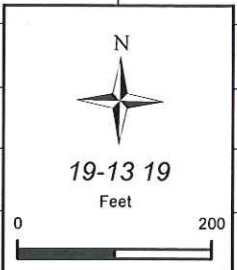
Visit our website @ www.tmapc.org

The mission of the Tulsa Metropolitan Area Planning Commission (TMAPC) is to provide comprehensive planning, zoning and land division services for the City of Tulsa and Tulsa County through a joint city-county cooperative planning commission resulting in the orderly development of the Tulsa Metropolitan Area and enhancing and preserving the quality of life for the region's current and future residents.

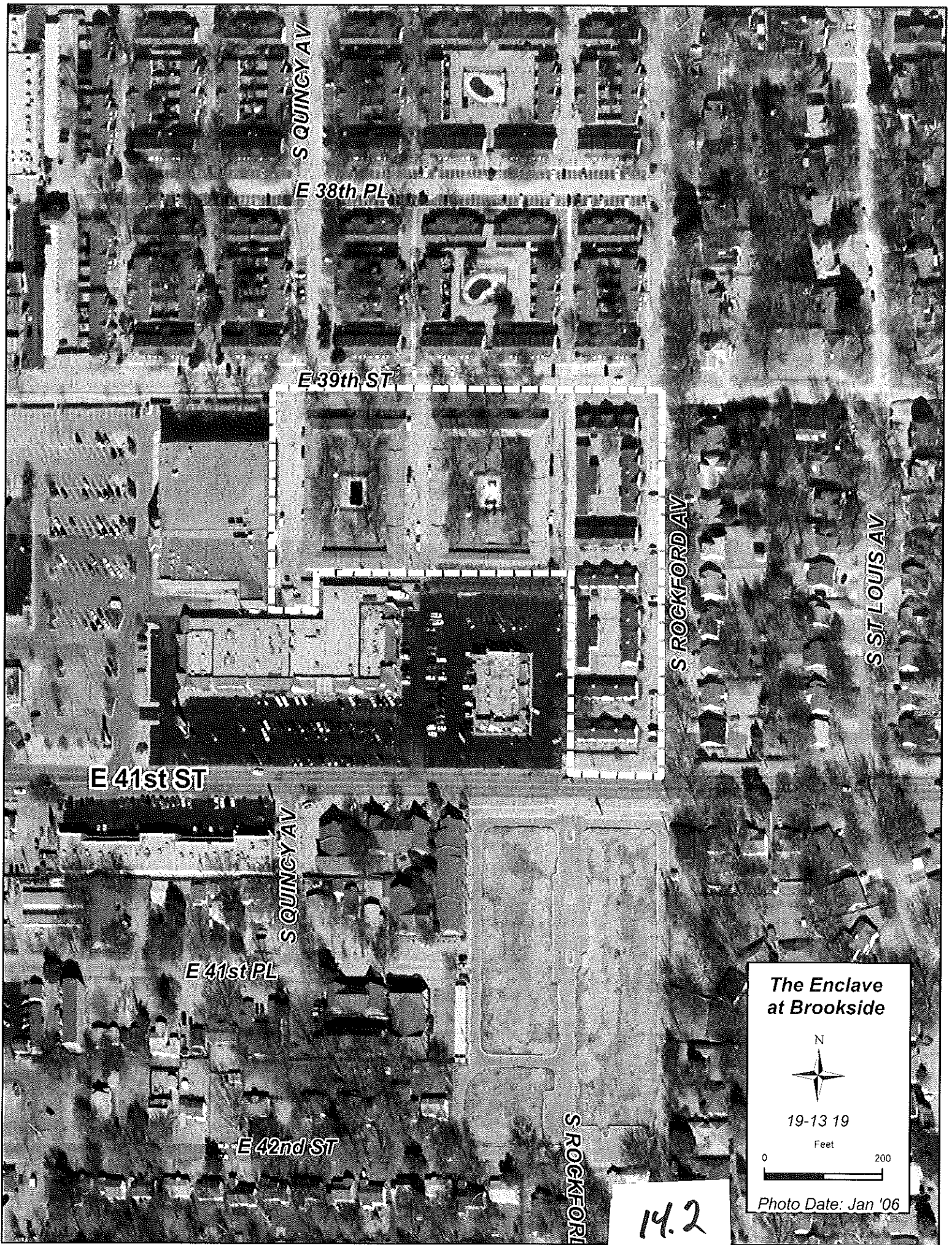
TMAPC Mission Statement



The Enclave at Brookside



14.1



S QUINCY AV

E 38th PL

E 39th ST

S ROCKFORD AV

S ST LOUIS AV

E 41st ST

S QUINCY AV

E 41st PL

E 42nd ST

S ROCKFORD AV

14.2

**The Enclave
at Brookside**



19-13 19

Feet



Photo Date: Jan '06

Final Subdivision Plat

The Enclave at Brookside - (8418) (PD 6) (CD 9)
Southwest corner of East 39th Street South and Rockford Avenue

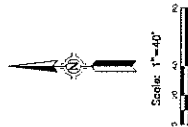
This plat consists of 1 Lot in 1 Block on 5.44 acres.

Staff recommends **APPROVAL** of the Final Plat. All release letters have been received.

PLANNED UNIT DEVELOPMENT NO. 758

The Enclave at Brookside

A SUBDIVISION IN THE CITY OF TULSA, TULSA COUNTY, OKLAHOMA BEING A PART OF THE SOUTH HALF (S/2) OF LOT FOUR (4) OF SECTION NINETEEN (19), TOWNSHIP NINETEEN (19) NORTH, RANGE THIRTEEN (13) EAST, OF THE INDIAN BASE AND MERIDIAN ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF.



Legend

- P.C. PLANNING LINE
- O.C. OVERLAND DRAINAGE
- U.E. UTILITY EASEMENT

Owner/Developer

ROMANAGA TULSA, LLC
1013 WEST TACOMA, SUITE-A
TULSA, OKLAHOMA 74102
PHONE: (918) 258-3537
FAX: (918) 258-3534
WWW.ROMANAGA.COM

Engineer/Surveyor

1013 WEST TACOMA, SUITE-A
BROKEN ARROW, OKLAHOMA 74102
PHONE: (918) 258-3537
FAX: (918) 258-3534
WWW.ROMANAGA.COM

C.A. 3643 EXPIRES JUNE 30, 2009

Benchmark

5.8' IRON BOLT - 1/2" DIA. - SET IN CONCRETE - STAMPED "36" SET S.E. OF THE INTERSECTION OF 41ST ST. AND S. UNION - 874.15 (MAYO 1935)

Basis of Bearings

ASSUMED N 89°35'13" W ALONG SOUTH LINE OF THE SW/4 OF SECTION 16, T-19-N, R-13-E.

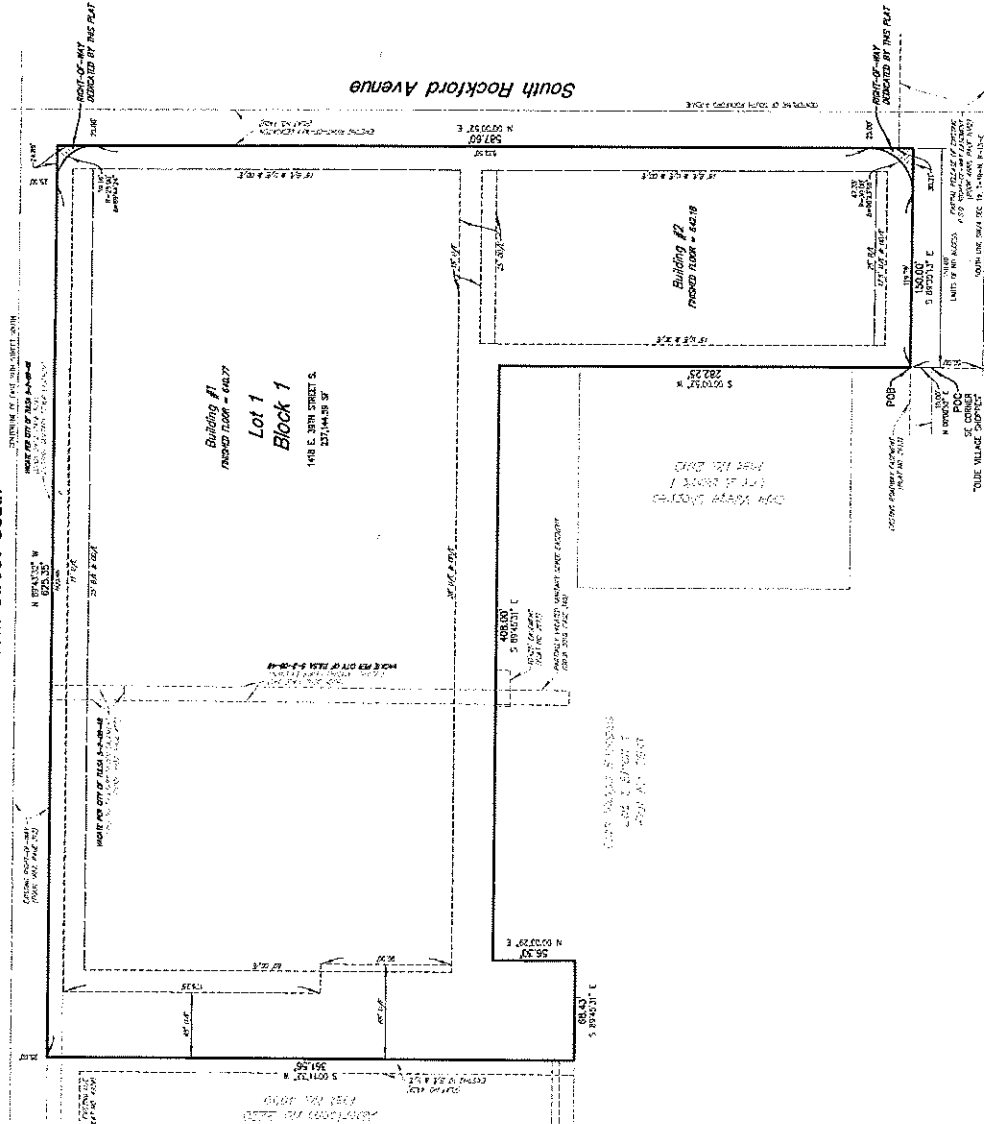
Monumentation

ALL CORNERS SHOWN HEREON WERE SET USING A 3/4" X 1/2" IRON BOLT - 1/2" DIA. - SET IN CONCRETE - STAMPED "36" SET S.E. OF THE INTERSECTION OF 41ST ST. AND S. UNION - 874.15 (MAYO 1935).

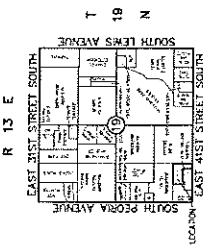
Notes

ALL STREETS RIGHT-OF-WAY SHALL BE DEDICATED AS PUBLIC STREETS BY THIS PLAT. ALL LOTS SHOWN ON THIS PLAT WERE ACCURATELY SURVEYED AND SHOWN AS SUCH. ALL LOTS ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF LEGAL DESCRIPTION. ALL WATER AND SANITARY SERVICE SERVICES WILL BE SUPPLIED AND MAINTAINED BY THE CITY OF TULSA.

East 39th Street South



East 41st Street South



Location Map

Subdivision Contains One (1) Lot in One (1) Block
5.44 Acres

Plot Number	FINAL PLAT
CERTIFICATE OF APPROVAL	I hereby certify that this plat was approved by the Tulsa Metropolitan Area Planning Commission on
This approval is void if this plat is not recorded in the office of the County Clerk on or before:	11/10/08
COUNTY OF CITY ENGINEER	APPROVED
Mayor	Attest: City Clerk
Approved City Attorney	

STATE OF OKLAHOMA
COUNTY OF TULSA

I, Terrence Wilson, Tulsa County Clerk, do and for the County and State, whose names stand, do hereby certify that this plat was approved by the Tulsa Metropolitan Area Planning Commission on the 11th day of 10, 2008.

Terrence Wilson, Tulsa County Clerk

DATE: 11/10/08

COUNTY TREASURER STAMP

RECEIVED

BY: J. L. WILSON

TULSA METROPOLITAN AREA PLANNING COMMISSION

14.4

Fernandez, Diane

From: Huntsinger, Barbara
Sent: Wednesday, January 28, 2009 8:44 AM
To: Alberty, Wayne; Matthews, Dane; Fernandez, Diane
Subject: FW: Agenda Item -- January 28th, 2009 1:30 p.m.

Barbara Huntsinger
Administrative Assistant for Wayne Alberty, Manager Land Development Services
Recording Secretary for Tulsa Metropolitan Area Planning Commission
201 West 5th Street, Suite 600
Tulsa, OK 74103
Office Phone: 584-7526
Direct Line: 579-9413
Fax: 579-9513
email: bhuntsinger@incog.org
www.tmapc.org

From: L. Collins [mailto:livetosing1@cox.net]
Sent: Tuesday, January 27, 2009 10:53 PM
To: Huntsinger, Barbara
Subject: Agenda Item -- January 28th, 2009 1:30 p.m.

Please forward to the TMAPC Panel for today's hearing:

Dear Members of the TMAPC,

Regarding the final details for the final plat of the Bomasada PUD # 758 on your Agenda today - - - I am sending an additional letter to my councilor regarding this final plat.

I came before you at the first hearing of this proposed development in May, 2008. I led a group of neighbors and submitted 180 signatures of homeowners who **opposed** this development. As a homeowner living directly across the street from the proposed development, I am still seeking some details for my personal interest and have a landscaping request for this project from myself and other homeowners along Rockford Avenue regarding this final plat. I will be attending this meeting tomorrow.

In summary,

1. I and several homeowners along Rockford facing this proposed development would like you to require the developer to plant trees to the east of the building, from 39th to 41st streets. This is a reasonable request, as the building is a 4 story facade facing our single family homes. We feel deciduous trees which will grow to the height of from a minimum of 30 feet up to 75 feet would be adequate. There are no power or cable lines along this street to interfere with this request. If we are to have a wall of stucco in front of us, we believe softening it with trees is a proper buffer for our privacy

1/28/2009

14.5

as well as the Enclave tenants.

2. We understood that there would be no entrance/exit and accompanying activity at the corner of 39th and Rockford at the original hearing on this plan. Yet, the words "Right of Way" appear on the plat. Please explain the intention of this verbage. We understand that there are only two driveways: one entrance at 39th, west of the Enclave and an exit on Rockford, midway in the block, intended only for entrance by emergency vehicles.

3. Setback distances from the street are still being questioned. They are listed at 25 feet and 16 feet. Surely we expect this is additional to the other easement footage? Please clarify, as when this was appoved at the Council, a discussion ensued on what the actual setback would be. Councilor Westcott asked for clarification and attorney Johnson answered affirmatively that this is only a portion of the total setback. But the plat does not clarify this.

4. No traffic study was made on the impact 240 living units would have on our neighborhood streets. The stop sign at 39th and Rockford is run continuously by eastbound traffic turning onto Rockford. Southbound traffic on Rockford travels faster than the 25 MPH limit. We would like to ask for your assistance in recommending traffic control devices on both streets: On Rockford from 38th to 41st(one midway on each block) and one on 39th (midway between Quincy and Rockford.

Thank you for your attention to these details. As homeowners who tried to share our concerns earlier regarding this development project and its noncompliance with our Brookside Infill Plan in many aspects i.e., NOT fitting the *scale, height, density and visual space of the current residential environment.* AND despite the city planner's statements of opinion at that hearing to the contrary ----- **we strongly differ with his appraisal** ----- we therefore hope you will have some hindsight and grant us our miniscule pleadings in the aftermath of our defeat.

Thank you for your time and consideration of our requests for information and cooperation from the Bomasada Group.

Respectfully Submitted,
Laura Collins
3903 South Rockford Avenue
Tulsa, OK 74105 918-809-5431

Fernandez, Diane

From: Sansone, Christopher
Sent: Wednesday, January 28, 2009 10:59 AM
To: livetosing1@cox.net
Cc: Alberty, Wayne; Fernandez, Diane
Subject: RE: Agenda Item -- January 28th, 2009 1:30 p.m.
Attachments: PUD-758 Enclave SP 1_7_09.pdf

Laura,

Thanks for your inquiry. Attached you will find the approved site plan for the Enclave at Brookside, which I hope will address some of your concerns. I have also responded to your questions below. You will find my responses in bold after each of your questions.

With respect to the landscaping, the developer is required by Chapter 10 of the Zoning Code to landscape 15% of the street yard along 39th as well as Rockford within the project limits (all the way to 41st), with a minimum of a 5-foot wide landscape strip. They are required to place 1 tree in the street yard, for every 1,500 square feet of street yard frontage (street yard is defined as the setback requirement from the property line, along the street in question multiplied by the lineal length of street, then multiplied by .15, or 15 %. The resulting number is then divided by 1500 to determine the number of trees required).

No landscape plan has been submitted yet. There can be no building permits issued until the landscape plan has been submitted and found to be in conformance with the requirements of chapter 10 of the Zoning Code.

Please see the responses below, and please, *do not hesitate* to contact me if you have other questions or comments. Thanks.

Chris Sansone
Senior Planner - INCOG
csansone@incog.org
(918)579-9475

From: L. Collins [mailto:livetosing1@cox.net]
Sent: Tuesday, January 27, 2009 10:53 PM
To: Huntsinger, Barbara
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1/28/2009

14.7

details for my personal interest and have a landscaping request for this project from myself and other homeowners along Rockford Avenue regarding this final plat. I will be attending this meeting tomorrow.

In summary,

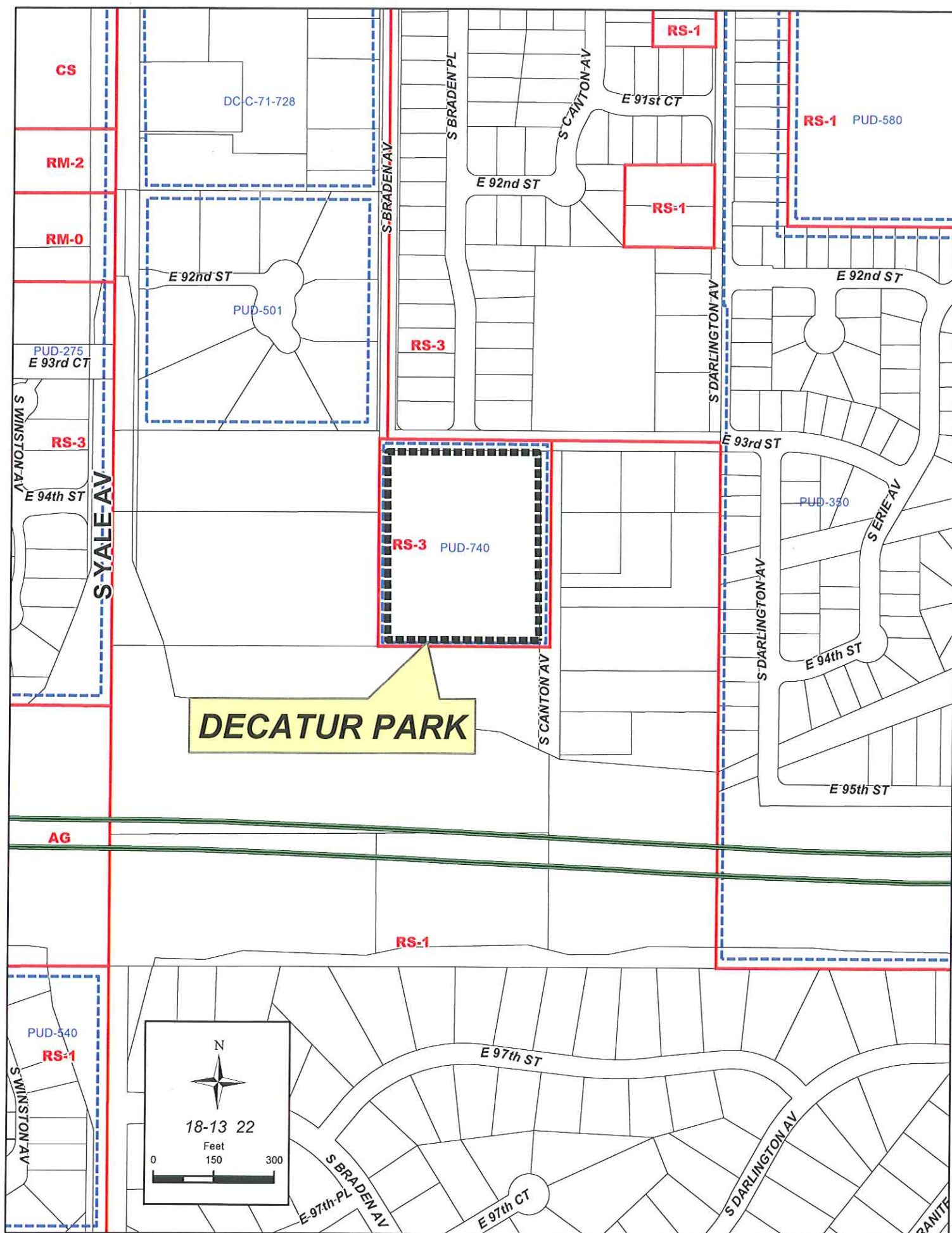
1. **I and several homeowners along Rockford facing this proposed development would like you to require the developer to plant trees to the east of the building, from 39th to 41st streets.** This is a reasonable request, as the building is a 4 story facade facing our single family homes. We feel deciduous trees which will grow to the height of from a minimum of 30 feet up to 75 feet would be adequate. There are no power or cable lines along this street to interfere with this request. If we are to have a wall of stucco in front of us, we believe softening it with trees is a proper buffer for our privacy as well as the Enclave tenants. **The Zoning Code, Chapter 10 requires the developer to landscape the street yard. Please see my message above.**
 2. **We understood that there would be no entrance/exit and accompanying activity at the corner of 39th and Rockford at the original hearing on this plan.** Yet, the words "Right of Way" appear on the plat. Please explain the intention of this verbage. We understand that there are only two driveways: one entrance at 39th, west of the Enclave and an exit on Rockford, midway in the block, intended only for entrance by emergency vehicles. **Right-of-Way (ROW) refers to the area dedicated for the streets (39th and Rockford).** You are correct; there are only two driveways in the locations you refer to. **The driveway along Rockford is an "exit only" for residents and is also required for emergency access per approved PUD development standards.**
 3. **Setback distances from the street are still being questioned. They are listed at 25 feet and 16 feet. Surely we expect this is additional to the other easement footage?** Please clarify, as when this was appoved at the Council, a discussion ensued on what the actual setback would be. Councilor Westcott asked for clarification and attorney Johnson answered affirmatively that this is only a portion of the total setback. But the plat does not clarify this. **The setback along Rockford, per the attached plan, will vary from 17-feet (south of exit only along Rockford) to 24-feet north of the exit only measured from the property line/edge of the ROW line. The building along 39th Street will be setback 25-feet from the property line.**
 4. **No traffic study was made on the impact 240 living units would have on our neighborhood streets.** The stop sign at 39th and Rockford is run continuously by eastbound traffic turning onto Rockford. Southbound traffic on Rockford travels faster than the 25 MPH limit. We would like to ask for your assistance in recommending traffic control devices on both streets: On Rockford from 38th to 41st(one midway on each block) and one on 39th (midway between Quincy and Rockford. **Part of our review process for proposed projects relies on the Technical Advisory Committee (TAC) for input regarding traffic, stormwater drainage and other engineering issues. Requiring a traffic study would be the purview of the City Traffic Engineering Department which is represented on the TAC committee. The comments of the TAC are made part of the approval of projects, meaning that whatever the TAC requires, the developer must adhere to. At the hearing of the technical advisory committee regarding this project City of Tulsa Traffic Engineers commented**
- "41st Street is an Urban Arterial and will require a minimum 35 feet of right of way. Both intersections will require radii per the Major Street Plan."**

INCOG and the TMAPC can not regulate or control Public Right-of-Way (City Streets) which is a function of the City Engineering Department, specifically traffic engineering. In my opinion Laura, I would contact your Councilor, and maybe see if through him, you can get some extra traffic control devices installed.

Thank you for your attention to these details. As homeowners who tried to share our concerns earlier regarding this development project and its **noncompliance** with our Brookside Infill Plan in many aspects i.e., NOT fitting the *scale, height, density and visual space of the current residential environment*. AND despite the city planner's statements of opinion at that hearing to the contrary ----- **we strongly differ with his appraisal** ----- we therefore hope you will have some hindsight and grant us our miniscule pleadings in the aftermath of our defeat.


Thank you for your time and consideration of our requests for information and cooperation from the Bomasada Group.

Respectfully Submitted,
Laura Collins
3903 South Rockford Avenue
Tulsa, OK 74105 918-809-5431






N



DECATUR PARK

18-13 22

0 Feet 150 300



15.2

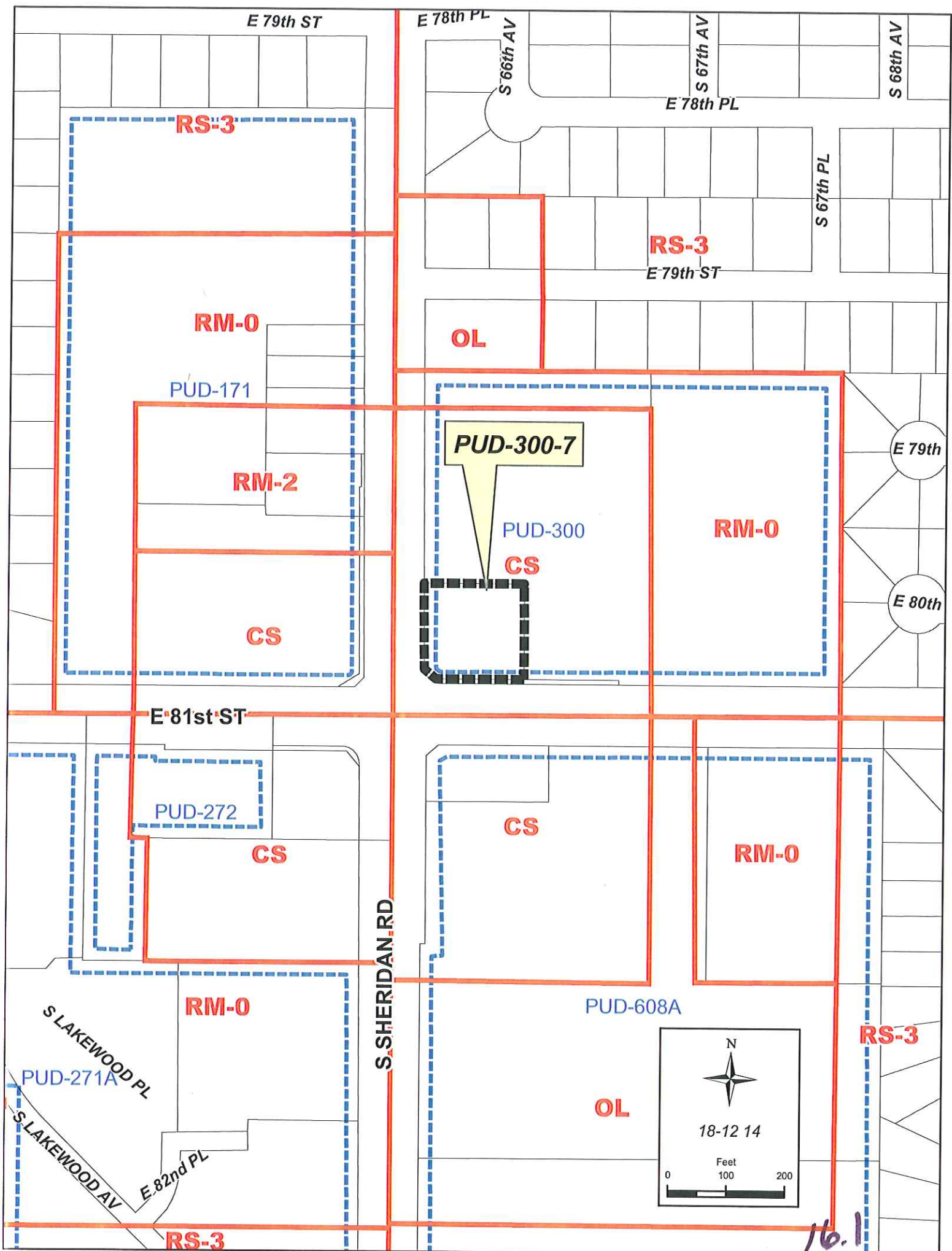
Final Subdivision Plat

Decatur Park - (8332) (PD 18B) (CD 8)

Southwest corner of East 93rd Street South and South Canton Avenue

This plat consists of 18 Lots in 3 Blocks on 4.35 acres.

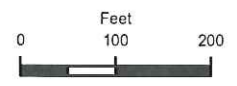
Staff recommends **APPROVAL** of the Final Plat. All release letters have been received.





18-13 11

PUD-300-7



16.2

S SHERIDAN RD

E 81st ST



18-13 11

PUD-300-7

0 Feet 37.5 75

16.3

February 4, 2009

STAFF RECOMMENDATION

PUD-300-7: Minor Amendment – Northeast corner of 81st Street and Sheridan Road; Part of Lot 1, Block 1 – Square One; TRS 8311; CZM 53; Atlas 1417; PD 18 CD 8; CS/RM-0/PUD.

This lot is located on the hard corner of 81st Street and South Sheridan Road. The applicant is requesting a minor amendment to increase the permissible floor area for the lot from 7,000 square feet (sf) to 8,000 sf and an amendment to increase the permissible building height from 26' to 30' and allow uninhabitable architectural projections only, up to 40' in total height. The requests are to allow for the construction of a Persian rug retail outlet.

The request of an increase in permissible floor area from 7,000 sf to 8,000 sf represents a 14.2% increase in over-all floor area and is viewed by staff as minor in nature. Using the formula provided in the PUD chapter of the Zoning Code (§1104, A-2) for calculating intensity of non-residential floor area in a CS district the 42,092 gross square foot lot with a .5 floor-to-area ratio (FAR) would permit a 21,046 sf building. The 14.2% increase in floor area to an 8,000 sf building represents an FAR of .19. Staff can support this request.

The second request is to increase the over-all permissible building height from 26' to 30' and allow an architectural projection/non-inhabitable portion of the building to extend to 40' in total height. The portion of the building to extend to 40' in height is the southwest corner of the building, and would be used for the hanging display of carpets (see Exhibit D). Within straight CS zoned districts there is no height limitation. Since this lot is located on the hard corner of two arterial streets, and there are no abutting residential districts, staff can support this request.

Therefore, staff recommends **APPROVAL** of minor amendment PUD-300-7 allowing an increase of the building floor area to 8,000 sf and increasing the allowable building height from 26' to 30' with uninhabitable architectural projections permitted up to 40' for the lot described as Part of Lot 1, Block 1 – Square One, BEG 225E & 50N SWC SEC TH W145.02 CRV RT47.11 N145.02 E175 S175 POB LESS BEG 50N & 225.02E SWC SEC TH W145.02 CRV RT 47.11 SE36.89 E151.08 S8 POB FOR ST BLK 1 only.

Note: Approval of a minor amendment does not constitute detail site, landscape or sign plan approval.

16.4

[illegible]

SHOPPING CENTER

NEC EAST 81ST ST SOUTH
& SOUTH SHERIDAN RD
TULSA, TULSA CNTY, OK

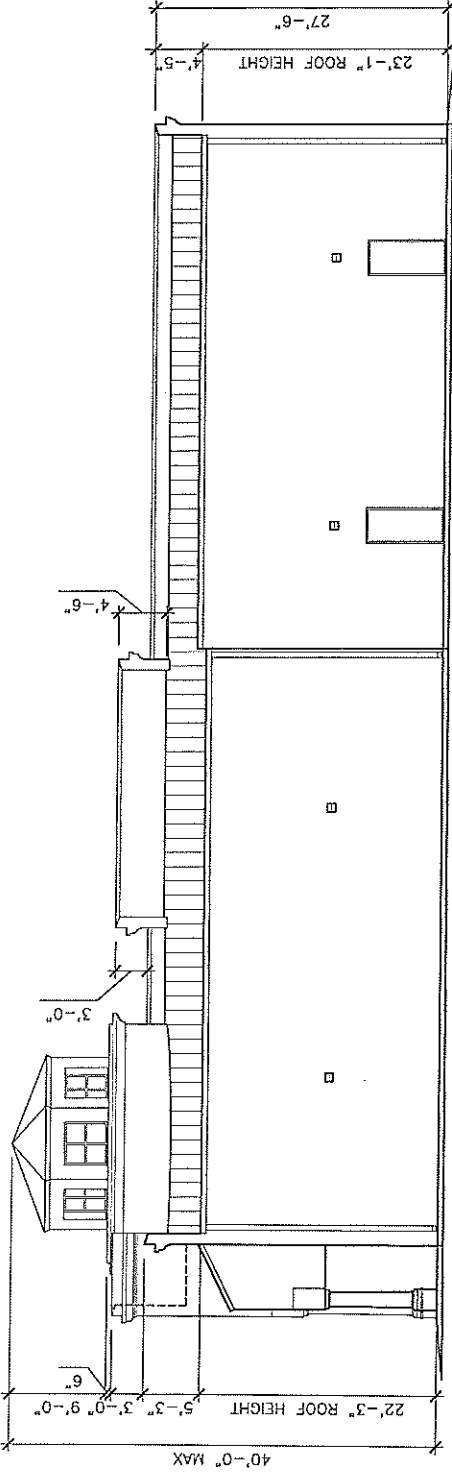
Siamak Ahmady
7853 East 71st Street
Tulsa, OK 74133
(918) 254-4094

Documents prepared by the Architect are instruments of professional service for use solely with respect to this project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. The Owner, Builder, and Contractor shall not reuse or permit the reuse of the Architect's documents except by mutual agreement in writing. Unauthorized photocopying violates U.S. copyright law and is subject to legal prosecution.

[illegible]

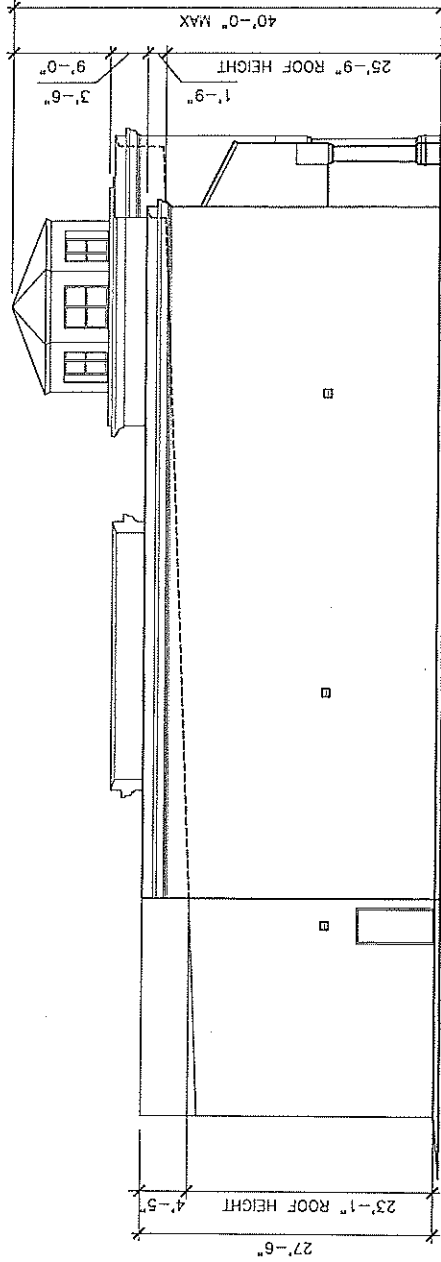
D.ST.06

EXHIBIT B



East Exterior Elevation

3/16" = 1'-0"



North Exterior Elevation

3/16" = 1'-0"

[illegible]

SHOPPING CENTER

NEC EAST 81ST ST SOUTH
& SOUTH SHERIDAN RD
TULSA, TULSA CNTY, OK

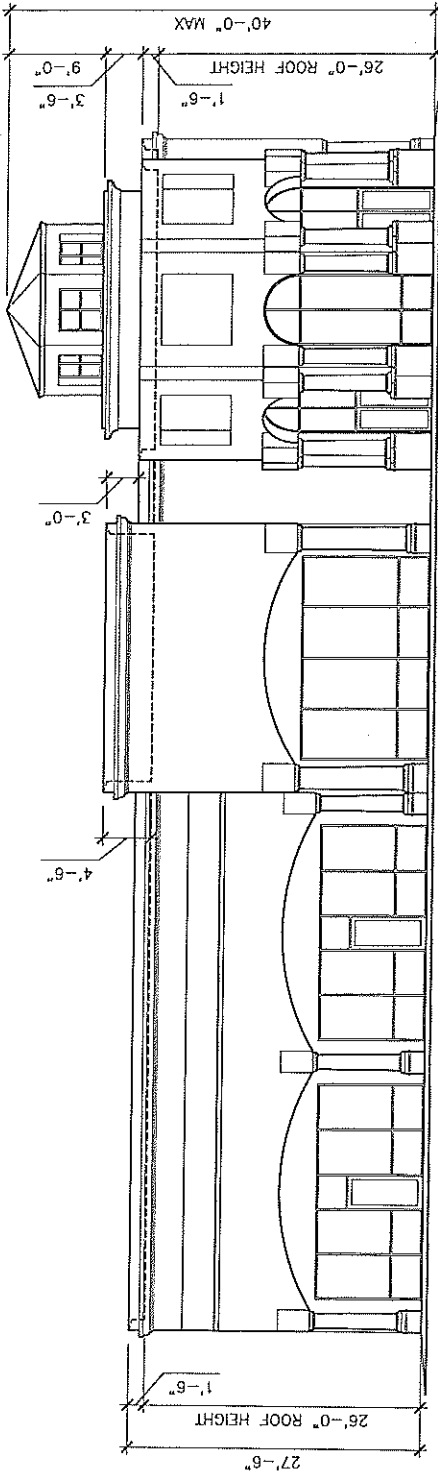
Slamak Ahmady
7853 East 71st Street
Tulsa, OK 74133
(918) 254-4094

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[illegible]

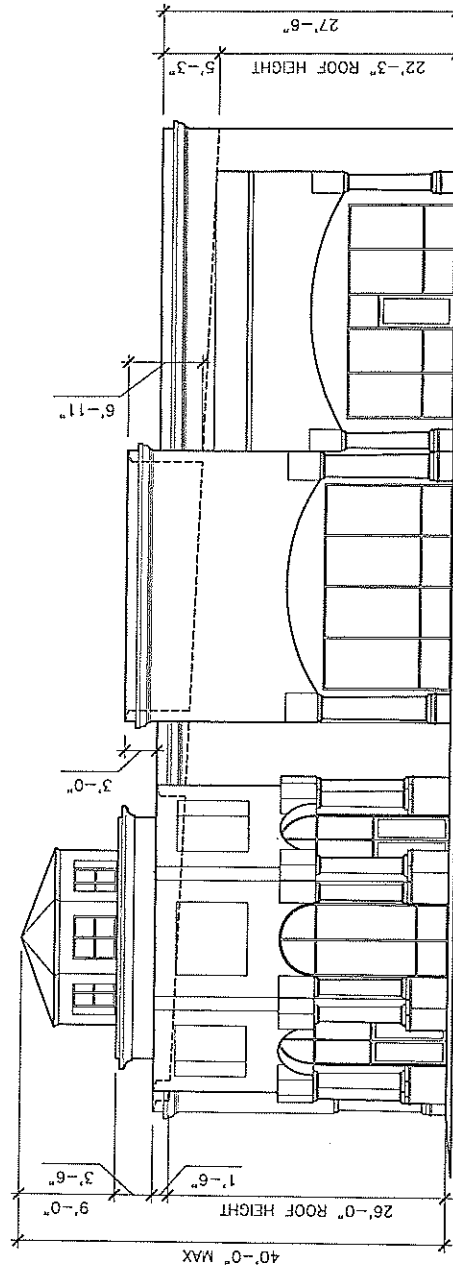
D.ST.05

EXHIBIT C



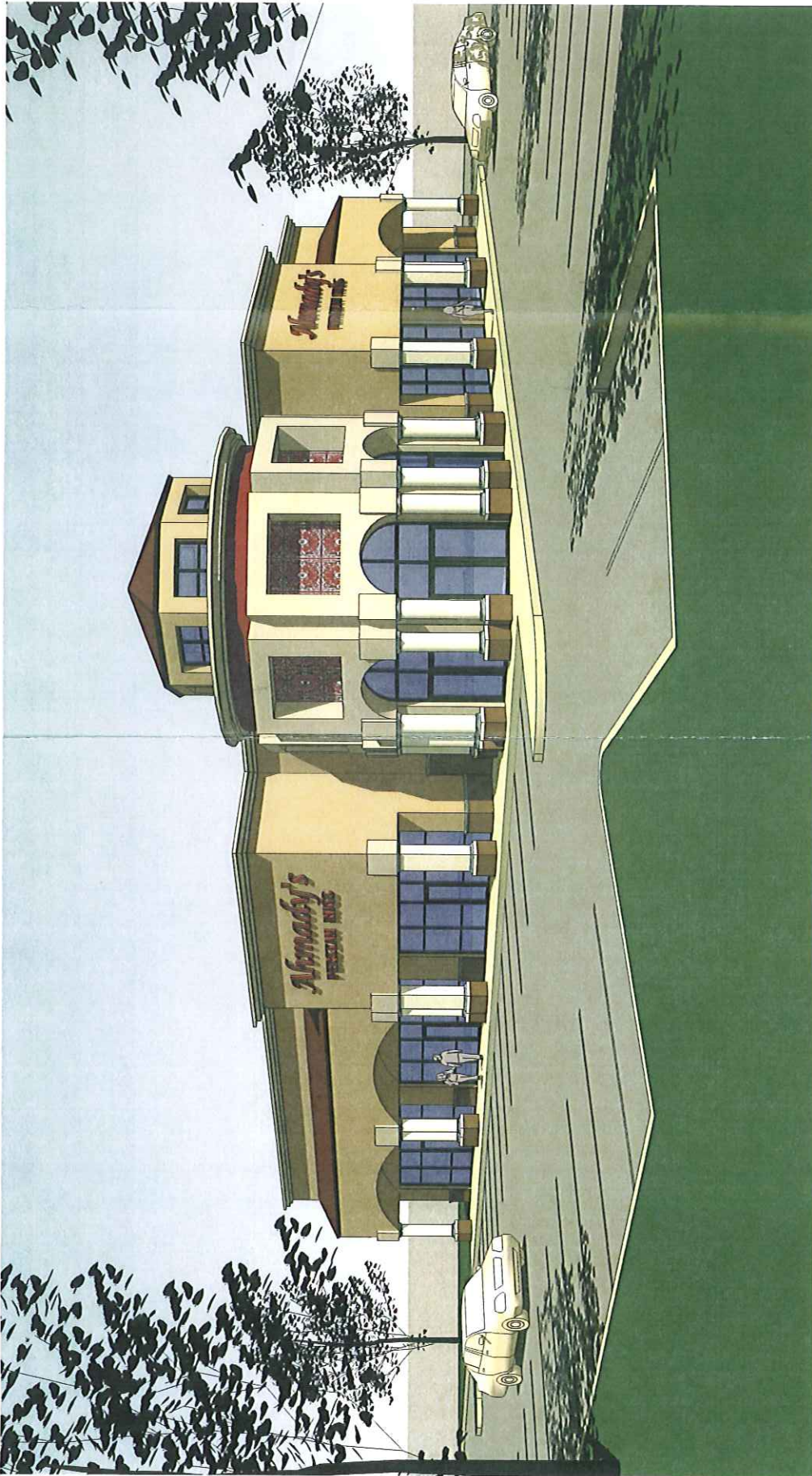
West Exterior Elevation

3/16" = 1'-0"



South Exterior Elevation

$$3/16" = 1'-0"$$

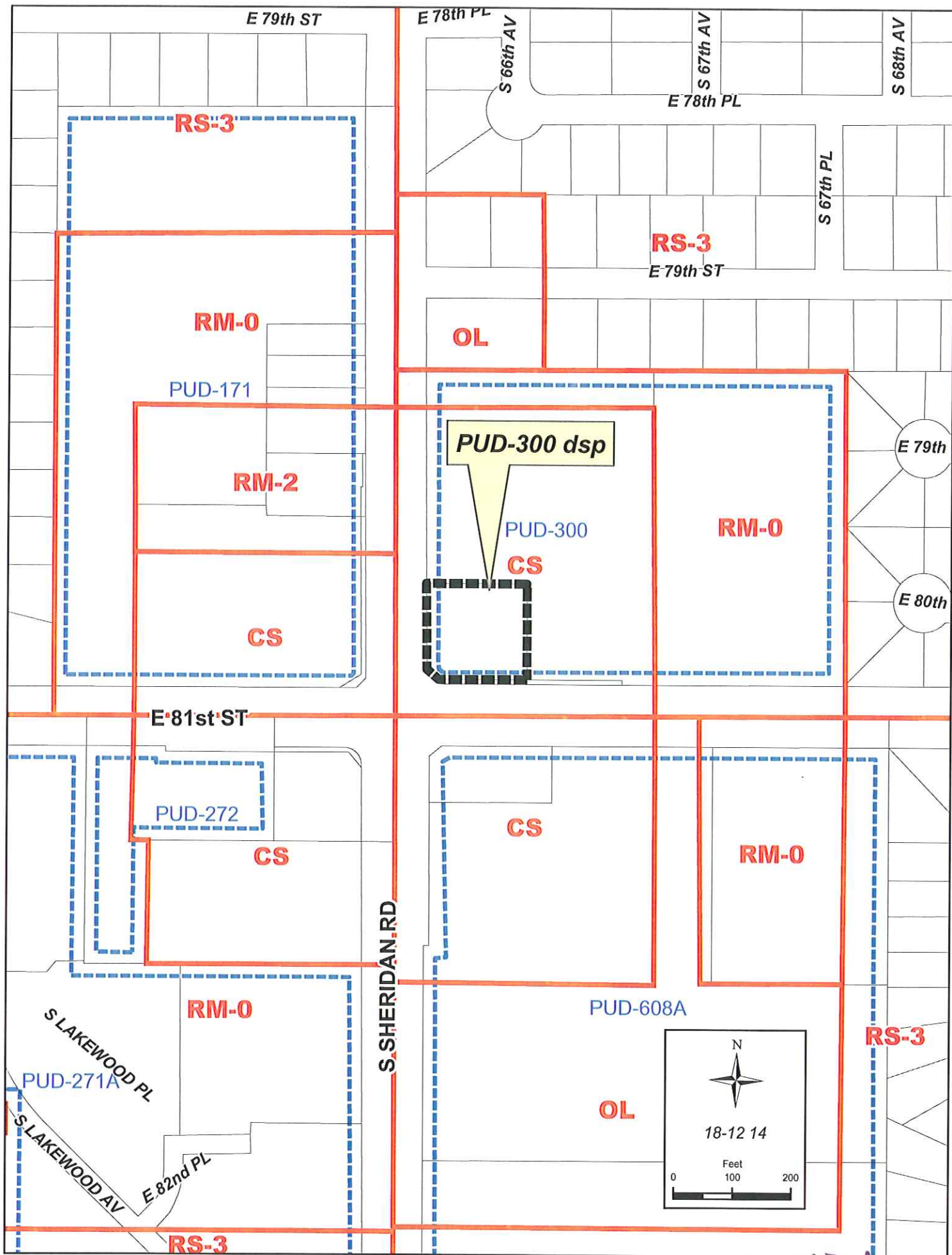


BLAKE A. BURKS | architect
4942 East 73rd Street, Tulsa, Oklahoma 74136

Shopping Center
NORTHEAST CORNER OF S. SHRIDAN RD. AT E. 81st ST. S.
TULSA, OKLAHOMA
01.20.2009

SIAMAK AHMADY
7853 E. 71st ST.
TULSA, OK 74133

EXHIBIT D





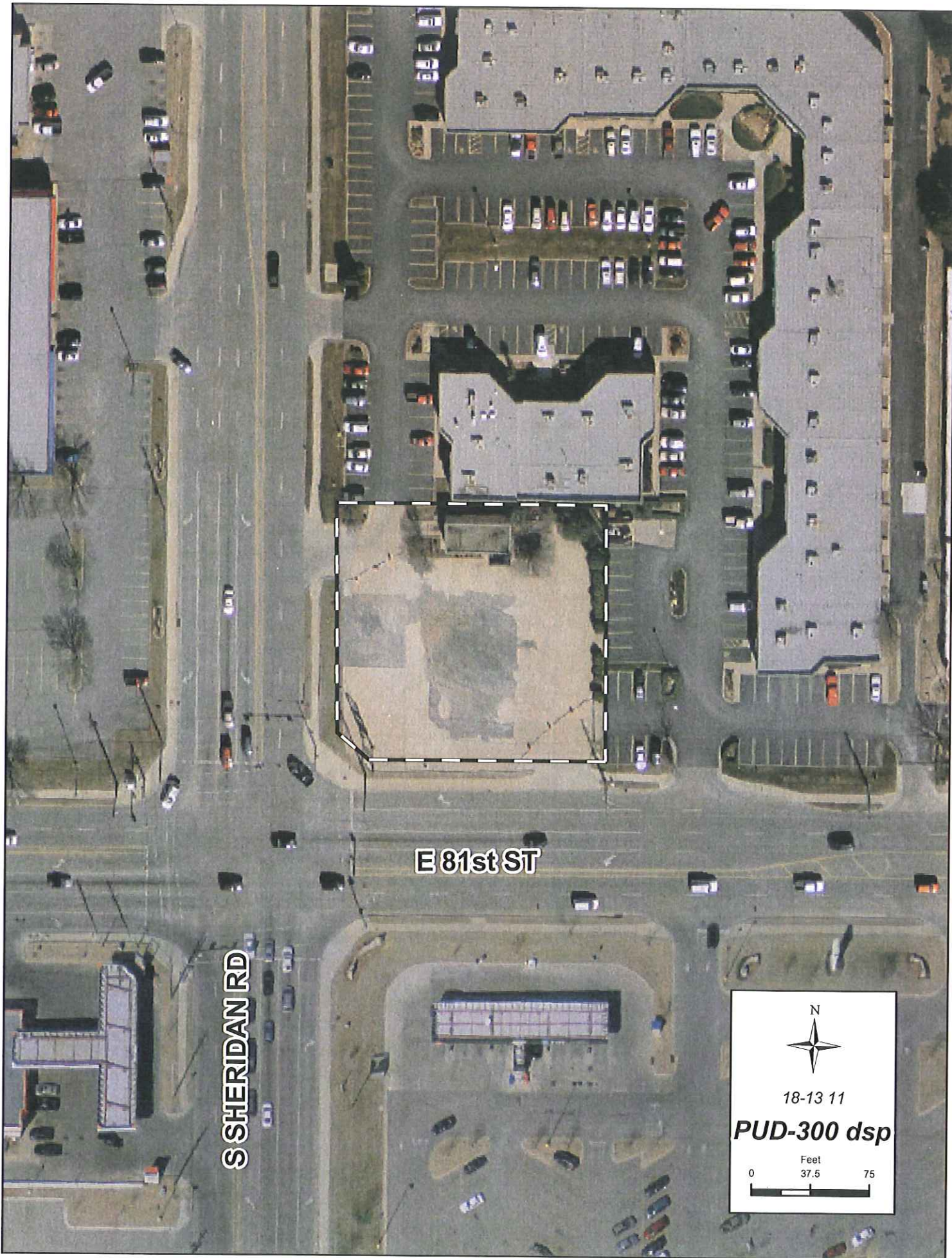
N

18-13 11

PUD-300 dsp

Feet
0 100 200

17.2



E 81st ST

S SHERIDAN RD

N

18-13 11

PUD-300 dsp

Feet
0 37.5 75

17.3

February 4, 2009

STAFF RECOMMENDATION

PUD-300: Detail Site Plan – Northeast corner of 81st Street and Sheridan Road; Part of Lot 1, Block 1 – Square One; TRS 8311; CZM 53; Atlas 1417; PD 18 CD 8; CS/RM-0/PUD.

The applicant is requesting approval of a detail site plan for an 8,000 square foot (sf) retail rug outlet. The proposed use, Use Unit 14 – Shopping Goods and Services is a permitted use within PUD-300. Associated with this detail site plan review, is concurrent minor amendment application PUD-300-7 also appearing on the February 4, 2009 agenda of the TMAPC. Approval of this detail site plan would be contingent upon the approval of the aforementioned minor amendment.

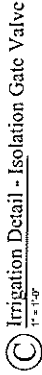
The submitted site plan meets all applicable building floor area, open space, building height and setback limitations as prescribed by the development standards of PUD-300 and as amended. Parking has been provided per the Zoning Code. Landscaping is provided per the landscape chapter of the Zoning Code with a 5-foot landscape strip along the west and southern boundary lines as required. All sight lighting is limited to 28-feet in height and will be directed down and away from adjoining properties. A trash enclosure has been provided as required by PUD development standards. Sidewalks will be provided or maintained where they exist along 81st Street and Sheridan Road as required by Subdivision regulations.

Staff recommends **APPROVAL** of the detail site plan for the construction of the retail carpet store located on Part of Lot 1, Block 1 – Square One, BEG 225E & 50N SWC SEC TH W145.02 CRV RT47.11 N145.02 E175 S175 POB LESS BEG 50N & 225.02E SWC SEC TH W145.02 CRV RT 47.11 SE36.89 E151.08 S8 POB FOR ST BLK 1 pending the approval of minor amendment application PUD-300-7.

(Note: Detail site plan approval does not constitute landscape and sign plan approval.)

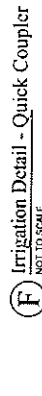
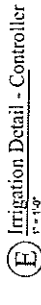
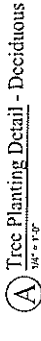
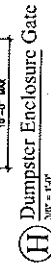
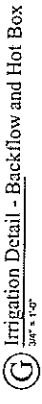
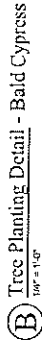
17.4

17.4



Place two inches of Natures Best uniformly across all planting beds. Natures Best shall be filled at least eight inches into the wall in all planting beds. Contractor shall be responsible for locating existing utilities and prepared utilities before excavable areas. Contractor shall be responsible for any damages to utility lines.

SECTION 11, T-18-N, R-13-E
CITY OF TULSA, TULSA COUNTY, OKLAHOMA

[illegible]

NOT TO SCALE

17.7



WORKERS' MOTIVATION

CONCEPTS RELEVANT TO THE MOTIVATION OF THE WORKER ARE EXPLORED, INCLUDING THE IMPORTANCE OF THE WORKER'S PERCEPTION OF THE VALUE OF HIS CONTRIBUTION TO THE ORGANIZATION AND THE IMPORTANCE OF THE WORKER'S PERCEPTION OF THE VALUE OF HIS CONTRIBUTION TO THE ORGANIZATION. THE IMPORTANCE OF THE WORKER'S PERCEPTION OF THE VALUE OF HIS CONTRIBUTION TO THE ORGANIZATION IS DISCUSSED IN THE CONTEXT OF THE WORKER'S PERCEPTION OF THE VALUE OF HIS CONTRIBUTION TO THE ORGANIZATION. THE IMPORTANCE OF THE WORKER'S PERCEPTION OF THE VALUE OF HIS CONTRIBUTION TO THE ORGANIZATION IS DISCUSSED IN THE CONTEXT OF THE WORKER'S PERCEPTION OF THE VALUE OF HIS CONTRIBUTION TO THE ORGANIZATION.

SHOPPING
CENTER

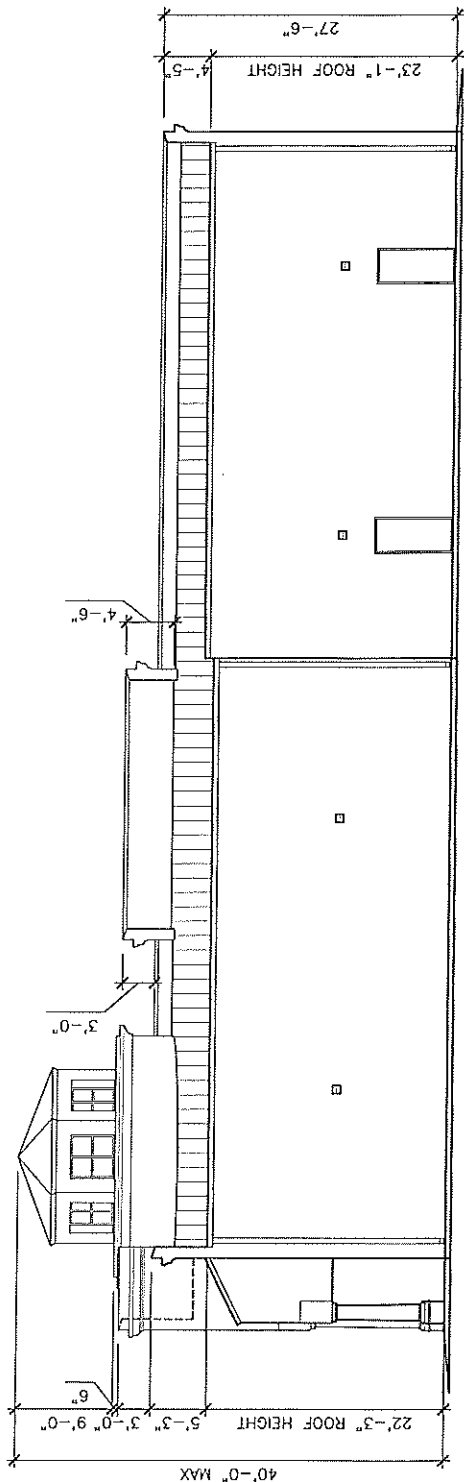
NEC EAST 81ST ST SOUTH
& SOUTH SHERIDAN RD
TULSA, TULSA CNTY, OK

Siamak Ahmady
853 East 71st Street
Tulsa, OK 74133
(918) 254-4094

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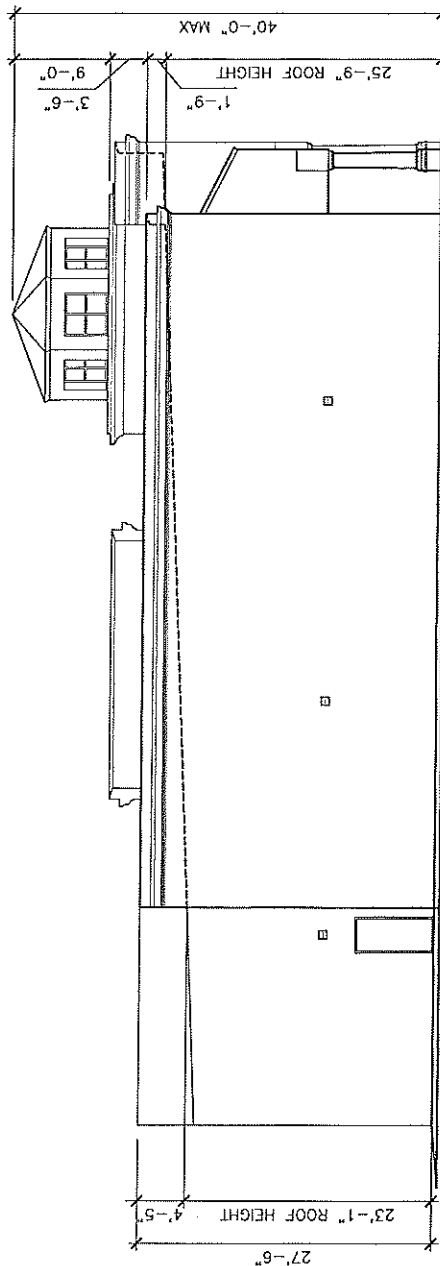
Project No.:	Alma07-0150	Sherridon
Drawn By:		BD
Checked By:		
Scale:	1" = 10'	
Date:	01.12.2009	
Revision:		
1	01.20.2009	
2	01.23.2009	
3		
4		
5		
6		
7		
8		
9		
10		

D.S.T.06



East Exterior Elevation

3/16" = 1'-0"



North Exterior Elevation

$$\underline{3/16'' = 1'-0''}$$

17.8

[illegible]

SHOPPING CENTER

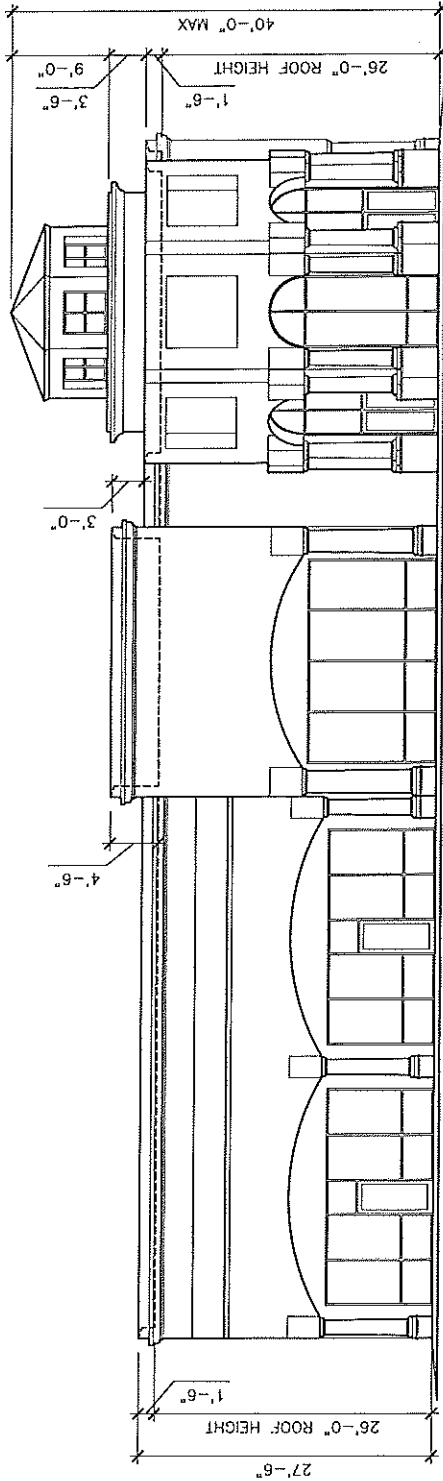
NEC EAST 81ST ST SOUTH
& SOUTH SHERIDAN RD
TULSA, TULSA CNTY, OK

Siamak Ahmady
7853 East 71st Street
Tulsa, OK 74133
(918) 254-4094

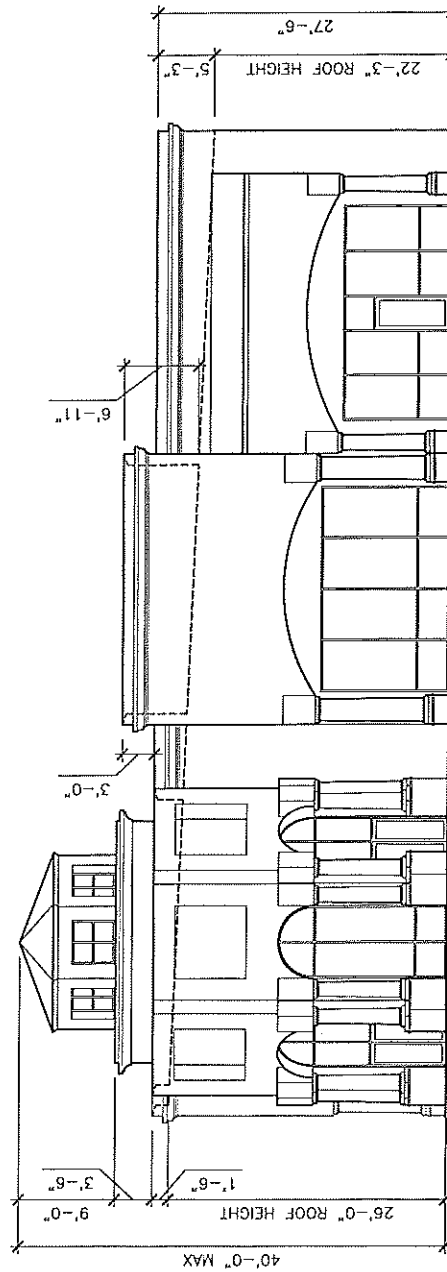
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Project No.: ASMANT-01	Date:
Drawn By:	
Checked By:	
Scale:	$1'' = 10'$
Title:	0112.2009
Revisions:	
A	01.20.2009
B	01.26.2009
C	
D	
E	
F	
G	

D.ST.05

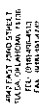


West Exterior Elevation

$$\underline{3/16" = 1'-0"}$$


South Exterior Elevation

$$3/16" = 1'-0"$$



11/10/77
RECEIVED
STATE OF OKLAHOMA
JANUARY 10 1978

ARCHITECT'S SEAL FOR
BACKGROUND SITE PLAN AND
LIGHT STANDARD DETAIL ONLY,
SITE LIGHTING SPECIFICATIONS
AND CALCULATIONS PROVIDED
BY BLAIR PERKINS OF PREMIER
LIGHTING GROUP, TULSA (918)
437-4520.

SHOPPING
CENTER

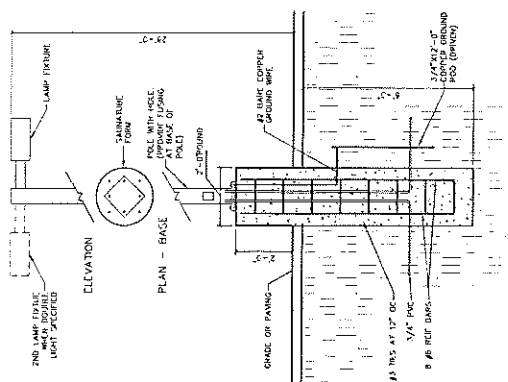
NEC EAST 81ST ST SOUTH
& SOUTH SHERIDAN RD
TULSA, TULSA CNTY, OK

Slamak Ahmady
7853 East 71st Street
Tulsa, OK 74133

instruments provided by the Archibuteo site, a collection of preprogrammed numbers for use mainly with the 16-bit cards provided for this project. The Archibuteo shell contains all sequence lists, statistics and other management rights, including the copyright. The names, numbers and comments shell not contain the names of the Archibuteo's instruments, except by mutual agreement in writing.

[illegible]

D.ST.02



SECTION -- BASE

Light Pole Standard

$$\frac{1}{10^2} = 10^{-2}$$
[illegible]

色	(1) STYAMA W60/A/B710	40000	100%	CONCRETE	872	4
	(2) STYAMA W60/A/B710	40000	100%	CONCRETE	872	4

[illegible]

KENNYBUNKPORT CALCULATIONS: HEIGHT = 28'

TO THE GIC:	$0 = 28 / \tan(90-60)$	$= 0 = 28 / .577 = 16'$
TO THE BACK:	$0 = 28 / \tan(90-25)$	$= 0 = 28 / .466 = 13'$
TO THE FRONT:	$0 = 28 / \tan(90-80)$	$= 0 = 28 / .176 = 15'$

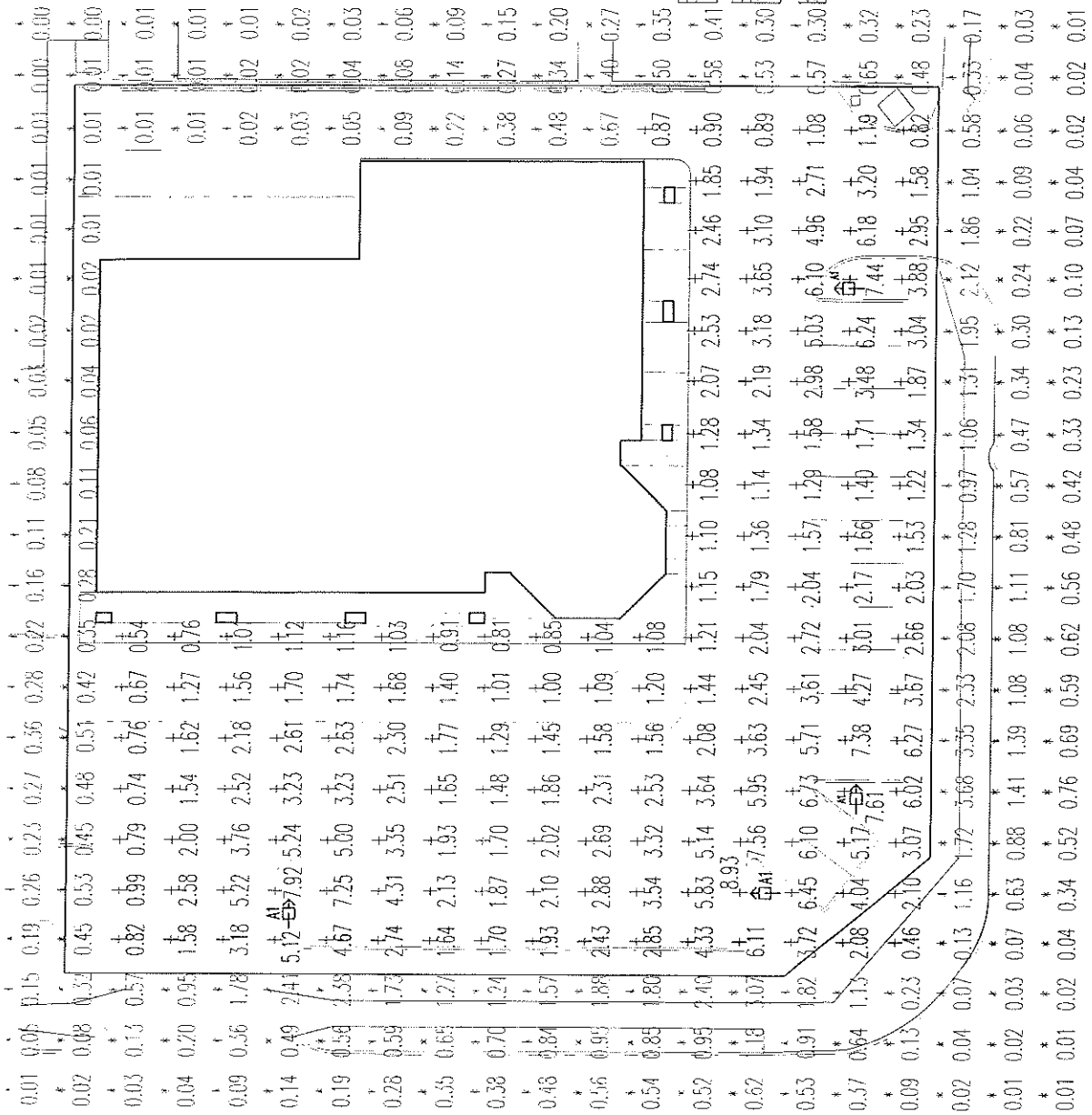
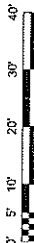
DETAIL SITE LIGHTING PLAN

FOR
SHOPPING CENTER

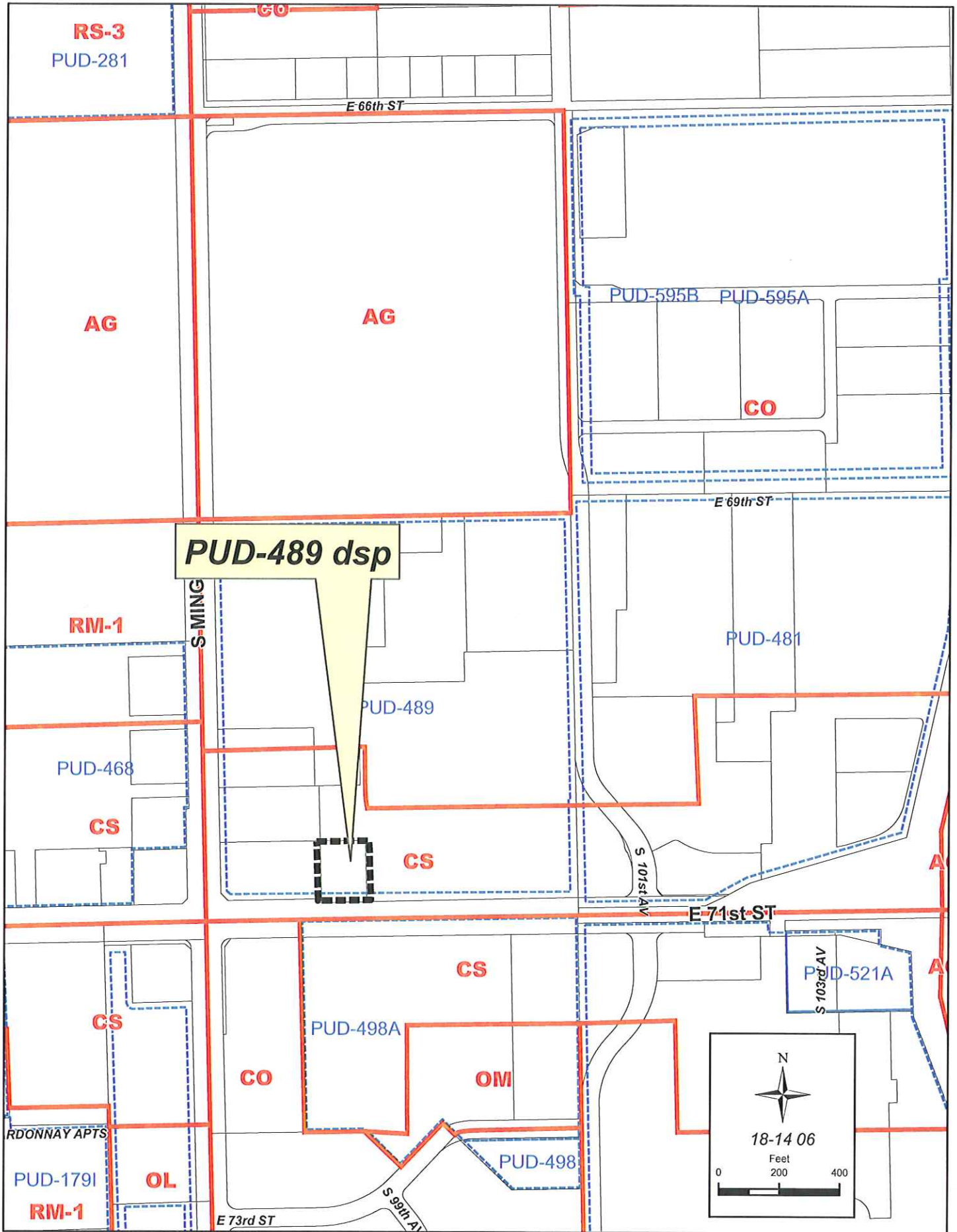
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SW/4 OF THE SW/4

4.

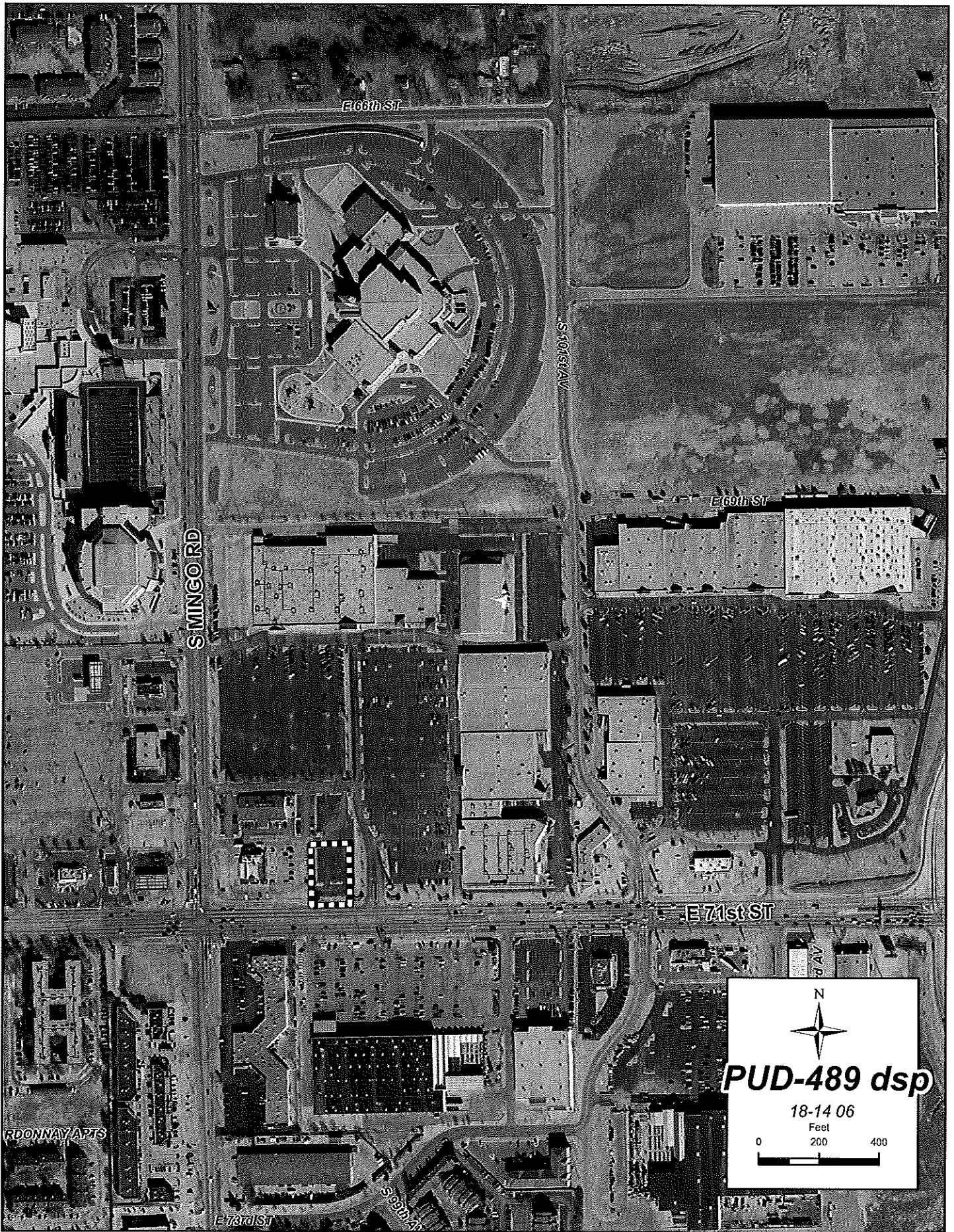
SECTION 11, T-18-N, R-13-E
CITY OF TULSA, TULSA COUNTY, OKLAHOMA



17.10



18.1



N

PUD-489 dsp

18-14 06

Feet

0 200 400

18.2



S MINGO RD

SUBJECT
TRACT

E 71st ST

N

PUD-489 dsp

18-14 06

Feet

0 100 200

18.3

February 4, 2009

STAFF RECOMMENDATION

PUD-489: Detail Site Plan – Approximately 370' east of the northeast corner of 71st Street and South Mingo Road; Part of Lot 6, Block 1 – 71 Mingo Center; TRS 8406; CZM 110; Atlas 996; PD 18; CD 7; CO/CS/PUD.

The applicant is requesting approval of a detail site plan for a 2,448 square foot (sf) restaurant. The proposed use, Use Unit 12 – Eating Establishments other Than Drive-ins is a permitted use in PUD-489.

The submitted site plan meets all applicable building floor area, open space, building height and setback limitations as set forth by adoption of PUD-489 and as amended. Parking has been provided per the Zoning Code. Outdoor seating is provided and amounts to 8% of the floor area of the building, therefore no extra parking is required per §1212, C-1c. Landscaping is provided in excess of the requirements of the landscape chapter of the Zoning Code. All sight lighting is limited to 24-feet in height and will be directed down and away from adjoining properties. A trash enclosure will be provided and the existing sidewalk along 71st Street will remain, or be replaced if removed during construction per subdivision regulations.

Staff recommends **APPROVAL** of the detail site plan for a 2,448 sf restaurant on the property described as PRT LT 6 BLK 1 BEG SWC LT 6 TH N379 E134.79 N332.59 E16.55 S356.66 SLY ALONG CRV LF 139.21 SLY ALONG CRV RT 156.88 S56.15 SLY ALONG CRV LF 16.28 TO SL LT 6 TH W231.91 POB.

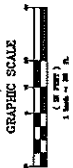
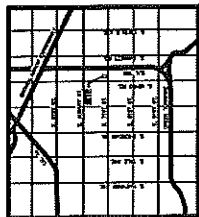
(Note: Detail site plan approval does not constitute landscape and sign plan approval.)

18.4

DETAIL SITE PLAN
 CITY OF TULSA, TULSA COUNTY, OKLAHOMA
 PART OF LOT 6, BLOCK 1
PANDA EXPRESS
 71st STREET CENTER

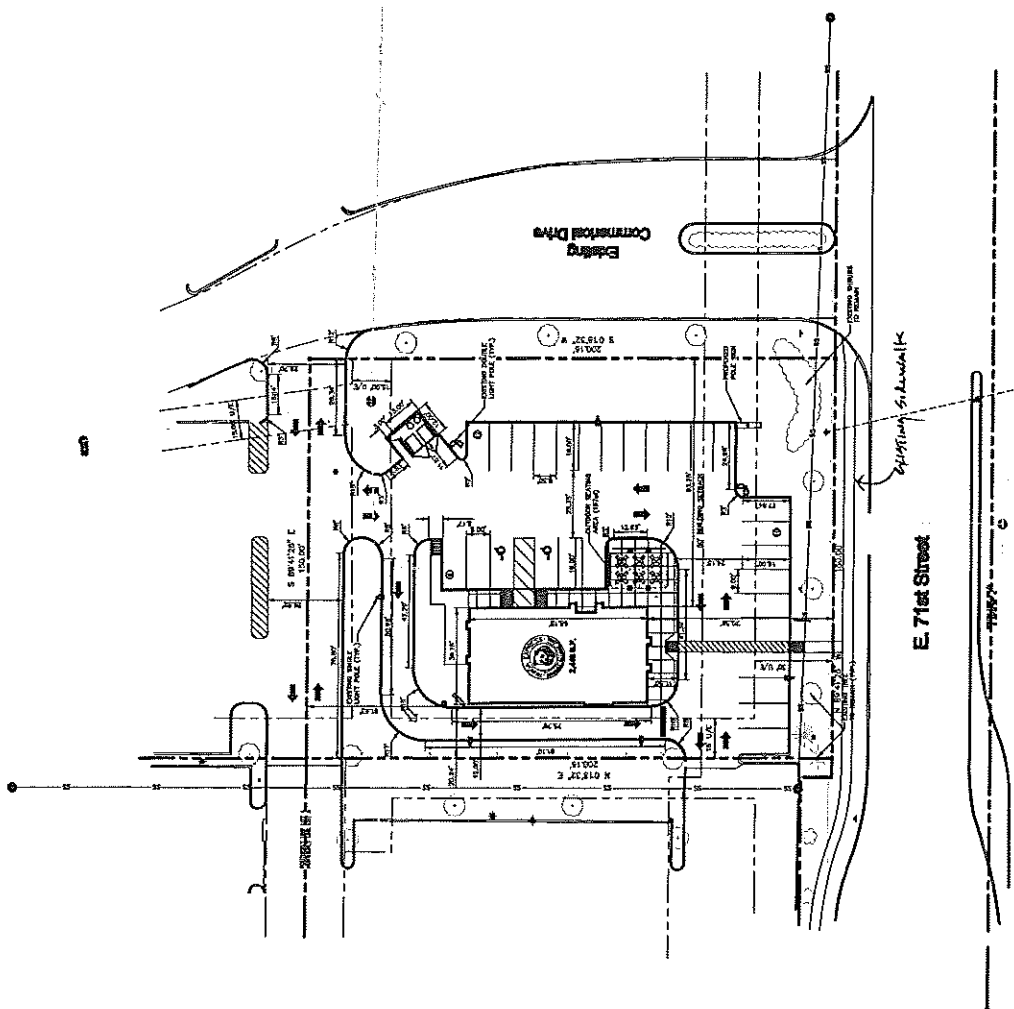
NO.	DATE	REVISION DESCRIPTION
1	04-09-21	PROJECT NO.

SHEET NO.
DSP-1



SITE TABULATIONS

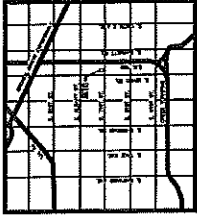
PUD: 4400
 Development Area: 0.95 Acres (30,924 sq ft NET)
 Permitted Use: As Allowed By Right In The C-2 Zone
 Proposed Use: Restaurant With Drive-Through Service
 Min. Plot Area Permitted: 3,769 sq ft per PUD-439-B
 Plot Area Proposed: 2,448 sq ft
 Max. Bldg. Height Permitted: 40' per PUD-439-B
 Max. Bldg. Height Proposed: 1 Story / 20'-0"
 Min. Bldg. Setback Required: 110' from Centerline of 71st St
 0' from other boundaries
 Off Street Parking:
 Ratio Per Use (Restaurant): 1/100 sq ft of floor area
 Minimum Required: 24
 Number of Spaces Proposed: 23
 Minimum % of Corresponding Landscape Area Required:
 10% of Street Front (1,123 sq ft)
 Minimum Internal Open Space Req'd: 10% of Site Area (3,092 sq ft)
 Minimum % of Corresponding Landscape Area Provided:
 33% of Site Area (9,562 sq ft)
 Undeveloped Street Front Per Street Frontage (10% of Street Front)
 Required: 1,125 sq ft
 Provided: 3,641 sq ft
 Additional Landscape Area(s) required: NA
 Lighting Height for Parking Areas: NA
 Max. Height Permitted: 24'
 Max. Height Proposed: 24'
 Outdoor Seating Parking Calculations, per 1212, C-1C
 197 sq ft of outdoor seating area
 Building area = 2,448 sq ft of building floor area, no
 additional parking required.



LANDSCAPE PLAN
 CITY OF TULSA, OKLAHOMA
 71 HENRY CENTER
 PART OF LOT 6, BLOCK 1
 PANDA EXPRESS

PROJECT NO.	04-09-01
DATE	04/20/04
DESIGNER	BANNISTER ENGINEERING
CHECKED BY	
DATE	
PROJECT LOCATION	
PROJECT DESCRIPTION	
PROJECT NO.	
DATE	
DESIGNER	
CHECKED BY	
DATE	
PROJECT LOCATION	
PROJECT DESCRIPTION	

SHEET NO.
1-1



EXISTING TREES TO REMAIN

TREE	SIZE	DESCRIPTION
1	6"	DECIDUOUS CANOPY
2	6"	CONIFER
3	7"	CONIFER
4	6"	DECIDUOUS CANOPY
5	6"	DECIDUOUS CANOPY
6	7"	DECIDUOUS CANOPY

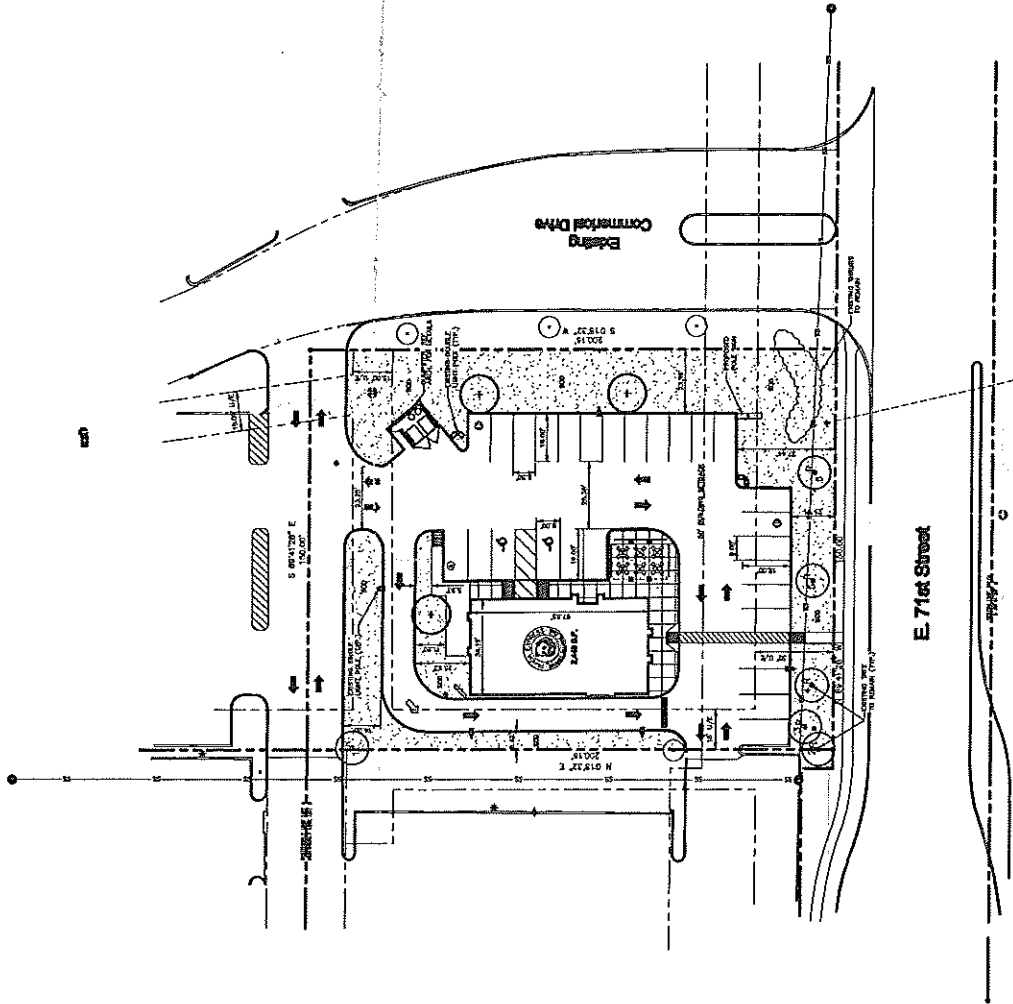
LANDSCAPE LEGEND

- CHINESE PISTACHE, Pigeonhole clematis, 3' caliper, 8'-10' height, matching
- EXISTING TREE TO REMAIN
- EXISTING TREE, ADJACENT PROPERTY
- AREA TO BE SODDED

LANDSCAPE TABULATIONS

PLD #480	0.00 Acres
Development Area	30,024 sf
Total Lot Area Square Footage	30,024 sf
Minimum Landscaped Area Required:	
- 10% of Total Area = 3,002 sf	
- 10% of Site Area = 3,002 sf	
- 33% of Site Area = 9,958 sf	
Minimum Inland Open Space/Landscaped Area Req'd: 10% (3,002 sf)	
Street Yard Area per Street Frontage:	
- 71st Street	
Required: 1,125 sf	
Provided: 3,541 sf	
Number of Trees per Street Yard (1 per 1,500 sf of Street Yard):	
- 71st Street:	
Required: 5	
Provided: 5 (all are existing trees to remain)	
Number of Trees for Parking Area (1 per 12 spaces):	
- Required: 3	
- Provided: 3 (20 spaces provided)	

NOTE: An automatic irrigation system will be installed per City of Tulsa irrigation design requirements. Solid system will provide coverage to all landscape areas within the site.







PANDA RESTAURANT GROUP INC.
5685 Wilshire Center
Beverly Hills, CA 90210
Tel: 310.777.1000
Fax: 310.777.1000

REVISIONS

ISSUE DATE
1ST SUBMITTAL 01/20/02

DRAWN BY

PANDA PROJECT # 201022

ARCHITECT



idgroup

STAMP

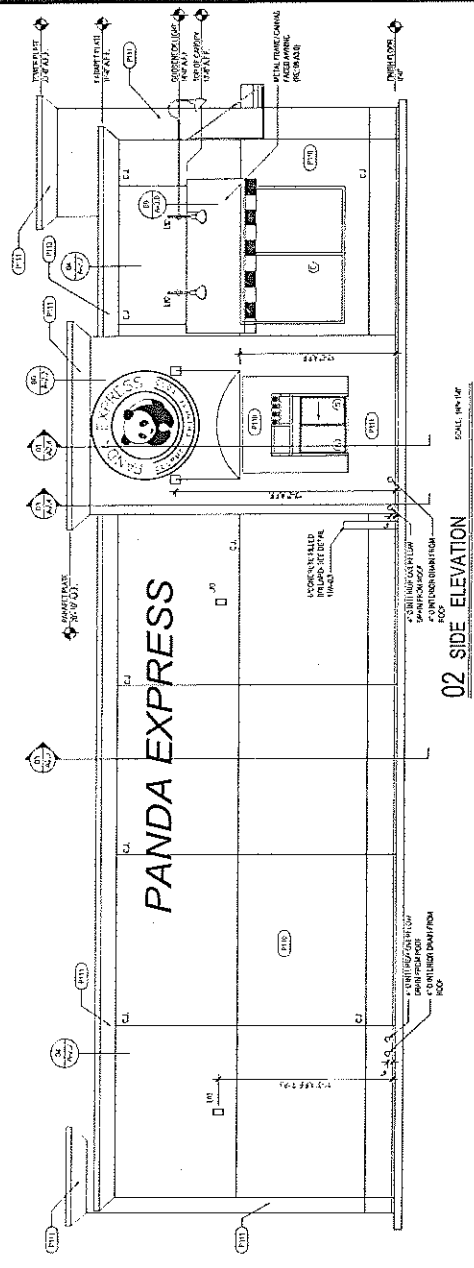
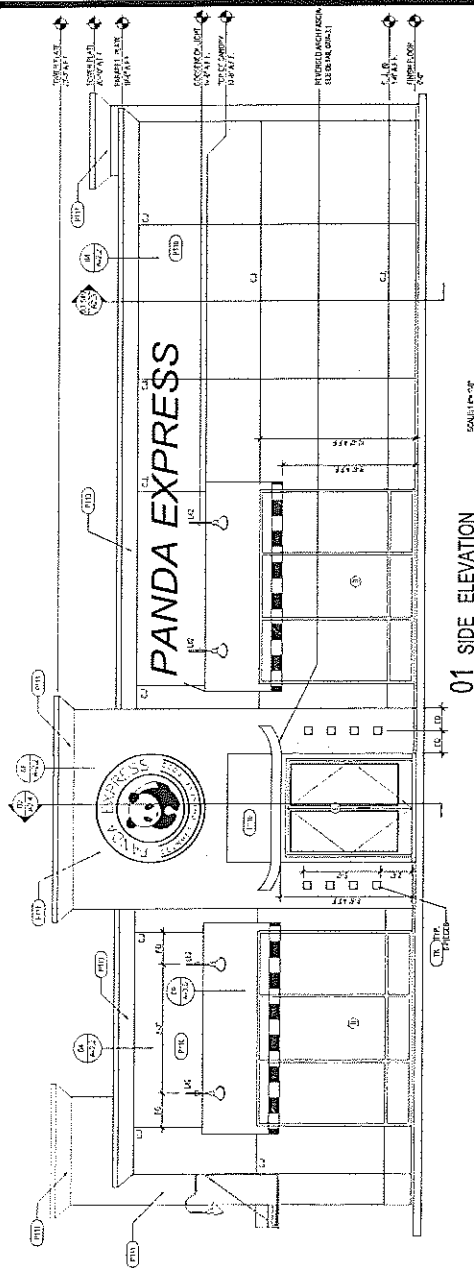
PANDA EXPRESS

714 A. Mader

TOTAL OF SHEETS

A-2.1

EXTERIOR ELEVATION



NOTES

1. THIS DRAWING IS FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE ALL NECESSARY INFORMATION FOR THE BUILDING DEPARTMENT TO APPROVE.
2. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
3. WHEN DIMENSIONS ARE SHOWN IN PARENTHESES, THEY ARE FOR INFORMATION ONLY AND SHALL BE USED TO MATCH THE BUILDING.
4. ALL DIMENSIONS ARE SHOWN IN PARENTHESES. DIMENSIONS SHALL BE USED TO MATCH THE BUILDING.
5. ROOF ACCESS SHALL BE PROVIDED INTERNALLY.

EXTERIOR FINISH SCHEDULE

ITEM	DESCRIPTION	COLOR
1	PAINT - EXTERIOR WALLS	WHITE
2	PAINT - EXTERIOR ROOF	WHITE
3	PAINT - EXTERIOR FLOOR	WHITE
4	PAINT - EXTERIOR CEILING	WHITE
5	PAINT - EXTERIOR DOORS	WHITE
6	PAINT - EXTERIOR WINDOWS	WHITE
7	PAINT - EXTERIOR SIGNAGE	WHITE
8	PAINT - EXTERIOR LIGHTS	WHITE
9	PAINT - EXTERIOR VENTILATION	WHITE
10	PAINT - EXTERIOR ROOF	WHITE
11	PAINT - EXTERIOR FLOOR	WHITE
12	PAINT - EXTERIOR CEILING	WHITE
13	PAINT - EXTERIOR DOORS	WHITE
14	PAINT - EXTERIOR WINDOWS	WHITE
15	PAINT - EXTERIOR SIGNAGE	WHITE
16	PAINT - EXTERIOR LIGHTS	WHITE
17	PAINT - EXTERIOR VENTILATION	WHITE
18	PAINT - EXTERIOR ROOF	WHITE
19	PAINT - EXTERIOR FLOOR	WHITE
20	PAINT - EXTERIOR CEILING	WHITE
21	PAINT - EXTERIOR DOORS	WHITE
22	PAINT - EXTERIOR WINDOWS	WHITE
23	PAINT - EXTERIOR SIGNAGE	WHITE
24	PAINT - EXTERIOR LIGHTS	WHITE
25	PAINT - EXTERIOR VENTILATION	WHITE
26	PAINT - EXTERIOR ROOF	WHITE
27	PAINT - EXTERIOR FLOOR	WHITE
28	PAINT - EXTERIOR CEILING	WHITE
29	PAINT - EXTERIOR DOORS	WHITE
30	PAINT - EXTERIOR WINDOWS	WHITE
31	PAINT - EXTERIOR SIGNAGE	WHITE
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82	PAINT - EXTERIOR ROOF	WHITE
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84	PAINT - EXTERIOR CEILING	WHITE
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97	PAINT - EXTERIOR VENTILATION	WHITE
98	PAINT - EXTERIOR ROOF	WHITE
99	PAINT - EXTERIOR FLOOR	WHITE
100	PAINT - EXTERIOR CEILING	WHITE

18.8



PANDA RESTAURANT GROUP INC.
1000 Wilshire Center Ave.
Los Angeles, CA 90017
Telephone: 213.704.1000
Facsimile: 213.704.1001

REVISED:
DATE: 01/11/00
BY: [Signature]
REASON: [Text]

REVISIONS:
DATE: 01/11/00
BY: [Signature]
REASON: [Text]

DATE: 01/11/00
BY: [Signature]
REASON: [Text]

DATE: 01/11/00
BY: [Signature]
REASON: [Text]

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DATE: 01/11/00
BY: [Signature]
REASON: [Text]

DATE: 01/11/00
BY: [Signature]
REASON: [Text]

DATE: 01/11/00
BY: [Signature]
REASON: [Text]

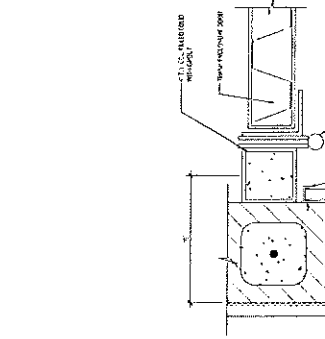
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REASON: [Text]

DATE: 01/11/00
BY: [Signature]
REASON: [Text]

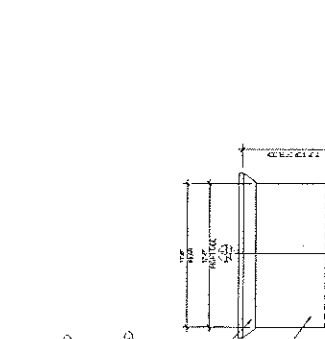
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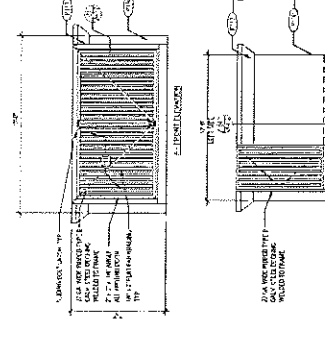
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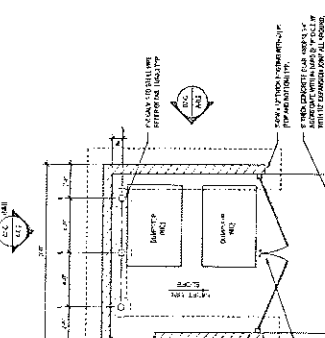
02 TRASH ENCLOSURE ELEVATIONS
SCALE: 1/4" = 1'-0"



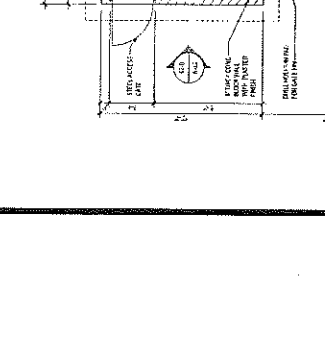
03 HINGE DETAIL
SCALE: 1/4" = 1'-0"



04 ENCLOSURE SECTION
SCALE: 3/8" = 1'-0"



05 GATE CAP DETAIL
SCALE: 1/4" = 1'-0"



06 GATE CAP DETAIL
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

NO.	DESCRIPTION	QTY	UNIT
1	PAINT (EXTERIOR)	1	100
2	PAINT (INTERIOR)	1	100
3	PAINT (WOODWORK)	1	100
4	PAINT (GLASS)	1	100
5	PAINT (METAL)	1	100
6	PAINT (CONCRETE)	1	100
7	PAINT (STUCCO)	1	100
8	PAINT (BRICK)	1	100
9	PAINT (STONE)	1	100
10	PAINT (TILE)	1	100

EXTERIOR FINISH SCHEDULE

NO.	DESCRIPTION	QTY	UNIT
1	PAINT (EXTERIOR)	1	100
2	PAINT (INTERIOR)	1	100
3	PAINT (WOODWORK)	1	100
4	PAINT (GLASS)	1	100
5	PAINT (METAL)	1	100
6	PAINT (CONCRETE)	1	100
7	PAINT (STUCCO)	1	100
8	PAINT (BRICK)	1	100
9	PAINT (STONE)	1	100
10	PAINT (TILE)	1	100

EXTERIOR FINISH SCHEDULE

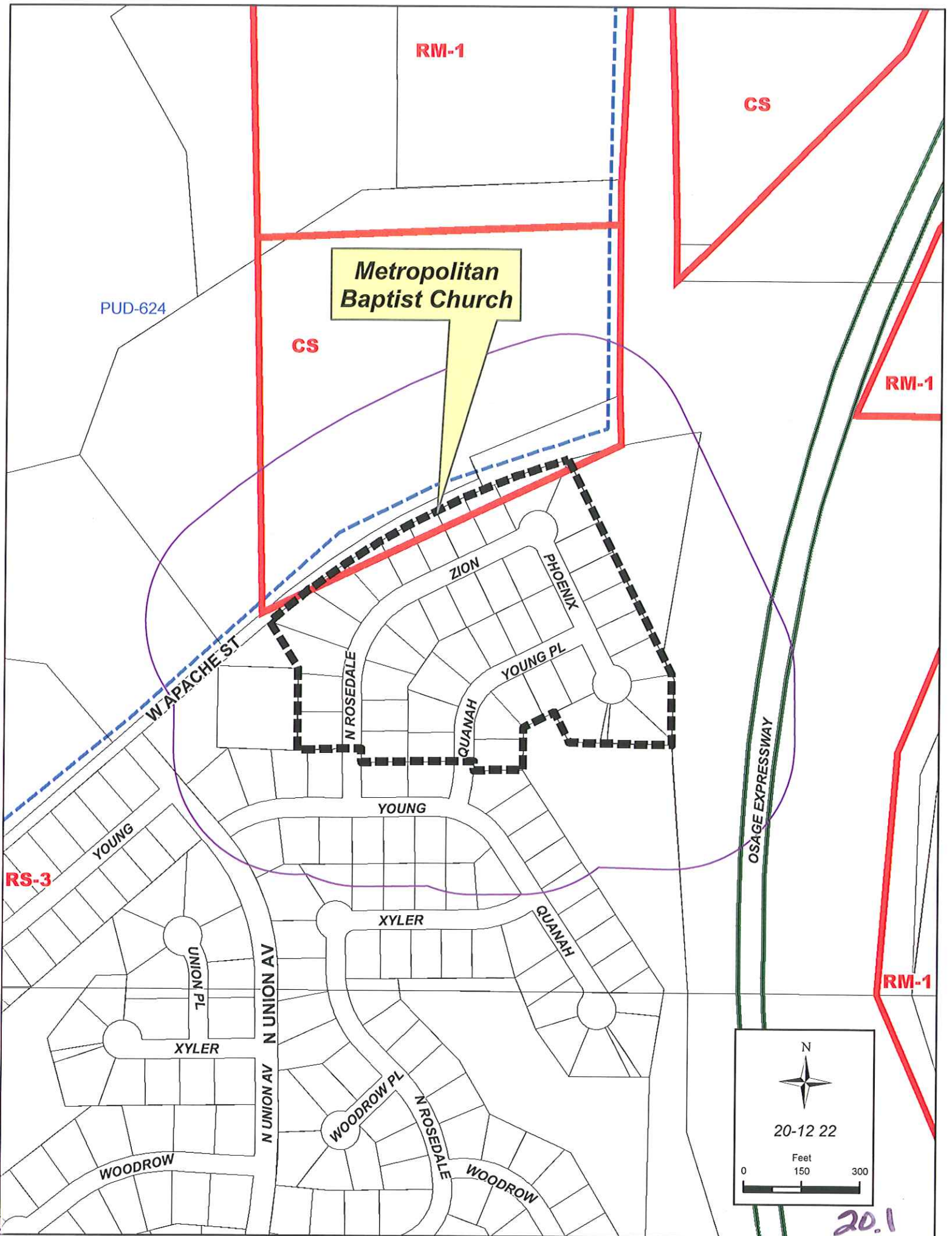
NO.	DESCRIPTION	QTY	UNIT
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2	PAINT (INTERIOR)	1	100
3	PAINT (WOODWORK)	1	100
4	PAINT (GLASS)	1	100
5	PAINT (METAL)	1	100
6	PAINT (CONCRETE)	1	100
7	PAINT (STUCCO)	1	100
8	PAINT (BRICK)	1	100
9	PAINT (STONE)	1	100
10	PAINT (TILE)	1	100

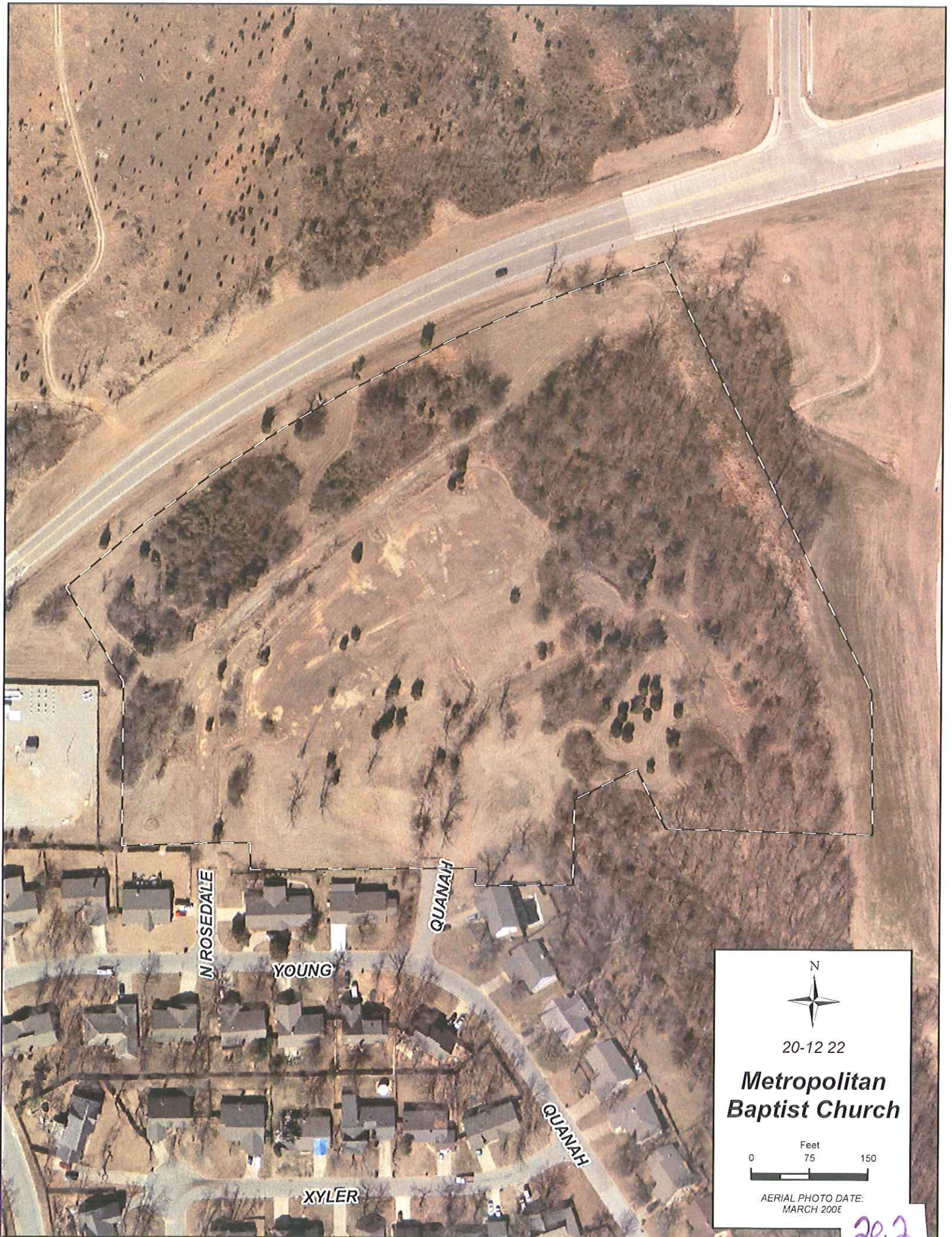
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NO.	DESCRIPTION	QTY	UNIT
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3	PAINT (WOODWORK)	1	100
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NO.	DESCRIPTION	QTY	UNIT
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7	PAINT (STUCCO)	1	100
8	PAINT (BRICK)	1	100
9	PAINT (STONE)	1	100
10	PAINT (TILE)	1	100





20-12 22

**Metropolitan
Baptist Church**

0 Feet 75 150

AERIAL PHOTO DATE:
MARCH 2006

20.2

PRELIMINARY SUBDIVISION PLAT

Metropolitan Baptist Church - (0222) (PD 11) (CD 11)

North of West Apache and West of North Osage Expressway

This plat consists of 1 Lot, 1 Block, on 12.9 acres.

The following issues were discussed January 6, 2009 at the Technical Advisory Committee (TAC) meeting:

1. **Zoning:** The property is zoned RS-3 with Board of Adjustment Case 19779 to allow the church use. The underlying plat has been vacated. No access is allowed from the south per the Board of Adjustment conditions of approval.
2. **Streets:** West of Tisdale Parkway, Apache street is a Primary Arterial with 120 feet of right-of-way (ROW) requirement. Additional 30 feet right-of-way dedication is required. Show and label center line of Apache. Include standard sidewalk language: Sidewalks are required along streets designated by and in accordance with subdivision regulations. Required sidewalks shall be constructed in conformance with City of Tulsa engineering design standards. The owner/developer shall construct required sidewalks within reserve areas, common areas, and along arterial street frontages of abutting lots having access onto minor streets. Where sidewalks are not constructed by the owner/developer, the builder of each lot shall construct the required sidewalk. Label driveway points of access and the remaining frontage to Apache Street as limits of no access (LNA). Show and plan to construct sidewalks on Apache street right-of-way (south side or pay in lieu of fee for sidewalks).
3. **Sewer:** In Section I, C-2, omit the words "in excess of 3 feet "from the first sentence. Use standard language for all five statements within the section. The six inch service line will not be allowed to connect to the sanitary sewer main at the manhole as shown.
4. **Water:** A 20 foot restrictive water line easement will be needed for the water main line. Add restrictive water line easement language. A looped 6 inch water main line is proposed.
5. **Storm Drainage:** In one lot, one block additions; detention easements should not be placed in reserves. Standard covenant language must be used for Section I, C and H.

6. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** No comment.
7. **Other: Fire:** Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Exception: The fire code official is authorized to increase the dimension of 150 feet where: 1. The building is equipped throughout with an approved automatic sprinkler system. 2. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided. 3. There are not more than two Group R-3 or Group U occupancies. The required turning radius of a fire apparatus access road shall be determined by the fire code official. Fire apparatus roads shall be designed with a minimum of 28 feet inside radius and a minimum of 48 feet outside radius. Dead-end fire apparatus access roads in excess of 10 feet in length shall be provided with an approved area for turning around fire apparatus. Cul-de-sacs shall not exceed seven hundred and fifty (750) feet in length, measured from the centerline of the intersection streets to the center of the turn-around. Cul-de-sacs shall have a turn-around radius of not less than thirty-eight (38) feet of paving, utilizing a rolled curb section wherever possible, and a radius of fifty (50) feet of right-of-way at the property line. Cul-de-sacs greater than two hundred and fifty (250) feet in length shall have a turn-around radius of not less than forty (40) feet of paving and a radius of fifty-two (52) feet of right-of-way at more than twenty (20) lots shall have a turn-around radius of not less than forty-eight (48) feet of paving and a radius of sixty (60) feet of right-of-way at the property line. For a cul-de-sac with a rolled curb section the turnaround radius may be measured to the back of the curb. Alternative turnarounds may be a one hundred and twenty (120) foot hammerhead or a sixty foot (60) "Y". An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved automatic sprinkler system the distance requirement shall be 600 feet. **GIS:** Locate and label the existing Osage Expressway on the location map. Give a description of the basis of bearing and give this bearing in degrees, minutes and seconds. Fix the inconsistencies between the metes and bounds legal description and what is shown on the face of the plat. Label the point of commencement (POC).

Staff recommends **APPROVAL** of the Preliminary Subdivision plat subject to the TAC comments and the special and standard conditions below.

20.4

Waivers of Subdivision Regulations:

1. None requested.

Special Conditions:

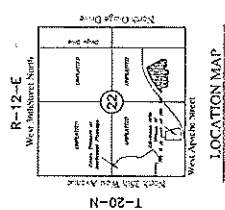
1. The concerns of the public works department staff must be taken care of to their satisfaction.

Standard Conditions:

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures, shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topo map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.
12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)

13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefore shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefore shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.

An Addition to the City of Tulsa being a part of the SE/4 of Section 22, Township 20 North, Range 12 East, of the I. B. & M., Osage County, State of Oklahoma Addition has 1 Lots in 1 Block and 3 Reserves contains 12.978 acres, more or less.



OWNER
Metropolitan Baptist Church
4025 North Hartford Avenue
Tulsa, Oklahoma 74106-1530
(918) 425-5402
(918) 425-0388 fax

ENGINEER
RK & Associates PLC
6130 South Maplewood, Suite B
Tulsa, Oklahoma 74138
(918) 794-8145
rkmanagers@cbglobal.net
Certificate of Authorization No. AR31

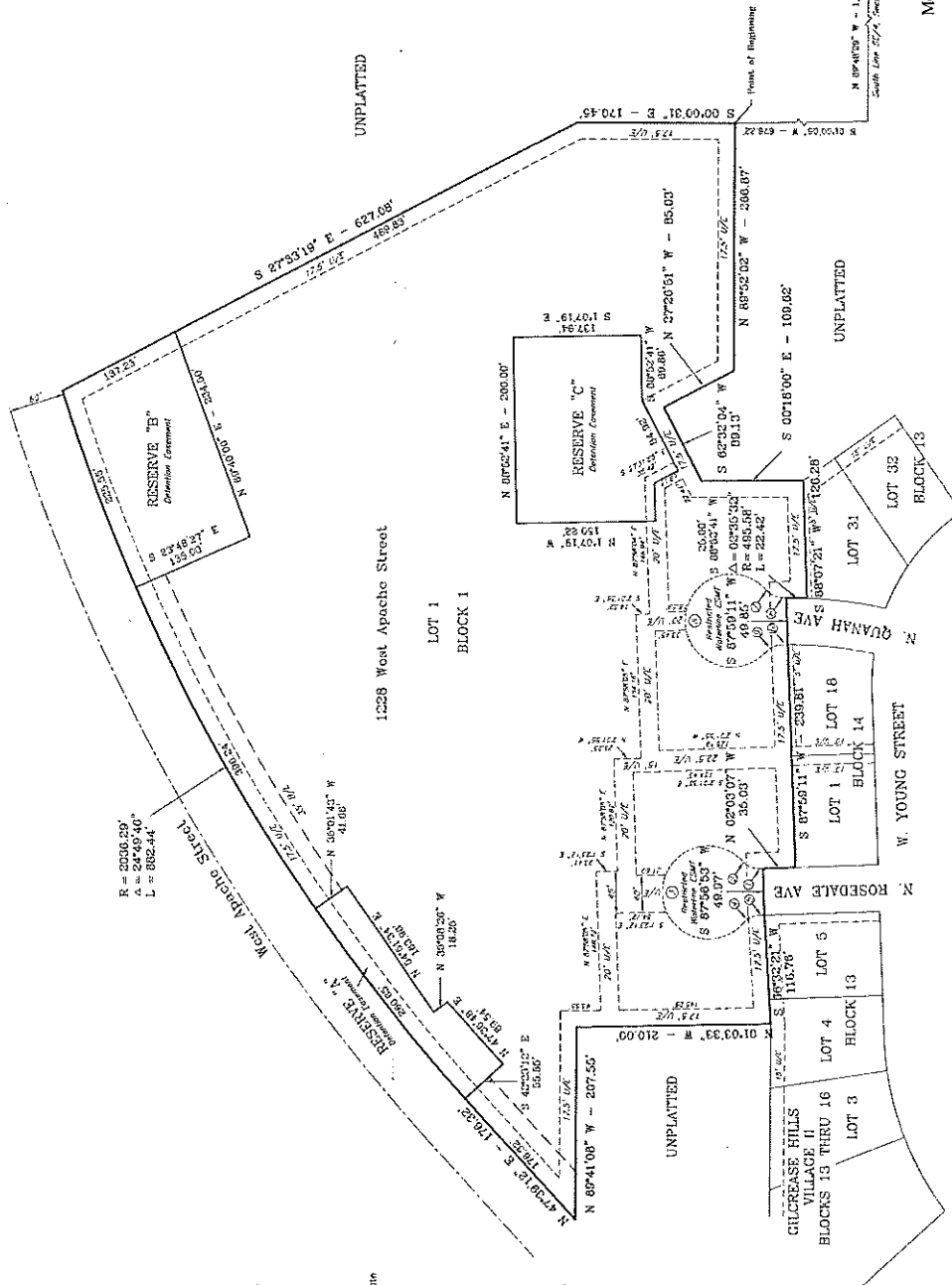
SURVEYOR
Horden & Associates
Surveying and Mapping, PC
2001 South 114th East Avenue
Tulsa, Oklahoma 74128
(918) 234-4859
(918) 437-5551 fax
Certificate of Authorization No. 46550

RECEIVED
JAN 31 1979
Title Meeting for Arms
Producing Countries
very good, no other
country in the area

022 00 RVY
11/11/1978
11/11/1978
11/11/1978

Southwest Corner of the 564
Station 22, 1-20-4, 11-12-4

Metropolitan Baptist Church, Osage County
Preliminary Plat, December 17, 2008
SHEET 1 OF 2



U/E = UTILITY EASEMENT
O/D/L = OVERLAND DRAINAGE EASEMENT
B/L = BUILDING LINE
LNA = LIMITS OF NO ACCESS

The bearings shown herein are based on the Oklahoma State Plane Coordinate System NAD 83 (1993).

Addresses shown on this plat were inaccurate at the time this plat was filed. Addressee are subject to change and should never be relied on in place of legal description.

All lot corners are to be monumented with a 3/8" iron pin with Plastic Cap upon completion of the infrastructure construction.

①	N	2°03'07"	W	= 2.41°
②	R=20°			$\lambda=27.68^\circ$
③	R=50°			$\lambda=24.118^\circ$
④	R=25°			$\lambda=20.37^\circ$
⑤	S	2°03'07"	E	= 5.03°
⑥	R=403.58"			$\lambda=2.45^\circ$
⑦	R=25°			$\lambda=21.65^\circ$
⑧	R=50°			$\lambda=24.132^\circ$
⑨	R=25°			$\lambda=20.41^\circ$
⑩	R=445.58"			$\lambda=5.78^\circ$

AG

IH

IM

IM

E 32nd ST N

IM

Airpark Distribution Center II

TULSA INTERNATIONAL RACEWAY

IM

N 129th AVE

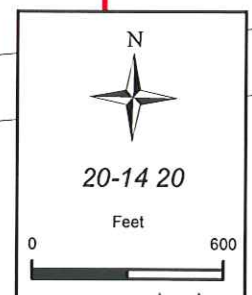
IM

E APACHE ST

IM

AG

RS-3



21.1

E 32nd ST N

TULSA INTERNATIONAL RACEWAY

N 129th AVE E

E APACHE ST

Airpark Distribution
Center II



20-14 20

Feet



Photo Date: 11-11-11

21.2

PRELIMINARY SUBDIVISION PLAT

Airpark Distribution Center II - (0420) (PD 16) (CD 6)

North side of East Apache Street between North Garnett Road and North 129th East Avenue

This plat consists of 4 Lots, 1 Block, on 75.34 acres.

The following issues were discussed January 15, 2009 at the Technical Advisory Committee (TAC) meeting:

1. **Zoning:** The property is zoned IM (industrial medium).
2. **Streets:** Bridge will be required across floodplain to access Lot 1. Developer needs to verify that points of access do not conflict with guardrail installations and if conflicting, adjust access points not to conflict.
3. **Sewer:** Provide perimeter easement along the north and west boundary of the plat. Do not allow the encroachment on utility easements within the 30 foot sanitary sewer easement for the proposed 24 inch and 12 inch lines. Along the north boundary, where the 12 inch sewer line is proposed, additional easement is required, and we need an exclusive SS/E (sanitary sewer easement). The utility easement can be located adjacent to the 30 foot sanitary sewer easement, but not within it. As agreed to in the predevelopment meeting, the development will be required to extend the 24 inch to south right-of-way, and the 12 inch sanitary sewer line to the east right-of-way.
4. **Water:** No comment.
5. **Storm Drainage:** The CLOMAR (conditional letter of map revision) must be approved, and the CLOMR number must be added to the face of plat, before the Final Draft Plat can be approved. The Overland Drainage easement, to convey the floodplains across the property, must include all floodplain area plus an additional 15 foot area must outside and adjacent to the floodplain for maintenance access. If the floodplain is less than 150 feet wide, then the additional 15 foot area must be included on both sides of the floodplain. This is a multiple lot development; therefore, the overland drainage easement must be placed in a reserve area. The engineer must prepare and submit a detention determination, with all backup information to support that determination, to the infrastructure management division of the development services department of the City of Tulsa. Detention and the easement for detention may be required on this 75 acre site. Compensatory storage will

be required to change the location of the floodplain, as will the Compensatory storage easements. In Section I.G: Please use the standard language for an overland drainage easement for floodplain in a reserve area, stormwater detention in a reserve, and compensatory storage. Add the conceptual building locations, drainage inlet for each lot, and storm sewer system to convey the drainage to the flowline of the adjacent drainage channel.

6. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** Additional easements may be necessary..
7. **Other: Fire:** Any bridges to structures on Lot 3 shall meet the following requirement: Where a bridge or an elevated surface is part of a fire apparatus access road, the bridge shall be constructed and maintained in accordance with AASHTO standard specification for highway bridges. Bridges and elevated surfaces shall be designed for a live load sufficient to carry the imposed loads of fire apparatus. Vehicle load limits shall be posted at both entrances to bridges when required by the fire code official. Where elevated surfaces designed for emergency vehicle use are adjacent to surfaces which are not designed for such use, approved barriers, approved signs or both shall be installed and maintained when required by the fire code official. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus byway of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75, 000 pounds. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exceptions: 1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet. 2. For buildings equipped throughout with an approved automatic sprinkler system the distance requirement shall be 600 feet. For any buildings constructed exceeding the 400 feet for non-sprinkled building and 600 feet for sprinkled buildings a looped water main extension with proper easements will be required to supply the fire hydrants necessary to protect the building. **GIS:** Give a description of the basis of bearing and give this bearing in degrees, minutes and seconds. Use the IDP (infrastructure development process) language.

Staff recommends **APPROVAL** of the Preliminary Subdivision plat subject to the TAC comments and the special and standard conditions below.

Waivers of Subdivision Regulations:

1. None requested.

Special Conditions:

1. The concerns of the public works department staff must be taken care of to their satisfaction.

Standard Conditions:

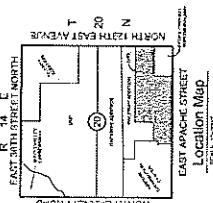
1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures, shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topo map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.
12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the

ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)

13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefore shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
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17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.

A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER (SE/4) AND SOUTHWEST QUARTER (SW/4)
OF SECTION 20, TOWNSHIP 20 NORTH, RANGE 14 EAST,
CITY OF TULSA, TULSA COUNTY, OKLAHOMA

Engineer/Surveyor:
Sisomoro Welsz & Associates, Inc.
Certificate of Authorization No. 7421 Exp. June 30, 2009
6111 E. 32nd Place
Tulsa, Oklahoma 74135
Phone: (918) 665-3000
E-mail: rwelsz@swa-inc.com



Subdivision Statistics:
SUBDIVISION CONTAINED 1 OUR (4) LOT # ONE (1) BLOCK
SUBDIVISION CONTAINS 75.34 TOTAL ACRES (3,281,609 S.F.)
FLOWING DECREASED BY 14.40 ACRES (150,477 S.F.)

Legend:

- * UTILITY EASEMENT
 * PLUMBING TRACK LINE
 * PLUMBING EASEMENT
 * SANITARY SEWER EASEMENT
 * COMBINED DRAINAGE EASEMENT
 * DITCH LINE EASEMENT
 * WATER LINE EASEMENT
 * HIGHWAY
 * ACRES
 * ACRES
 * LIMITS OF NO ACCESS
 * 10' WIDE PIN
 * POINT OF BEGINNING
 * POINT OF BEGINNING

ປ້ອນນາມຕົນເອງ:

WE KNOW OURS TO BE SET AT ALL PROPERTY CORNERS AND
OF CORNERS, UNLESS OTHERWISE NOTED.

THE BILLING'S BASE FOR THIS SURVEY ARE CITED IN A MON-
DAYS ON OKLAHOMA STATE PLANNING COORDINATE SYSTEM
NORTH ZONE NAD 83 (1983).

Benchmark: SHIELDED SOLUBLE OR CONCRETE REINFORCED LOCATED APPROPRIATELY TO INSURE THE USE OF THE MOST ECONOMICALLY ADVANTAGEOUS CORRECTION

OF LOT 1, BLOCK 1, NEDIN CHUNDWEE I MORELAND.
SEE NAME DATUM
LEVA TICH-104.39

ELEMENTS SHOWN WITHIN LOT 1, BLOCK 1, RACEWAY ADDITION ARE FOR THE RECORDED PLAN OF RACEWAY ADDITION # NO. 25411.

SAMPLES SHOWN WITHIN LOT 5, BLOCK 1, FEDEX GROUND-WATER ARE IN THE Hatched PLAT OF FEDEX GROUND-WATER MORE PLAT NO. 9822.

OF THE SUBDIVISION AS MARGINAL AND PREPARED BY THE
OF TULSA. CONSTRUCTION OF SUCH MARGINALS SHALL BE
RESPONSIBILITY OF THE OWNER / DEVELOPER OR BUILDER
THAT LOT

Aron Table	
BLACK	LOSHAK, CHAKRABARTY, PERRY & ASSOCIATES

[illegible]

	1	007-02N QB (19 Feb AC)
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E: SEE SHEETS 2 & 3 FOR ALL INTERIOR DIMENSIONS.

1. THEY WILL BE CONSIDERED

RECEIVED
JAN 15 2009
THE NATIONAL ARCHIVES
WASHINGTON, D.C.

STANALITA
CONTRASTO

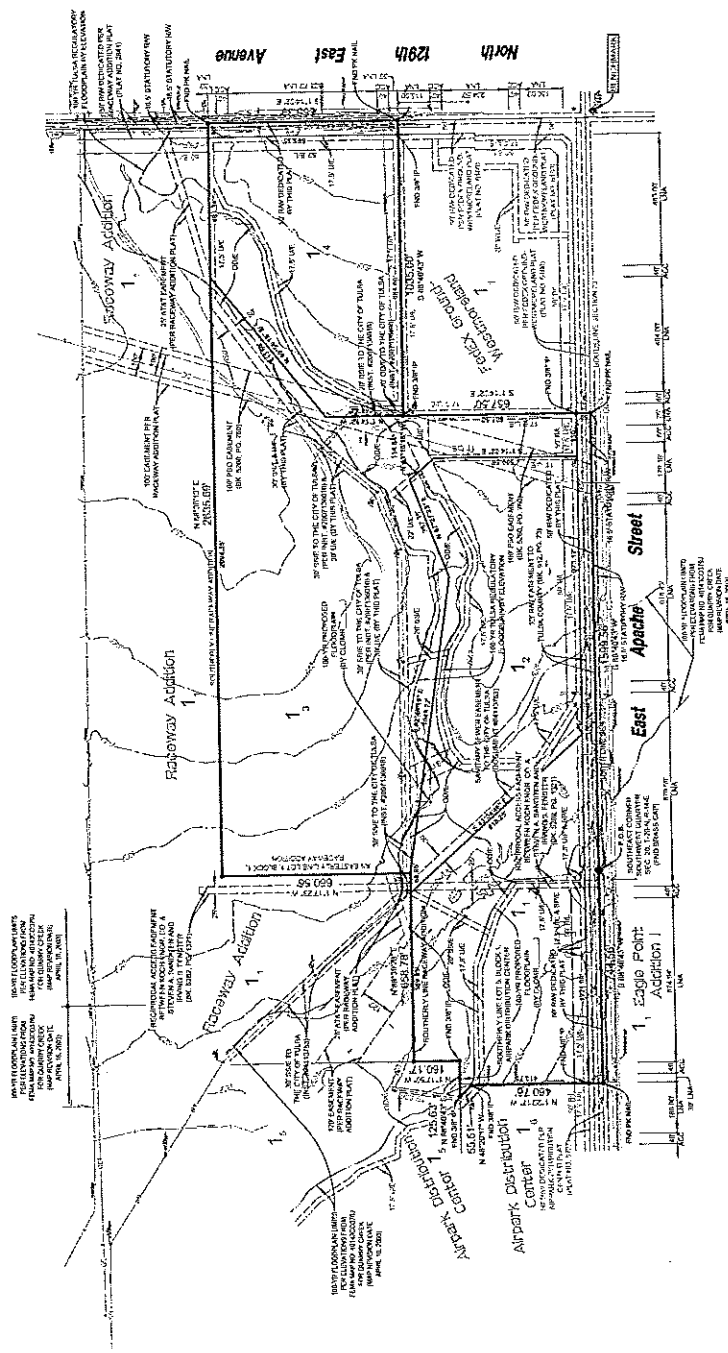
THIS DOCUMENT IS PRELIMINARY
AND IS NOT A FINAL, CORRECTED
AND REELED DOCUMENT.

29 2523 Preliminary
A large number of publications are

Non Perpetrated, November 22.

$\frac{1}{\sqrt{\pi}} \int_{-\infty}^{\infty} f(x) e^{-x^2} dx = \frac{1}{\sqrt{\pi}} \int_{-\infty}^{\infty} f(x) e^{-x^2} dx$

PLAT SHEET WITH TOPOGRAPHIC
INFORMATION DISPLAYED

[illegible]

PUD-648-A PUD-648

CO

RIVERWEST

PROPOSED

PUD-768

RS-3

AG

W 71st ST

AG

CO

RS-3

S JACKSON AV

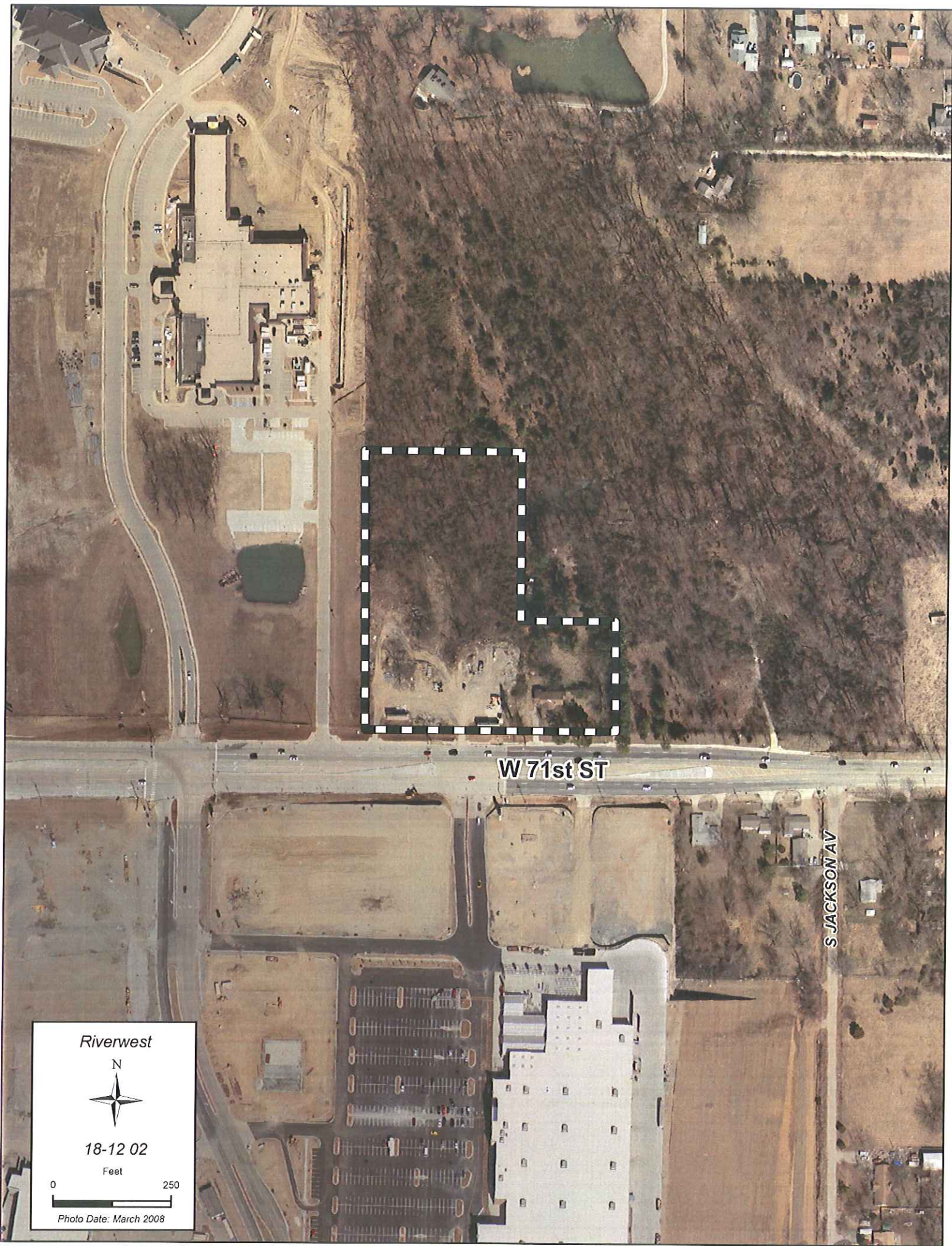


18-12 02

Feet

0 250

22.1




W 71st ST

S JACKSON AV

Riverwest

N



18-12 02

Feet

0 250

Photo Date: March 2008

222

PRELIMINARY SUBDIVISION PLAT

Riverwest - (8202) (PD 8) (CD 2)

East of Northeast corner of West 71st Street South and Okmulgee Expressway/Highway 75

This plat consists of 3 Lots, 2 Blocks, on 5.4 acres.

The following issues were discussed December 4, and December 18, 2008 at the Technical Advisory Committee (TAC) meetings:

1. **Zoning:** The property is zoned AG with PUD 768 pending. All PUD standards must be followed and shown in the covenants.
2. **Streets:** Correctly orientate north arrow on preliminary plat for drawing. Please specify the right-of-way radii for chamfers L1 and L2. Subdivision Regulations call for property lines at street intersections involving major streets and highways shall be rounded with a minimum radius of thirty (30) feet. Do not use language "temporary" for proposed cul-de-sac. Add language stating that the Cul-de-Sac can not be removed until street in Lot 3, Block 1 is extended to a connecting street. To the extent possible, driveway centerlines should intersect the public street at a 90 degree angle. Lines L1 and L2 must be the chord for 30 foot radius. Paving for public street must be 36 feet. Cul-de-Sac radius must be 52 feet. Remove reference to temporary cul-de-sac.
3. **Sewer:** Add a perimeter easement along the south boundary line of the plat, and along both sides of the street right-of-way. Add the book and page for the existing 20 foot utility easement (u/e) along the north boundary of the plat. Be sure the proposed sewer line to serve Lot 1, Block 2, extends a minimum of 15 feet past the property corner. Add easement as necessary to protect the pipe and manhole.
4. **Water:** Show restrictive waterline easements. Add standard language for the restrictive waterline easement. Water mainlines installed under pavement required to be ductile iron pipe only.
5. **Storm Drainage:** Add bearings, distances, and curve information to the storm sewer easement limits
6. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** No

comment.

7. **Other: Fire:** Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exceptions: 1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet. 2. For buildings equipped throughout with an approved automatic sprinkler system the distance requirement shall be 600 feet. **GIS:** Along with the written scale, add graphical scale. Fix the inconsistencies between the metes and bounds legal description and what is shown on the face of the plat. Label the Expressway and all the subdivisions within the mile section for the Location Map. Add text to the face of the plat, "Subdivision contains 4 Lots in 3 Blocks".

Staff recommends **APPROVAL** of the Preliminary Subdivision plat subject to the TAC comments and the special and standard conditions below.

Waivers of Subdivision Regulations:

1. None requested.

Special Conditions:

1. The concerns of the public works department staff must be taken care of to their satisfaction.

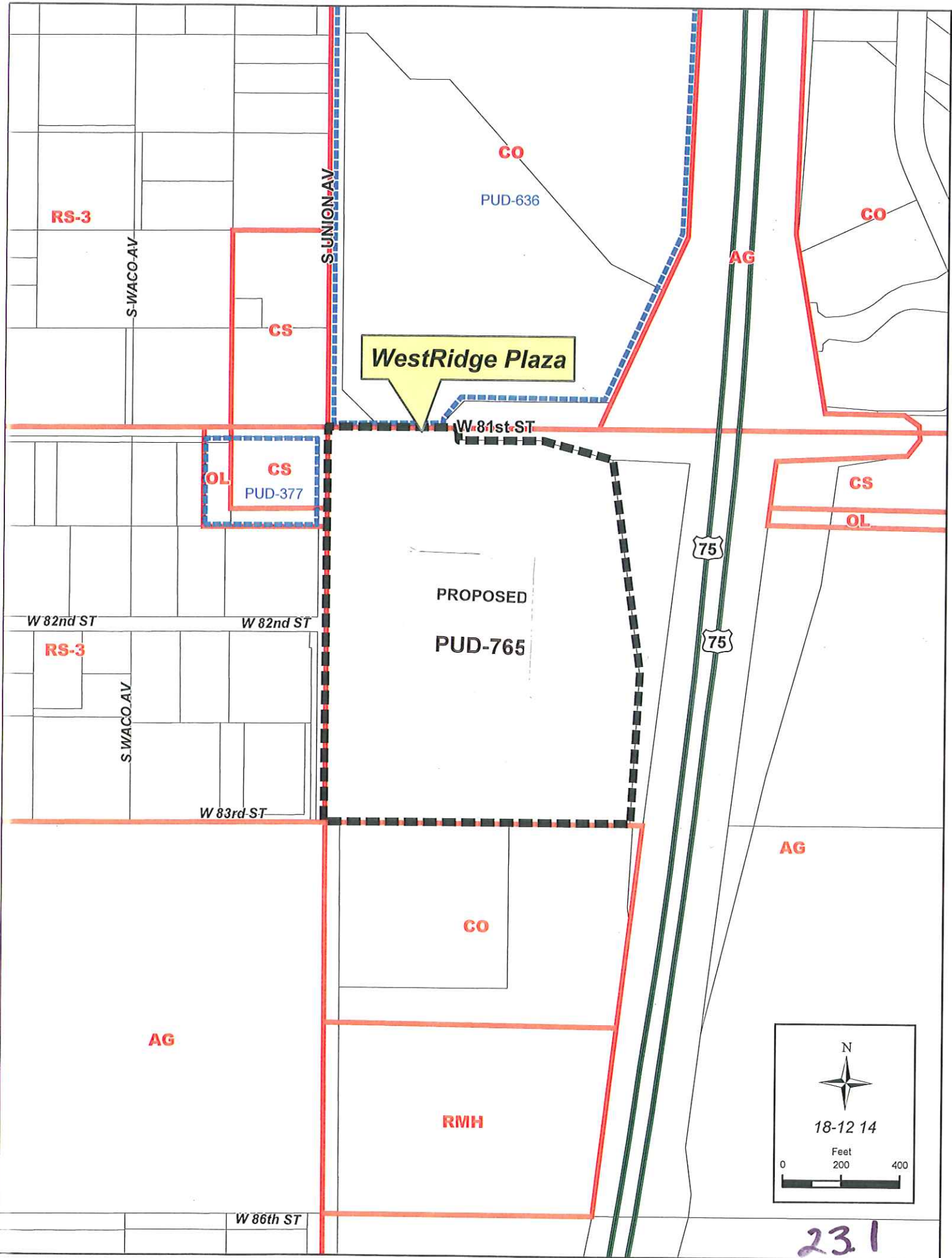
Standard Conditions:

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures, shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.

22.4

6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topo map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.
12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)
13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefore shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefore shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)

21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.



231



S WAGO AV

S UNION AV

W 81st ST

W 82nd ST

W 82nd ST


S WAGO AV

W 83rd ST

75

75

W 86th ST



N

18-12 14

**WestRidge
Plaza**

Feet
0 200 400

23.2

PRELIMINARY SUBDIVISION PLAT

WestRidge Plaza - (8214) (PD 8) (CD 2)

Southeast corner of West 81st Street South and South Union Avenue

This plat consists of 7 Lots, 1 Block, on 30.6 acres.

The following issues were discussed December 18, 2008 at the Technical Advisory Committee (TAC) meeting:

1. **Zoning:** The property is zoned AG with PUD 765 pending. All PUD standards must be followed and shown in the covenants.
2. **Streets:** Provide additional 8 feet of right-of-way along Union for 388 feet from intersection with 81st street for right turn lane. Show clearly the dimension of right-of-way along 81st Street dedicated by this plat. For existing right-of-way show plat # or book and page #. Provide documentation that DOT (Department of Transportation) right-of-way allows access from 81st Street. In Section I 1.1 sidewalks include the following – The owner/developer shall construct required sidewalks, where sidewalks are not constructed by the owner/developer, the builder of each lot shall construct the required sidewalk. Clarify 40 foot right-of-way dimension dedicated by this plat on West 81st Street South. Should it read 50 feet? Label and specify driveway access dimension at driveway accessing West Union Avenue at the southwest corner of development property. Clarify ODOT (Oklahoma Department of Transportation) easement to right-of-way.
3. **Sewer:** Does an ODOT easement include the right to place utility lines within the easement? If not, then additional easement will be required where the sanitary sewer line crosses the ODOT easement. Additional easement is required along the east boundary where the proposed 12 inch sewer line is located. Easement is required for the proposed sanitary sewer within Lot 1, Block 1, as well as the sewer adjacent to Reserve A. Be sure to maintain adequate separation between your proposed water and sanitary sewer lines.
4. **Water:** Show a 20 foot restrictive waterline easement with distances and bearings. Include the standard language for the restrictive waterline easement. Show the 20 foot restrictive waterline easement for the proposed water main line. Installed fire hydrants should have a spacing of no more than 400 feet apart.
5. **Storm Drainage:** Label "Reserve C Stormwater Detention Easement" as such. Remove the contours from the plat and place them on the conceptual plan. Storm sewers, which cross lot lines, are public storm sewers and must

be placed in a storm sewer easement, from the last structure before the upstream lot line all the way to the outlet structure.

6. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** Additional easements may be needed.
7. **Other: Fire:** Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exceptions: 1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet. 2. For buildings equipped throughout with an approved automatic sprinkler system the distance requirement shall be 600 feet. **GIS:** No comment.

Staff recommends **APPROVAL** of the Preliminary Subdivision plat subject to the TAC comments and the special and standard conditions below.

Waivers of Subdivision Regulations:

1. None requested.

Special Conditions:

1. The concerns of the public works department staff must be taken care of to their satisfaction.

Standard Conditions:

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures, shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public

Works Department.

6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topo map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.
12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)
13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefore shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefore shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under

3.6.5 Subdivision Regulations.)

21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.

WestRidge Plaza

A subdivision in the City of Tulsa, being a part of the NW/4 of Section 14, Township 18 North,
Range 12 East, of the Indian Meridian, Tulsa County, State of Oklahoma

OWNER / DEVELOPER

WestRidge Plaza, LLC
5415 South 125th East Avenue, Suite 205
Tulsa, Oklahoma 74146
Phone: 918.749.5700

ENGINEER / SURVEYOR

Tulsa Engineering & Planning Associates, Inc.
an Oklahoma corporation
6737 South 65th East Avenue
Tulsa, Oklahoma 74133
918.252.6521
jw.bills@tulsaengineering.com
CAPTION: 04/11/2011, 04/11/2011, 04/11/2011
REVISION: 04/11/2011, 04/11/2011, 04/11/2011



Legend

- BL = Building Line
- UE = Utility Easement
- FA = Future Area
- RA = Right of Way deduced by this Plat

Monument Notes

A 5/8" x 1/8" aluminum cap with a yellow plastic cap stamped "RLS 1253" to be set at all plat boundary corners, prior to recording of this plat.

A 3/8" x 1/8" aluminum cap with a yellow plastic cap stamped "RLS 1253" to be set at all lot corners after completion of improvements, unless noted otherwise.

A 3/8" x 1/8" aluminum cap with a yellow plastic cap stamped "RLS 1253" to be set at all street centerline intersections, points of curve, points of tangency, points of intersection, and points of vertical curve, after completion of improvements, unless noted otherwise.

Basis of Bearings

The non-magnetic bearings for this plat are based on an assumed bearing of N 00° 00' 00" E along the west line of the NW/4 of Section 14, T-18-N, R-12-E, of the Indian Meridian, Tulsa County, State of Oklahoma, according to the Official U.S. Government Survey Transit.

Benchmark

Top of a stone of a Brass Cap of an O.D.O.T. Brass Cap at the intersection of West 81st Street South and South Union Avenue, also being the northwest corner of Section 14, T-18-N, R-12-E of the Indian Meridian, Tulsa County, State of Oklahoma.
ELEVATION = 737.51 N.A.D. 1983

Backflow Preventer Valve

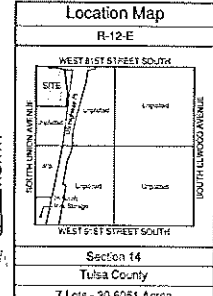
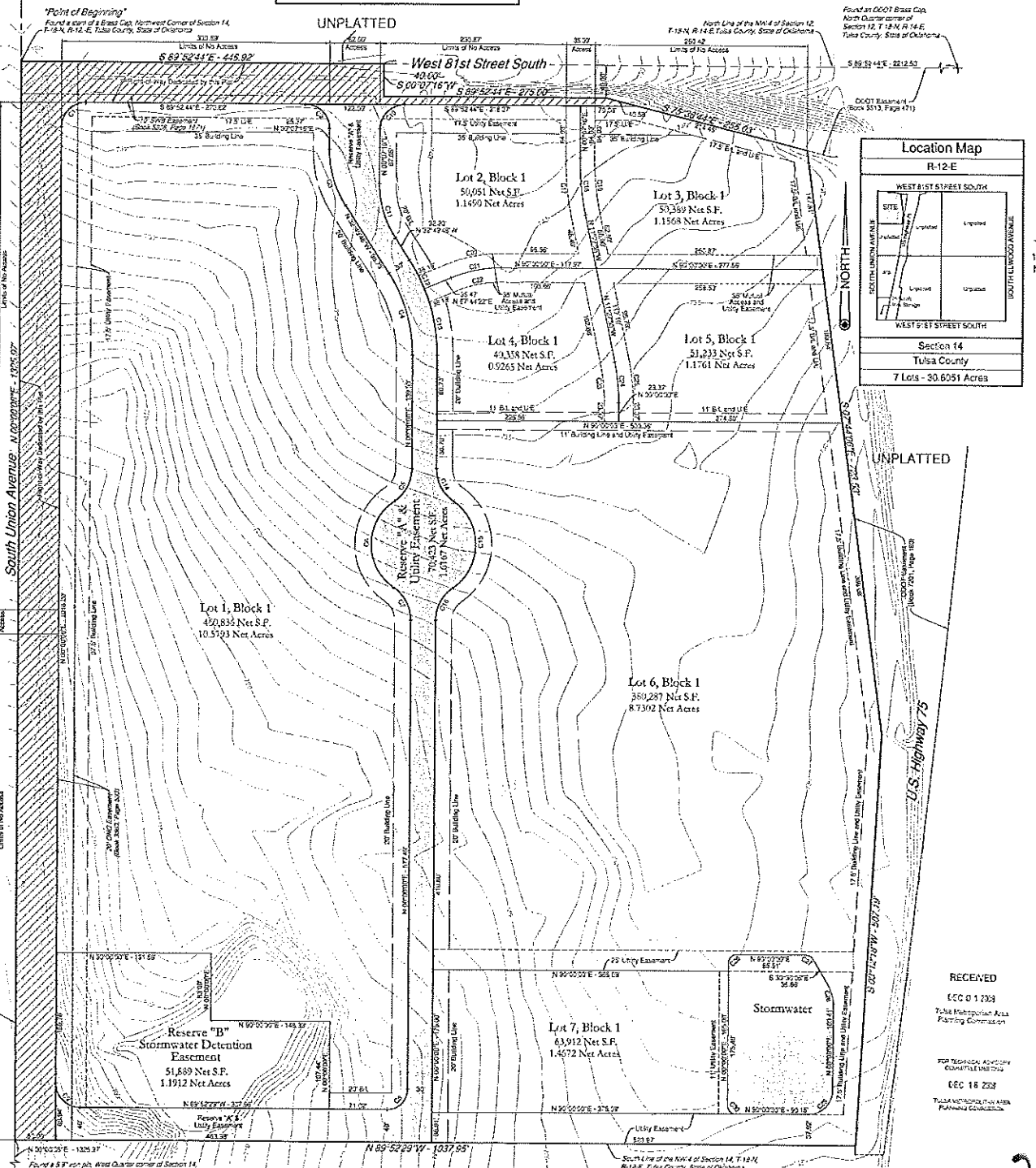
If the actual finished floor elevation is lower than the City last above the upstream sanitary sewer mainline top of the elevation, it shall be the builder's responsibility to install a backflow preventer valve near the building. The builder is responsible to comply with all city ordinances regarding the installation of any required backflow preventer valve.

Sidewalks

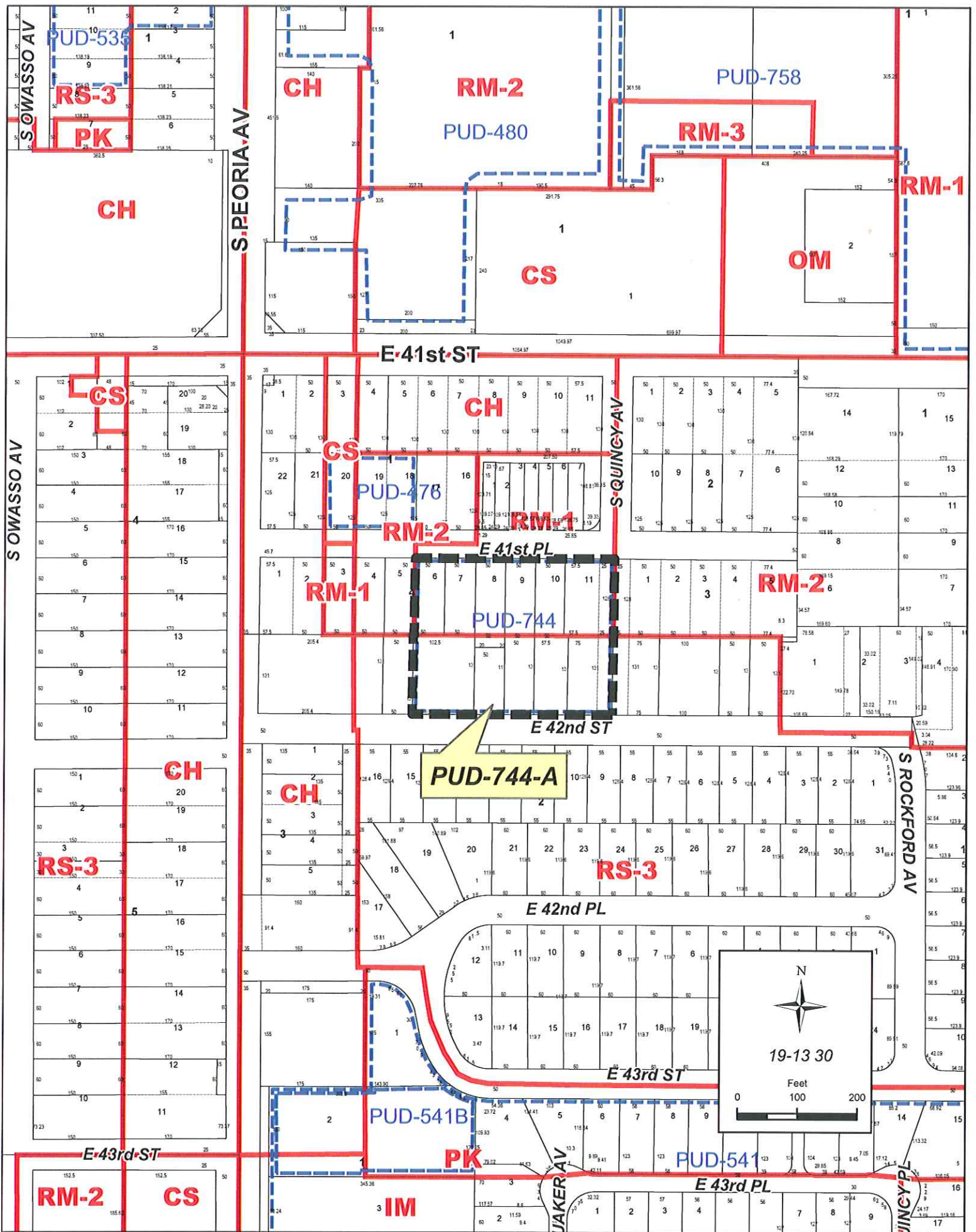
Sidewalks shall be constructed in compliance with the engineering design standards for the City of Tulsa. Sidewalks shall be maintained in good repair by the property owner or the owners' association.

Curve Table

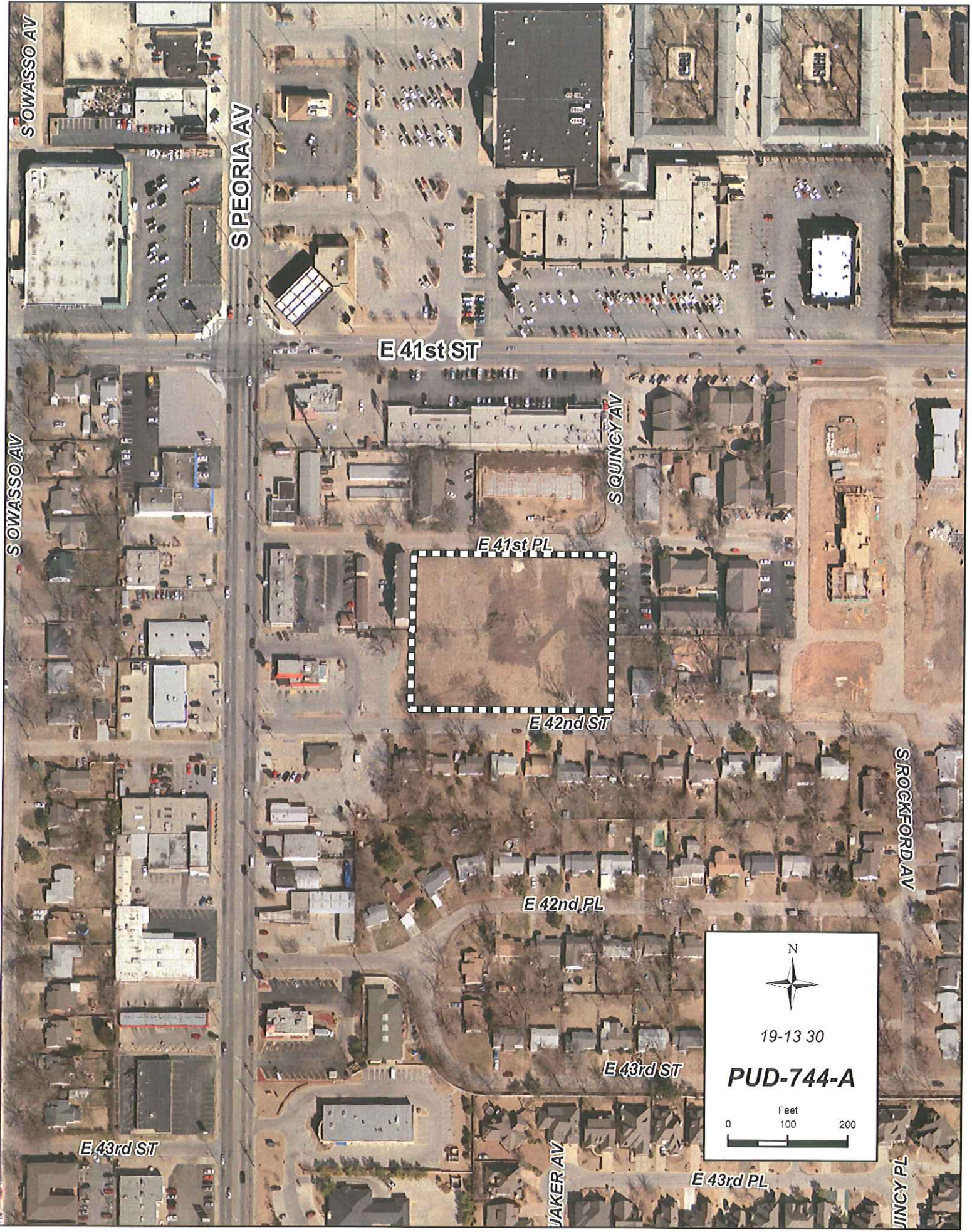
No.	Delta	Radius	Length	Chord Bearing	Chord Distance
C1	90° 00' 00"	30.00	47.12	N 45° 00' 00" E	42.47
C2	90° 00' 00"	30.00	47.12	S 45° 00' 00" E	42.47
C3	90° 00' 00"	30.00	47.12	S 45° 00' 00" E	42.47
C4	90° 00' 00"	30.00	47.12	S 45° 00' 00" E	42.47
C5	90° 00' 00"	30.00	47.12	S 45° 00' 00" E	42.47
C6	90° 00' 00"	30.00	47.12	S 45° 00' 00" E	42.47
C7	90° 00' 00"	30.00	47.12	S 45° 00' 00" E	42.47
C8	90° 00' 00"	30.00	47.12	S 45° 00' 00" E	42.47
C9	90° 00' 00"	30.00	47.12	S 45° 00' 00" E	42.47
C10	90° 00' 00"	30.00	47.12	S 45° 00' 00" E	42.47
C11	90° 00' 00"	30.00	47.12	S 45° 00' 00" E	42.47
C12	90° 00' 00"	30.00	47.12	S 45° 00' 00" E	42.47
C13	90° 00' 00"	30.00	47.12	S 45° 00' 00" E	42.47
C14	90° 00' 00"	30.00	47.12	S 45° 00' 00" E	42.47
C15	90° 00' 00"	30.00	47.12	S 45° 00' 00" E	42.47



RECEIVED
DEC 01 2008
Tulsa Metropolitan Area
Planning Commission
FOR TECHNICAL ADVISORY
COMMITTEE REVIEW ONLY
DEC 16 2008
Tulsa Metropolitan Area
Planning Commission



24.1



N

19-13 30

PUD-744-A

Feet
0 100 200

24.2

E41st ST

SQUINCY AV

E 41st PL

E 42nd ST

E 42nd PL



19-13 30

PUD-744-A



24.3

**TULSA METROPOLITAN AREA PLANNING COMMISSION
CASE REPORT**

APPLICATION: PUD-744-A

TRS 9330

Atlas 315

CZM 47

PD-6 CD-9

TMAPC Hearing Date: February 4, 2009

Applicant: Khoury Engineering Inc.

Tract Size: 1.969± acres/85,769 sf ±

ADDRESS/GENERAL LOCATION: East of northeast corner of East 42nd Place & South Peoria Avenue

EXISTING ZONING: RS-3/RM-1/ PUD

EXISTING USE: Vacant

ZONING ORDINANCE: Ordinance number 21621 dated September 13, 2007, established zoning for the subject property.

PROPOSED ZONING: RS-3/RM-1/ PUD

PROPOSED USE: Single-family

RELEVANT ZONING HISTORY:

BOA-20581 October 9, 2007: The Board of Adjustment approved a Variance of the maximum permitted height of 35 ft. for buildings located in the RM-1 district to permit town homes up to 42 ft. in height, on property located on the northwest corner of East 41st Place and South Quincy Avenue and north of subject property.

PUD-744 September 2007: All concurred in approval of a proposed Planned Unit Development on a 1.97± acre tract of land for a town homes development with 25 units on property located east of northeast corner of East 42nd Place & South Peoria Avenue and the subject property.

PUD-541-C March 2004: All concurred in denial of a proposed Major Amendment to PUD-541 to add auto body painting to the permitted uses on a 150' x 345'± square foot property, located south of Southeast corner East 42nd Street South and South Peoria Avenue.

BOA-19931 October 26, 2004: The Board of Adjustment approved a Special Exception to permit Offices, Studios and Support Services in an RM-2 District; a Variance of the frontage requirement on a public street for each lot; and a Variance to reduce the landscaped area from the perimeter driveways and parking areas from 5 feet in width to 2 feet in width, subject to development standards, finding this would be less intrusive and less density in the neighborhood than the previously planned townhouse development.

PUD-541-B July 1998: All concurred in approval of a proposed Major Amendment to PUD-541 to permit an auto repair use subject to modifications on property located on the northeast corner of South Peoria Avenue and East 44th Place.

PUD-541-A October 1996: All concurred in approval of a proposed Major Amendment to

24.4

to PUD-541 to add a residential zoned lot to PUD-541 for off-street parking on property located on the northwest corner of 44th Place South and South Quaker Avenue.

PUD-541 January 1996: All concurred in approval of a request to rezone a 16.8+ acre tract located on the east side of South Peoria Avenue between East 43rd Street and East 44th Street for a mixed use development.

PUD-480 April 1992: All concurred in approval of a proposed Planned Unit Development on a 5.35+ acre tract of land for a grocery store and restaurant (Albertson's) subject to no access from 39th Street on property located north and east of northeast corner of East 41st Street and South Peoria Avenue.

Z-6338/PUD-476 November 1991: All concurred in approval of a request for rezoning a .4+ acre tract of land from RM-2 to CS on the for a parking lot and mini storage on property located east of northeast corner of East 41st Place South and South Peoria Avenue.

BOA-12311 December 2, 1982: The Board of Adjustment approved a Special Exception for off-street parking on a tract in an RS-3 District; and a Special Exception or a temporary waiver of the screening requirement on the north boundary of the off-street parking location to allow for fan fence or shrubbery, in lieu of screening wall for one year, subject to no access to 42nd Street and that the screening fence on the south and east boundary line be erected on the property immediately on property located at 4143 South Peoria Avenue.

BOA-4527 December 9, 1964: The Board of Adjustment approved a home beauty shop on Lot 11 Block 4, of Jennings-Robards Addition and a part of the subject property.

AREA DESCRIPTION:

SITE ANALYSIS: The subject property is approximately 1.97± acres in size and is located east of northeast corner of East 42nd Place & South Peoria Avenue. The property appears to be vacant and is zoned RS-3/RM-1/ PUD-744.

STREETS:

Exist. Access	MSHP Design	MSHP R/W	Exist. # Lanes
East 41 st Place	Residential	50 FT	Two
East 42 nd Street	Residential	50 FT	Two
South Quincy Avenue	Vacated		vacated

UTILITIES: The subject tract has municipal water and sewer available.

SURROUNDING AREA: The subject tract is abutted on the east by single- and multifamily residential zoned RS-3 and RM-2; on the north by East 41st Place and single- and multifamily uses zoned RM-1 and RM-2; on the west by commercial and multi-family zoned RM-2, RM-1, RS-3 and CH; and on the south by East 42nd Street South and single-family residential zoned RS-3.

RELATIONSHIP TO THE COMPREHENSIVE PLAN:

The District 6 Plan, a part of the adopted Comprehensive Plan for the Tulsa Metropolitan Area, designates this area as being Low-Intensity and within a 'Special Consideration Area' of the District 6 Comprehensive Plan. According to the Zoning Matrix, the

Matrix, the requested use **may be found** in accord with the Plan.

STAFF RECOMMENDATION:

PUD-744-A is a 1.969 acre tract (85,769 sf) located east of northeast corner of East 42nd Place & South Peoria Avenue. The site is a relatively flat and is abutted by an Arby's restaurant and an apartment building to the west; a mix of multi-family and single-family uses to the north across East 41st Place; vacated South Quincy Avenue and a mix of multifamily and single-family uses to the east; and single-family uses to the south across East 42nd Street South. The north half of the property is zoned RM-1, Multifamily while the south half is zoned RS-3, Single-family Residential. Current underlying zoning permits 14 dwelling units therefore no zoning changes are being requested.

On August 1, 2007 the TMAPC approved PUD-744 permitting a 25 unit townhome development on 20-foot wide lots with a height limitation of 42-feet. Due to what the applicant describes as changing market conditions, major amendment PUD-744-A proposes a less intensive 14 single family dwellings/patio homes on 45 to 50-foot wide lots with a maximum height of 42-feet.

The Residential Multifamily district, RM-1, requires minimum livability space of 600 square feet per dwelling unit, while the RS-3 zoned requires a livability space of 4,000 sf per dwelling unit. PUD 744-A proposes a minimum of 3,400 sf of livability space per lot, with 2,000 square feet within each lot and 1,400 sf per dwelling unit provided in Reserve A as permitted by §1104, C of the Zoning Code.

The proposed patio homes will face East 41st Place and East 42nd Street South with garages in front and recreational space in the center/interior of the property (see Exhibit A). Access to the lots will be from the street onto which each lot has frontage. Reserve A will be limited to recreational amenities including open space, pool and recreational equipment and facilities, and uses customarily accessory to single-family dwellings.

The proposed development conforms to the policies and goals of the Brookside Infill Development Design Recommendations, a component of the Brookside Infill Neighborhood Detailed Implementation Plan for the Southern Brookside Residential Area, a 'Special Consideration Area' of the District 6 Comprehensive Plan. Components of the Plan and Design Recommendations are attached for reference as Exhibit C.

Staff finds the uses and intensities of development proposed to be in harmony with the spirit and intent of the Code. Based on the following conditions, staff finds PUD-744-A as modified by staff, to be: (1) consistent with the Comprehensive Plan; (2) in harmony with the existing and expected development of surrounding areas; (3) a unified treatment of the development possibilities of the site; and (4) consistent with the stated purposes and standards of the PUD Chapter of the Zoning Code.

Therefore, staff recommends **APPROVAL** of PUD-744-A subject to the following conditions:

1. The applicant's Outline Development Plan and Text be made a condition of approval, unless modified herein.
2. **Development Standards:**

24.6

LAND AREA:

Net Area:

1.98 AC

86,445 SF

Gross:

2.37 AC

103,132 SF

PERMITTED USES:

Patio Homes:

As permitted in RM-1, Multi-Family Residential Zoning Districts and Use Unit 6 – Single Family Dwellings.

Reserve A:

Open Space, pool and recreational equipment, and uses customarily accessory to residential uses.

MINIMUM LOT AREA:

0.0975 Acres (4,250 s.f.)

MAXIMUM FLOOR AREA RATIO PER LOT:

0.50

MINIMUM LOT FRONTAGE:

45 feet (along public street)

** Within 35 feet of the East property line the maximum building height shall be 35 feet.*

MINIMUM BUILDING SETBACKS:

From R.O.W. line of East 41st Place:

20 feet

From R.O.W. line of East 42nd Street South:

20 feet

Side Setbacks:

5 feet

MINIMUM BUILDING SEPARATION:

10 feet

MAXIMUM BUILDING HEIGHT:

42 feet *

** Within 35 feet of the East property line the maximum building height shall be 35 feet.*

OFF-STREET PARKING:

2 spaces per dwelling unit

LIVABILITY SPACE PER DWELLING UNIT:

3,400 sf (2,000 sf per lot and
1,400 sf in Reserve A per
§1104,C.)

SIGNS:

One project identification ground sign shall be permitted along the East 41st Place and East 42nd Street frontages each with a maximum of 32 square feet of display surface area and 12 feet in height.

24.7

ACCESS AND CIRCULATION:

Access to individual lots will be derived from the street onto which the lot has frontage. Sidewalks will be provided along East 41st Place South and East 42nd Street South per subdivision regulations.

3. No sign permits shall be issued for erection of entry signs until a detail sign plan has been submitted to the TMAPC and approved as being in compliance with the approved PUD development standards.
4. The Department of Public Works or a professional engineer registered in the State of Oklahoma shall certify to the appropriate City official that all required stormwater drainage structures and detention areas serving a lot have been installed in accordance with the approved plans prior to issuance of an occupancy permit on that lot.
5. A homeowners association shall be created and vested with sufficient authority and financial resources to properly maintain all private streets, common and reserve areas, including any stormwater detention areas, sidewalks, trails, parks, security gates, guard houses or other commonly owned structures within the PUD.
6. No building permit shall be issued until the requirements of Section 1107.F of the Zoning Code have been satisfied and approved by the TMAPC and filed of record in the County Clerk's office, incorporating within the restrictive covenants the PUD conditions of approval and making the City beneficiary to said covenants that relate to PUD conditions. The final plat shall serve as the detail site plan.
7. Subject to conditions recommended by the Technical Advisory Committee during the subdivision platting process which are approved by TMAPC.
8. Entry gates or guardhouses, if proposed, must receive detail site plan approval from TMAPC, County Engineering and the appropriate water/ fire district, prior to issuance of a building permit for the gates or guard houses.
9. A public clubhouse and/or pool, if proposed in Reserve A, must receive detail site plan approval from TMAPC prior to issuance of a building permit for the clubhouse and/or pool.
10. Approval of the PUD is not an endorsement of the conceptual layout. This will be done during detail site plan review or the subdivision platting process.

General: A revised plat and a revised IDP (PFPI) must be done. See stormwater comments.

Water: No comments.

Fire: No comments.

Stormwater: In Exhibit A: The Finished Floor Elevations (FFE's) on the east half of the development are too low to comply with minimum FFE's approved for PFPI No. 869. Plat No. 6215 has been approved and filed for this development area. The Plat requires 39 foot wide Floodplain Easements (FP/E) along the north and south sides; And Reserve "A" has 10 foot wide FP/E along the east and west sides, with a 45'X65' and a 102'X45' FP/E in the middle area of the Platted Area. This is not what Exhibit A shows. Further, the Plat has 45 foot Building Setbacks, from 41st Place and 42nd Street. Exhibit A is not in compliance with the Platted Building Setbacks.

Wastewater: All proposed lots have access to sanitary sewer service, so OK for PUD Amendment. However, the concept plan shows a common service line for at least 2 properties, and that will not be allowed.

Transportation: Confirm if 25' Right-of-Way (ROW) is available from center line all along 41st Pl. The street appears to taper from 50' to 46' at the Peoria St. end. Additional ROW dedication may be required. 5' wide sidewalks required along 41st Pl. and 42nd St. Add standard sidewalk language in Access and Circulation section on Page 3.

INCOG Transportation:

- MSHP: No comment
- LRTP: S. Peoria Ave, between 41st St. S. and 51st St. S., existing 4 lanes. Sidewalks should be constructed if non-existing or maintained if existing.
- TMP: No comment
- Transit: Currently, Tulsa Transit operates an existing route on S. Peoria Ave. and 41st St. S. According to MTTA future plans, this location will continue to be served by transit routes. Therefore, consideration for access to public transportation should be included in the development.

Traffic: No comments.


GIS: No comments.

Street Addressing: No comments.

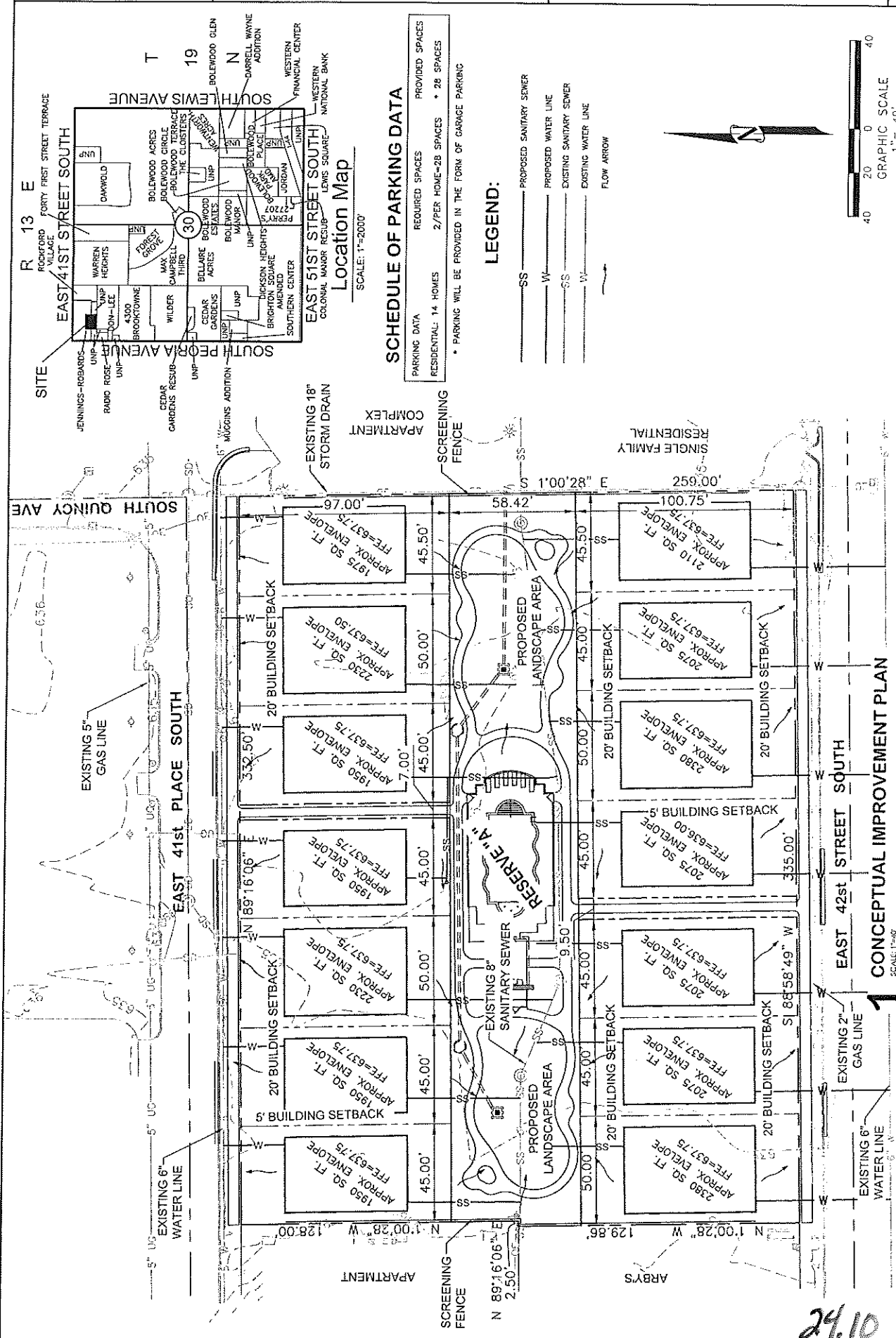
County Engineer: No Comments.

02/04/09

THE RETREAT AT BROOKSIDE
EAST 41st PLACE SOUTH
CITY OF TULSA, OKLAHOMA



Knoery Engineering, Inc.
Civil Engineering - Land Development
16910 712 Street
Tulsa, OK 74105
Call 918-751-8800 Fax 918-751-8809



AREA ZONING MAP

PUD #744

THE RETREAT AT BROOKSIDE
EAST 41st PLACE SOUTH
CITY OF TULSA, OKLAHOMA

Khouy Engineering, Inc.
Civil Engineering - Land Development

1435 East 41st Street
Tulsa, OK 74115
Tel. 918.712.0700
Fax. 918.712.1029
OK-53751, State # CG-30429

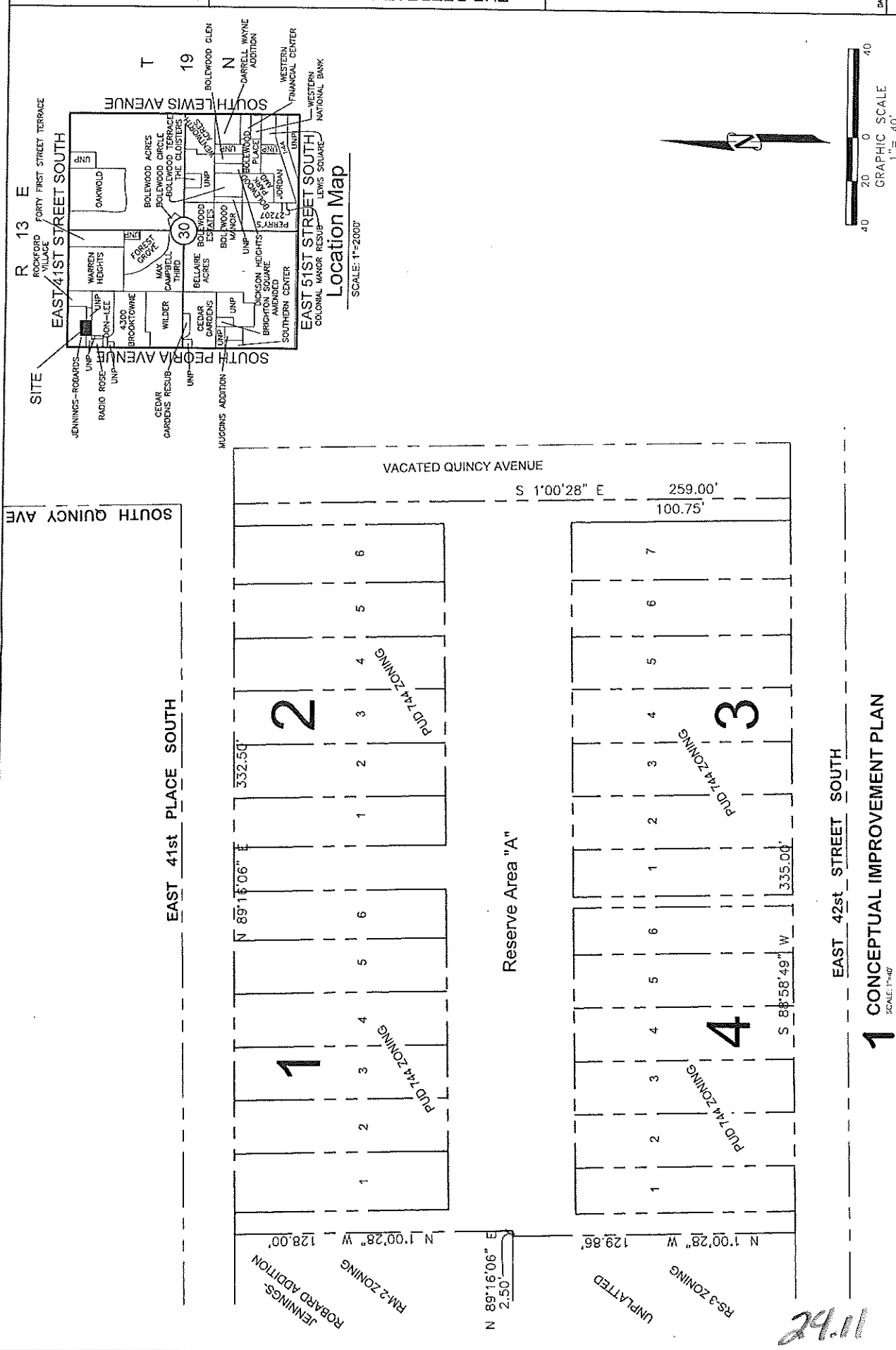
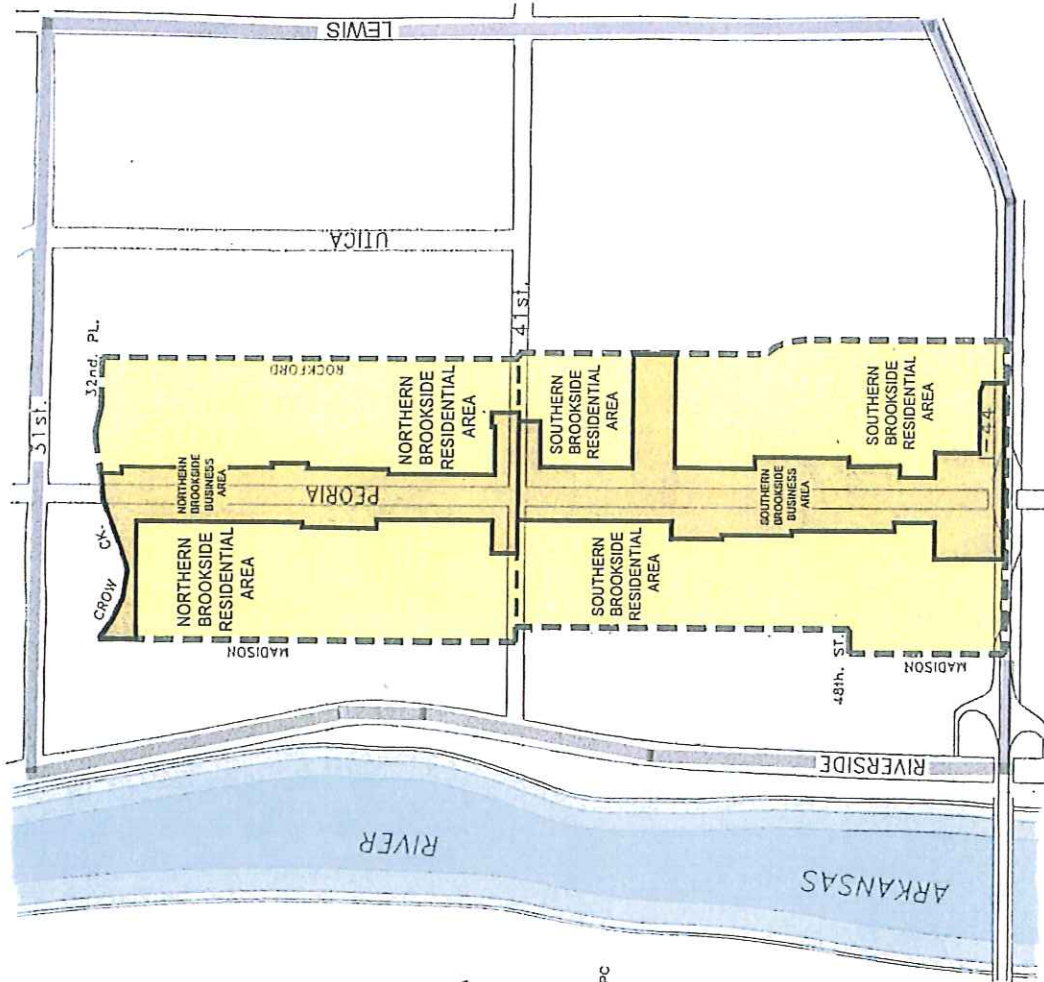


EXHIBIT 1 -
BROOKSIDE
AREA



BROOKSIDE AREA

BROOKSIDE NEIGHBORHOOD
BOUNDARY LINE
NEIGHBORHOOD DETAILED
IMPLEMENTATION PLAN
STUDY AREA BOUNDARY

Source: Urban Development Department, City of Tulsa, INCOG, and TMAPC



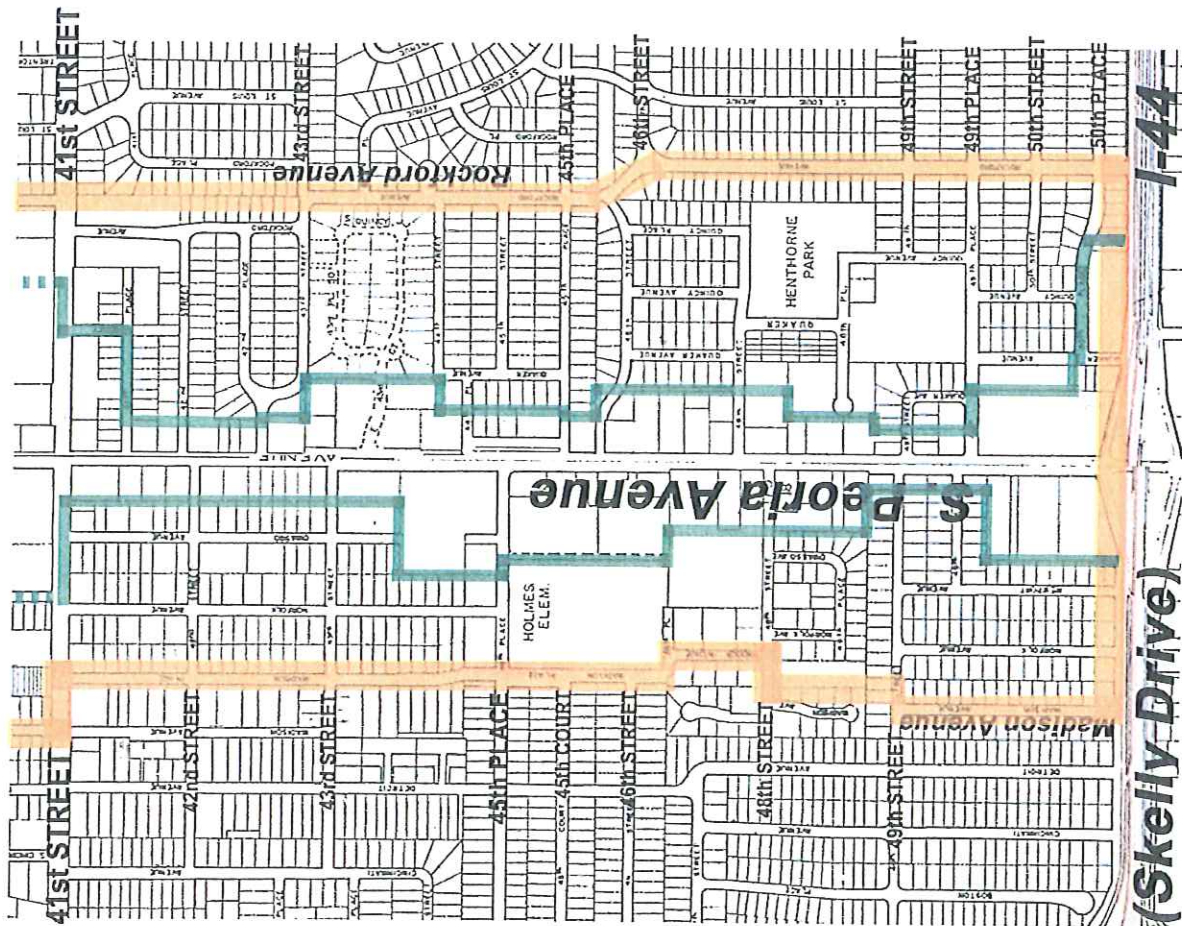
24.12
Exhibit C

EXHIBIT 33 - BOUNDARY BETWEEN SOUTHERN
RESIDENTIAL AREA
AND
SOUTHERN BUSINESS AREA

NEIGHBORHOOD DETAILED
IMPLEMENTATION PLAN
STUDY AREA BOUNDARY

BOUNDARY BETWEEN
SOUTHERN RESIDENTIAL AREA
AND SOUTHERN BUSINESS AREA

BROOKSIDE NEIGHBORHOOD
BOUNDARY LINE



24.13

- (g) Reduce substantially or eliminate building permit fees within the designated Special Districts within Brookside.

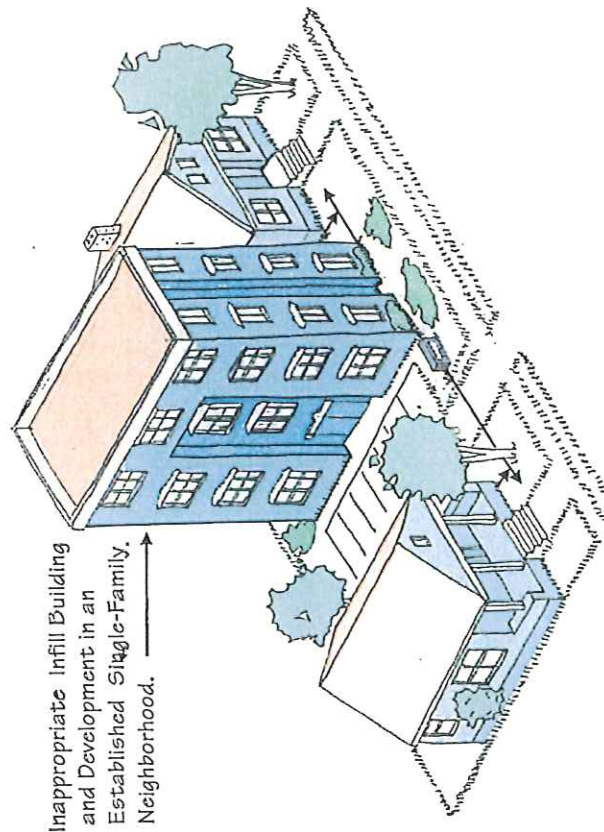
B. Residential Areas (Special Consideration Areas).

- (1) Continue support for and continuation of the established Northern Brookside and Southern Brookside Residential Areas (Special Consideration Areas) as viable, attractive residential neighborhoods (refer to District 6 Plan). The Northern Brookside Residential Area (Northern Brookside Special Consideration Area) will herein be referred to as the *Northern Residential Area*, and the Southern Brookside Residential Area (Southern Brookside Special Consideration Area) will herein be referred to as the *Southern Residential Area*. Refer to Exhibit 1.
- (2) Existing established, sound residential development is encouraged to continue and high quality infill residential development and redevelopment are encouraged at appropriate densities. Residential development or redevelopment along the boundary of the Residential Areas and Business Areas may be developed at higher densities if (a) appropriate design elements and improvements are provided in conformance with area design guidelines to enhance the value, image and function of area properties and (b) if consistent with District 6 Plan goals, objectives, policies and guidelines.
- (3) Continue to buffer and separate residential land uses and nonresidential land uses as identified in the District 6 Plan;
- (4) Respect adjacent buildings through consideration of mass, rhythm, scale, setback, height, building materials, texture and related design elements when developing or redeveloping in the area. Refer to Exhibit 3 and Appendix P. Appendix O depicts a conceptual residential infill project that meets development guidelines for Residential Areas.
- (5) Discourage nonresidential traffic and parking in the Northern and Southern Residential Areas;
- (6) Establish a strong sense of entry into and out from the Northern and Southern Residential Areas. Visual clues are to be provided which emphasize these "living areas," further establish their residential character and use, and discourage the entrance into or use of these areas by nonresidential pedestrian and vehicle traffic, parking and activity. These entry treatments are to be designed and provided in conjunction with screening, buffering and separation of residential and nonresidential land uses. Refer to Exhibits 22, 23 and 23.

2/1/14

EXHIBIT 3 - RESIDENTIAL INFILL DEVELOPMENT

RESIDENTIAL INFILL DEVELOPMENT



INAPPROPRIATE INFILL DEVELOPMENT

- SCALE - Avoid buildings that in height, width or massing violate the scale of the area.
- HEIGHT - Avoid new construction that varies greatly in height and number of stories.
- SETBACK - Avoid violating the existing setback patterns in the area.
- MASSING - Avoid monolithic forms or forms which dramatically dominate space.
- RHYTHM - Avoid disrupting or violating general visual patterns.

APPROPRIATE INFILL DEVELOPMENT

- SCALE - Relate size and proportions of new infill construction to adjacent buildings.
- HEIGHT - Relate overall height and typical number of stories.
- SETBACK - Conform to existing patterns of setback.
- RHYTHM - Some variety of wall areas with doors, windows, cornices and architectural features is appropriate when in character with area buildings.
- MASSING - Conform general to size and amount of space consumed by adjacent buildings.

