

AGENDA
CITY OF TULSA BOARD OF ADJUSTMENT
Regularly Scheduled Meeting
Tulsa City Council Chambers
175 East 2nd Street, 2nd Level, One Technology Center
Tuesday, September 14, 2021, 1:00 P.M.

Meeting No. 1280

The City Board of Adjustment will be held in the Tulsa City Council Chambers and by videoconferencing and teleconferencing.

Board of Adjustment applicants and members of the public may attend and participate in the in the Board of Adjustment meeting via videoconferencing and teleconferencing by joining from a computer, tablet, or smartphone.

Attend in Person: 175 East 2nd Street, 2nd Level, One Technology Center

Attend Virtually: <https://us02web.zoom.us/j/82839958505>

Attend by Phone: 1 312 626 6799 US (Chicago) Meeting ID: 828 3995 8505

If you wish to present or share any documents, written comments, or exhibits during the hearing, please **submit them by 9:00 AM the day of the hearing**. Remember to reference the case number and include your name and address.

Email: esubmit@incog.org

Mail or In Person: City of Tulsa BOA c/o INCOG, 2 W. 2nd St., Suite 800
Tulsa, OK 74103

INTRODUCTION AND NOTICE TO THE PUBLIC

At this Meeting the Board of Adjustment, in accord with and pursuant to applicable Board of Adjustment Policies and Procedures, will review, consider, discuss, and may take action on, approve, amend, modify, approve with amendment(s) or modification(s), deny, reject, or defer any action on any item listed on this Agenda.

Review and possible approval, approval with modifications, denial or deferral of the following:

1. Approval of **Minutes** of August 10, 2021 (Meeting No. 1278).

UNFINISHED BUSINESS

Review and possible approval, approval with modifications, denial or deferral of the following:

2. **23167—Louis Fernandez, Jr.**
Appeal of the Administrative Decision issued by a Neighbor Inspector that the subject property is in violation of Sections 45.100 (Home Occupations) and Section 45.130 (Parking and Storage of Commercial Vehicles) of the zoning codes (Section 70.140). **LOCATION:** 9239 South 86th East Avenue **(CD 7)**

NEW APPLICATIONS

Review and possible approval, approval with modifications, denial or deferral of the following:

3. **23171—Jim Stephens**
Special Exception to permit Commercial Vehicle Sales & Rentals in the CS District (Section 15.020, Table 15-2); Variance to permit outdoor storage within 300 feet of an abutting R District (Section 15.040-A). **LOCATION:** 6622 South Peoria Avenue East **(CD 2)**
4. **23177—Jessica Reitz**
Special Exception to permit low-impact medical marijuana processing (Low-impact Manufacturing & Industry Use) in the CBD District (Section 15.020, Table 15-2). **LOCATION:** 314 East 3rd Street South **(CD 4)**
5. **23178—Julie Nickel**
Special Exception to allow a fence to exceed 4 feet in height inside the street setback (Section 45.080-A). **LOCATION:** 2525 East 30th Street South **(CD 4)**
6. **23179—Rachel Mondt**
Special Exception to permit an accessory dwelling unit in an RE District (Section 45.031). **LOCATION:** 1327 East 27th Place South **(CD 4)**
7. **23180—Tony Jordan**
Special Exception to allow a fence to exceed 4 feet in height in a front street setback (Section 45.080-A). **LOCATION:** 2407 & 2405 East 26th Place South **(CD 4)**
8. **23181—Brad Davis**
Special Exception to increase the permitted driveway width in a Residential District (Section 55.090-F.3). **LOCATION:** 5834 East 98th Street South **(CD 8)**

9. 23182—Jack In The Box – Dawn Bennyhoff & Shaun Steen

Variance to allow a drive-through facility to be located on the street-facing side of the property (Section 55.100-C. 2); Variance to allow drive-through signs that exceed the maximum area of 36 square feet for the primary signs and 15 square feet for the secondary signs and to allow two secondary drive-through signs (Section 60.030-B.2). **LOCATION:** 8112 East 11th Street South **(CD 5)**

10. 23183—Wallace Design Collective – Mark Capron

Variance to allow parking inside the City of Tulsa planned Right-of-Way (Section 90.090-A). **LOCATION:** 4008 West Charles Page Boulevard **(CD 1)**

OTHER BUSINESS

- 11.** Consider motion and vote to enter Executive Session pursuant to Title 25 O.S. Section 307(B)(4) for the purpose of allowing confidential communications between the Commission and its legal counsel regarding the Tulsa County District Court Case No. CV-2019-1345, Diana W. Capehart, as Trustee of the Robert J. and Diana W. Capehart Family Trust dated July 28, 2009 v. Tulsa City Board of Adjustment, including discussion of plaintiff's settlement proposal, such action to include, but not be limited to, rejection, approval, or offering a counter-offer of settlement.
- 12.** Exit the Executive Session to discuss and possibly take action on plaintiff's settlement proposal in Tulsa County District Court Case No. CV-2019-1345, Diana W. Capehart, as Trustee of the Robert J. and Diana W. Capehart Family Trust dated July 28, 2009 v. Tulsa City Board of Adjustment, such action to include but not be limited to rejection, approval or offering a counter-offer of settlement.

NEW BUSINESS

BOARD MEMBER COMMENTS

ADJOURNMENT

Website: tulsaplanning.org

E-mail: esubmit@incog.org

CD = Council District

NOTE: If you require special accommodation pursuant to the Americans with Disabilities Act, please notify Tulsa Planning Office at 918-584-7526. Exhibits, Petitions, Pictures, etc., presented to the Board of Adjustment may be received and deposited in case files to be maintained by the Tulsa Planning Office at INCOG. All electronic devices must be silenced.

NOTE: This agenda is for informational purposes only and is not an official posting. Please contact the Tulsa Planning Office at 918-584-7526 if you require an official posted agenda.

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BOARD OF ADJUSTMENT CASE REPORT

STR: 8324

Case Number: **BOA-23167**

CZM: 57

CD: 7

HEARING DATE: 09/14/2021 1:00 PM (continued from 8/10/2021)

APPLICANT: Louis Jr. Fernandez

ACTION REQUESTED: Appeal of the Administrative Decision issued by a Neighbor Inspector that the subject property is in violation of Sections 45.100 (Home Occupations) and 45.130 (Parking and Storage of Commercial Vehicles) of the zoning codes (Sec. 70.140).

LOCATION: 9239 S 86 AV E

ZONED: RS-3

PRESENT USE: Residential Single Family 3

TRACT SIZE: 10933.6 SQ FT

LEGAL DESCRIPTION: LT 9 BLK 5, OAK LEAF

RELEVANT PREVIOUS ACTIONS: None.

RELATIONSHIP TO THE COMPREHENSIVE PLAN: The Tulsa Comprehensive Plan identifies the subject property as part of an "Existing Neighborhood" and an "Area of Stability".

An **Existing Neighborhood** is intended to preserve and enhance Tulsa's existing single-family neighborhoods. Development activities in these areas should be limited to the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects, as permitted through clear and objective setback, height, and other development standards of the zoning code.

The **Areas of Stability** include approximately 75% of the city's total parcels. Existing residential neighborhoods, where change is expected to be minimal, make up a large proportion of the Areas of Stability. The ideal for the Areas of Stability is to identify and maintain the valued character of an area while accommodating the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects. The concept of stability and growth is specifically designed to enhance the unique qualities of older neighborhoods that are looking for new ways to preserve their character and quality of life. The concept of stability and growth is specifically designed to enhance the unique qualities of older neighborhoods that are looking for new ways to preserve their character and quality of life.

ANALYSIS OF SURROUNDING AREA: The subject tract is located on the East side of S. 86th E. Ave. between E. 92nd and E. 93rd Streets S.

STAFF COMMENTS: The appellant is requesting an **Appeal** of the Administrative Decision issued by a Neighbor Inspector that the subject property is in violation of Sections 45.100 (Home Occupations) and 45.130 (Parking and Storage of Commercial Vehicles) of the zoning codes (Sec. 70.140)

Included in your packet is a statement of the case provided by Michael Rider, Zoning and Sign Official with the Working In Neighborhood Department (WIN).

2.2

No exhibits have been provided by the appellant as of the writing of this case report.

Section 70.140 Appeals of Administrative Decisions

70.140-A Authority

Appeals of administrative (staff-level) decisions on site plans go to the planning commission (See §70.050-C). The board of adjustment is authorized to hear and decide all other appeals where it is alleged there has been an error in any order, requirement, decision or determination made by the land use administrator, the development administrator or any other administrative official in the administration, interpretation or enforcement of this zoning code.

Figure 70-7: Appeals of Administrative Decisions (Generally)



70.140-G Hearing and Final Decision

1. The board of adjustment must hold a public hearing on the appeal.
2. Following the close of the public hearing, the board of adjustment must make its findings and take action on the appeal.
3. In exercising the appeal power, the board of adjustment has all the powers of the administrative official from whom the appeal is taken. The board of adjustment may affirm or may, upon the concurring vote of at least 3 members, reverse, wholly or in part, or modify the decision being appealed.
4. In acting on the appeal, the board of adjustment must grant to the official's decision a presumption of correctness, placing the burden of persuasion of error on the appellant.

70.140-H Review Criteria

The decision being appealed may be reversed or wholly or partly modified only if the board of adjustment finds that the land use administrator, the development administrator or other administrative official erred.

SAMPLE MOTION:

Move to _____ (**affirm/reverse**) the Administrative Decision issued in the Notice of Zoning Violation, Case Number WIN-20051-2021.

Finding that the Neighborhood Inspector (**acted appropriately/erred**) in the Administrative Decision issued in the Notice of Zoning Violation, Case Number WIN-20051-2021, and that the subject property (**is/ is not**) in violation of Sections 45.100 (Home Occupations) and 45.130 (Parking and Storage of Commercial Vehicles) of the zoning codes (Sec. 70.140)

BEFORE THE CITY OF TULSA BOARD OF ADJUSTMENT

Louis Fernandez, Jr.;)	
)	
Appellant,)	
)	
vs.)	Case No. BOA-23167
)	
The City of Tulsa Working in)	
Neighborhoods (WIN) Department)	
)	
Appellee.)	

Appellee's Statement of the Case

The owner of the property located at 9239 S 86th East Ave (Lt 9, Blk 5 Oak Leaf), Louis Fernandez, has appealed the Zoning Notice of Violation (City Exhibit 10) issued to him on June 24, 2021 after a Citizen complaint. The appeal, which does not contain any assertions of law or information about basis of the appeal, was timely filed with the Tulsa City Clerk and the Tulsa Planning Office on June 30, 2021. The facts of the case are outlined below.

In early April 2021, the Working in Neighborhoods (WIN) Department received a Citizen complaint (City Exhibit 1) following up on a previous complaint regarding the storage of a commercial truck at the residence located at 9239 S 86th East Ave. It was eventually determined that several inspections had been conducted, but the violation was not observed because the truck was only being stored at the residence in the evening hours and on weekends. Accordingly, the case was assigned to Zoning Official Michael Rider, who occasionally works evening hours.

Upon review of the photos submitted by the complainant, Inspector Rider noted that the name and phone number matching that of the property owner was painted on

the side of the Cornwell Quality Tools truck. Inspector Rider called the phone number on June 15, 2021, which was answered by the property owner and appellate, Louis Fernandez. After explaining the complaint and the violation of ordinance, Mr. Fernandez admitted that he brings the vehicle in question home regularly and stated that he intended to comply but wanted to read the ordinances. The Ordinances were emailed to Mr. Fernandez on the same date (City Exhibit 2) but Mr. Fernandez never replied. When Inspector Rider followed up with Mr. Fernandez via telephone a few days later, Mr. Fernandez seemed unwilling to voluntarily comply.

On June 23, 2021 internet research was conducted, revealing a Facebook post (City Exhibit 3) where a Dealer was soliciting a delivery driver to deliver the truck to Mr. Fernandez. In the post, the dealer identifies the truck as a "2017 20' M2". The post also contains photos that match those submitted in the email from the complainant. Further research of the Freightliner website (City Exhibit 4) revealed a base Gross Vehicle Weight Rating of 66,000 lbs. Additional research of the Oklahoma Secretary of State website found that Mr. Fernandez is the agent for "LX Tools LTD. Co." (City Exhibit 5).

The facts of the investigation revealed that the commercial "Cornwell Quality Tools" truck is prohibited by at least two sections of the City of Tulsa Zoning Code (Title 42), to wit:

- **Violation 1: Chapter 45, Section 45.100-F – Prohibited [Home Occupation] Uses (City Exhibit 6).**
During the telephone conversation on June 15, 2021 Mr. Fernandez indicated to Inspector Rider that he operates his tool sales business from his home, in whole or in part. Section 45.100-F prohibits the outside storage of items, including vehicles, associated with a home occupation. Since Mr. Fernandez's truck cannot fit within his garage, there is no lawful place upon the lot for it to be stored; and

- **Violation 2: Chapter 45, Section 45.130** – Parking and Storage of Commercial Trucks (City Exhibit 7).
Internet research conducted by Inspector Rider reveals an approximate base GVWR of 66,000lbs. The City of Tulsa Zoning Code prohibits any vehicle required by the State to be registered as commercial from being stored in a residential zone. The Zoning Code cites the governing State Code, 710:60-3-91 (City Exhibit 8), which details the weight threshold – 15,000lbs - that requires commercial registration. Since Mr. Fernandez's truck far exceeds this limitation and is in fact commercially registered pursuant to such regulation, the truck may not be parked or stored in a residential zone.

On June 23, 2021 the ownership information for the subject property was confirmed (City Exhibit 9) and a Notice of Zoning Violation (City Exhibit 10) was drafted. On June 24, 2021 the Notice was mailed to the property owner and posted on the front door of the property (City Exhibit 11).

Based on the information contained herein, the City of Tulsa Working in Neighborhoods Department respectfully requests that the Appeal be denied by the City of Tulsa Board of Adjustment and that the owner be ordered to comply with all provisions of the Notice.

Respectfully Submitted,



Michael Rider, Zoning & Sign Official
City of Tulsa - Working in Neighborhoods
175 E 2nd Street, Ste 480
Tulsa, OK 74103
mrider@cityoftulsa.org
918.596.9878

From: [Louis Fernandez](#)
To: [Ken Haynes](#)
Subject: FW: Neighborhood Commercial Truck
Date: June 7, 2021 17:26:51 PM

Can you add this to your list?

This is one that I've had the witness statement/form completed and the photo below we could issue a notice and then you can monitor afterwards - right?

Blaine Pacheco - Supervisor
City of Tulsa Working in Neighborhood Department
175 E. Van Dr. Suite 180 Tulsa OK 74101
T 918-578-5630
F 918-588-3102
E blaine.pacheco@cityoftulsa.org
www.cityoftulsa.org
#WNTSTRONG

From: Ken Haynes <khaynes@cityoftulsa.org>
Sent: Monday, June 7, 2021 12:27 PM
To: Blaine Pacheco, blaine.pacheco@cityoftulsa.org
Subject: FW: Neighborhood Commercial Truck

Hi Blaine - Ken Haynes here - The truck photos are on the email to Counselor Loue Decker Wright - Thank you for your help

Begin forwarded message:

From: Ken Haynes <khaynes@cityoftulsa.org>
Subject: FW: Neighborhood Commercial Truck
Date: May 8, 2021 at 10:16:20 AM CDT
To: blaine.pacheco@cityoftulsa.org

My City Councilor Loue Decker Wright informed me that this Commercial Truck is illegal to be parked in the neighbor's driveway - I called it in several months ago but no action yet. Since the truck is out most days during business hours the inspectors may not have seen it. It is there today weekends and evenings. As you can see in the photo it belongs to Louis Fernandez. We need a little help here. The neighborhood is getting old and it is hard to keep it up.

Thanks for your help

Ken Haynes
(918) 688-7362

Begin forwarded message:

From: "JDIST77 Wright, Lou Decker" <jd77@cityoftulsa.org>
Subject: Re: Neighborhood Commercial Truck
Date: May 3, 2021 at 12:03:21 PM CDT
To: Ken Haynes <khaynes@cityoftulsa.org>
Cc: "Worley, Brandon" <Brandon.Worley@cityoftulsa.org>

Hi Ken,

You can definitely report it to 311. I have added it to my Council's Action Items. No need to get on a status update.

Thank you,
Loue

Councilor Loue Decker Wright
City of Tulsa (District 7)
Vice-Chair of the Tulsa City Council | 2021
Office: (918) 588-1047
Email: loue@cityoftulsa.org
www.cityoftulsa.org
Promotions: [abc](#), [her](#), [hers](#)

From: Ken Haynes <khaynes@cityoftulsa.org>
Sent: Monday, May 3, 2021 11:51 AM
To: JDIST77 Wright, Lou Decker
Subject: Re: Neighborhood Commercial Truck

Hi Ken and the City has not acted on the Commercial truck at 9339 85th East Ave. In our neighborhood. The city may just be blaming this complaint on if it was in Silverdale it would be gone quick. The truck is in his driveway every evening and other days also. Attached is a photo of the truck. Can I file a complaint at the Mayor's Office or with the police?

Thank you for your assistance in this matter.



On Apr 1, 2021, at 1:00 PM, JDIST77 Wright, Lou Decker



04/27/2021 10:00 AM

Hi Mr. Wright,

Thank you for contacting my office with your neighborhood concern. By copy of this reply I am requested that my Council Aide Brandon Worley look into this further with Working in Neighborhoods (WIN) Enforcement. You are aware that commercial vehicles cannot be parked on residential streets for extended periods of time.

Brandon, please contact WIN Staff and follow up with Mr. Haynes with an update.

Sincerely,

Ken

Councilor Ken Dieter Wright
City of Tulsa | District 7
Vice Chair of the Tulsa City Council | 2021
Office: 918-586-3933
Email: kdieter@tulsa.gov
www.tulsa.gov
Phone: 918-586-3933

From: Ken Haynes <khaynes@tulsa.gov>
Sent: Thursday, April 1, 2021 12:43 PM
To: (DSTF) Wright, Ken Dieter <kdieter@tulsa.gov>
Subject: Neighborhood Commercial Truck

Thank you for your attention to this problem. Several months ago, Councilor C-7 is about the Truck Working program but it must have been under the radar for some time during the pandemic at your office.

My neighbor at 92395 86th East Ave. Tulsa Ok 74133 moved here in the fall of 2021. He has a large Freightliner truck parked in his driveway. The truck is there every weekend and in the evenings. The truck is 30 feet long with a box and height extending above his garage door past the roof line, about 12 feet high. He needs to have a place to park it when he is not using it.

The City has had some trouble with the way the city has handled it so far and it is not clear what the future is.

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From: [Rider, Michael](#)
To: lxtoolco@gmail.com
Subject: Zoning Code
Date: Tuesday, June 15, 2021 8:31:00 AM

Good Morning Mr. Fernandez,

[Here is a link](#) to the Zoning Code, which I referenced on our call today. As discussed, we have received a complaint about the Freightliner truck that is regularly parked at 9239 S 86 E Ave in the evenings and on weekends. I have not done a full inspection, but based on the photos submitted in the complaints, it appears that any of the following sections may be relevant to the situation:

- Chapter 45 (Accessory Uses):
 - Section 45.010-B (General Provisions)
 - Section 45.100-F.10 (Home Occupations)
 - Section 45.130 (Parking and Storage of Commercial Trucks)
- Chapter 60 (Signs):
 - Section 60.020-A,D,E & O (Prohibited Characteristics)
 - Section 60.050-B (Signs Allowed in Residential Zoning Districts).

The recreational vehicle regulations you inquired about are found in Chapter 45, Section 45.150. If you find any that need to be reported, you can do so by calling 3-1-1 or online at cityoftulsa.org

Please take a look at these sections and let me know how long you need to relocate the commercial vehicle. If you believe the truck doesn't constitute a violation after reviewing the sections, please let me know right away so I can issue you an official Notice so that you can appeal.

All the best,

Michael Rider | Zoning and Sign Official

City of Tulsa Working in Neighborhoods Department
175 East 2nd Street, Suite 590. Tulsa, OK 74103

T: 918-596-9878

F: 918-576-5449







E: mrider@cityoftulsa.org


www.cityoftulsa.org


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Herr Display Vans

Commercial Truck Dealership

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


Herr Display Vans

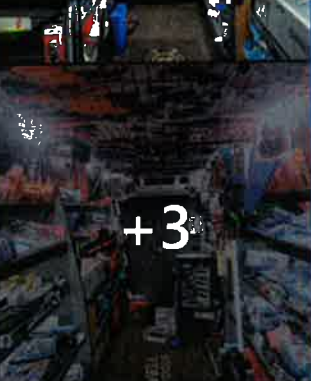

March 22 · 🌐



Customer Louis Fernandez needs to get his 2017 20' M2 moved so he can take delivery of his new truck. You may contact him at louisfernandez@cornweldealer.com or 918-829-6609 for details.







20+




10


4 Comments

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Write a comment...
Press Enter to post.




Ross Dunagan
Ted Basile convert it for Tim?
Like Reply 13w
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Louis Fernandez
918-829-6609  1
Like Reply 13w


Most Relevant is selected, so some comments may have been filtered out.


OTHER POSTS








Herr Display Vans
June 18 at 9:01 PM · 🌐


Dondi Willams 20' M2 heading for Waxahatchie, Tx.










20+




 45


1 Comment

 Like




 Comment

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Most Relevant



Write a comment...



Press Enter to post.




Top Fan

Charlotte Budimir Herr

Congratulations 🎉




Like · Reply · 4d



Herr Display Vans

June 18 at 3:58 PM · 🌐

29 footer for the Paul Megrath team out of Iowa.



+10

81

36 Comments 2 Shares

Like

Comment

Share

Most Relevant

Write a comment...

Press Enter to post.

Kinny Arthur

Well excuse me where I go take a cold shower.... Seriously that's the dream ain't it!!

Like · Reply · 4d

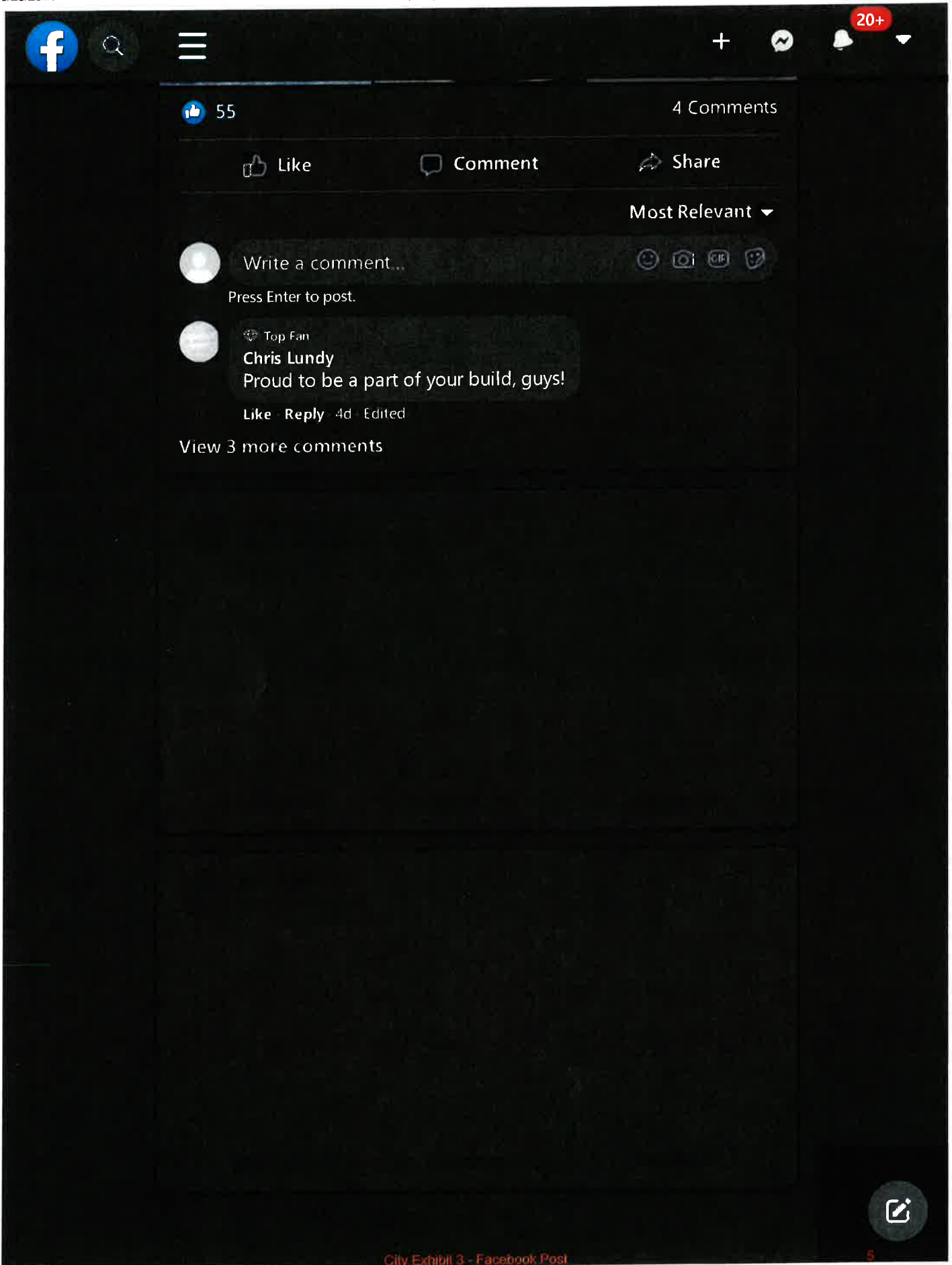
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Herr Display Vans

June 18 at 6:44 AM ·

Ive been lacking with the updates. Here are some of deliveries from the past couple of weeks. Lucas Lincoln's MT45, Bill Childers and his M2, Ron Davitt's KW, Wayne Moore and his new Peterbilt and Francisco Diaz's MT45.

+2



City Exhibit 3 - Facebook Post

5

[TRUCKS](#)[MENU](#)[DEALERS \[/DEALER-SEARCH/\]](#)[Home](#) / [Trucks](#) / [M2 106](#)

SPECS & RESOURCES

Class	6-8
Horsepower	200-350 HP
Torque	560 to 1150 lb-ft
GVWR	66,000 lbs.

M2 106 Brochure

(https://freightlineradsAEM.azureedge.net/content/dam/enterprise/document/m2_106_brochure-2019-03-01-1.pdf)

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Vocational truck drivers demand more of their work
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PRODUCTIVITY

The All-Around Performer

Available as a truck or tractor, the M2 106 supports a wide range of bodies and chassis-mounted equipment. Both stylish and practical, it has a GVWR of up to 66,000 pounds that produces results.





UPFIT

Built for Versatility

Versatility comes standard in the M2 106, making it the perfect platform and truck of choice for a variety of applications.





SAFETY

Safety First

A sloped hood, low profile dash and a 2,500 square-inch windshield provide drivers best in class visibility.





Toughness and Efficiency

Constructed from high quality and durable materials, the M2 106 cab is lightweight yet extremely tough, made from corrosion-resistant aluminum reinforced with with e-coated steel.



 UPTIME

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*Based on Polk new truck registrations in the US and Canada for class 6-7 vehicles from 2012-2019.

See Limited Time Offers

Medium Duty Applications



Box Truck

(/trucks/vocational/box-truck/?truckId=1069)



Dump Truck

(/trucks/vocational/dump-truck/?truckId=1069)



Flatbed - Stake Body

(/trucks/vocational/flatbed-stake-body/?truckId=1069)



Food & Beverage

(/trucks/vocational/food-beverage/?truckId=1069)



Government & Municipality

(/trucks/vocational/government-municipality/?truckId=1069)



Moving

(/trucks/vocational/moving/?truckId=1069)



Refuse

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Service

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Sweeper

(/trucks/vocational/sweeper/?truckId=1069)



Tanker

(/trucks/vocational/tanker/?truckId=1069)



Towing & Recovery

(/trucks/vocational/towing-recovery/?truckId=1069)



Tree Trimmer

(/trucks/vocational/tree-trimmer/?truckId=1069)



Utility Truck

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Water Tanker

(/trucks/vocational/water-tanker/?truckId=1069)

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Brochures and Videos [/brochures-and-videos/]

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Freightliner Vans [/freightliner-vans/]

Safety [/demand-detroit/detroit-assurance-suite-of-safety-systems/]

Manuals and Guides (<https://dtnacontent-dtna.prd.freightliner.com/content/public/dtna-serviceLit/TechLit-Homepage.html?make=freightliner>)

Vehicle Recall Lookup (<https://dtna-dlrinfo.prd.freightliner.com:48518/VinLookup/vin-module/getVinLookupPage>)

Why Freightliner [/why-freightliner/]

Team Run Smart [/team-run-smart/]

Freightliner Racing [/freightliner-racing/]

Blog [/blog-and-newsletters/]

Driver Training Materials [/drivertraining/]

Merchandise (<https://www.shopfreightlinergear.com/>)

Careers (<https://dtna.jobs/>)

Press Releases [/press-releases/]

Sitemap [/site-map/]



Freightliner - A Daimler Group Brand

Copyright © Daimler Trucks North America LLC. Privacy Statement, Legal Notices and Terms (<http://www.daimler-trucksnorthamerica.com/privacy-policy>).

All rights reserved. Freightliner Trucks is a division of Daimler Trucks North America LLC, a Daimler (<http://www.daimler.com/>) company.

[Home](#) : [Business Services](#) : [Corp Search](#) : [Corp Information](#)

Entity Summary Information

Select the buttons below to file or place an order.

To view Entity Details there will be a \$5.00 charge and you will need to click on **VIEW ENTITY DETAILS** button at the bottom of the page.

If you are ordering documents such as a "Certificate of Good Standing" or "copies" you will need to click on the **ORDER DOCUMENTS** button at the bottom of the page.

If you are filing a legal document such as a trade name, amendment, annual certificate, etc., you will need to click on **FILE A DOCUMENT** button at the bottom of the page.

LX TOOLS LTD. CO.

Details

Filing Number: 3512815068
Name Type: Legal Name
Status: In Existence 
Corp type: Domestic Limited Liability Company
Jurisdiction: Oklahoma
Formation Date: 6 Feb 2020

Registered Agent Information

Name: LOUIS XAVIER FERNANDEZ Jr
Effective: 6 Feb 2020
Address: 2926 EAST 93RD PLACE APT 2102
City, State , ZipCode: TULSA OK 74137

[View Entity Detail](#)[File a Document](#)[Order Documents](#)[New Search](#)

2. Type 2 Home Occupations

Type 2 home occupations are those in which household residents use their home as a place of work and either employees or customers come to the site. Typical examples include tutors, teachers, photographers, counselors, hair cutting/styling and real estate agents.

45.100-D Exemptions

Nonresidential uses that are expressly allowed in conjunction with residential uses (e.g., bed and breakfast uses and family child care homes) are not subject to home occupation regulations.

45.100-E Allowed Uses

The home occupation regulations of this section establish performance standards for all home occupations rather than listing specific home occupation uses that are allowed. Uses that comply with the standards of this section are allowed as of right unless otherwise expressly stated.

45.100-F Prohibited Uses

The following uses are expressly prohibited as home occupations:

1. Any type of assembly, cleaning, maintenance, painting or repair of vehicles or equipment with internal combustion engines or of large appliances (such as washing machines, clothes dryers or refrigerators);
2. Dispatch centers or other businesses where employees come to the site and are dispatched to other locations;
3. Equipment or supply rental businesses;
4. Taxi, limo, van or bus services;
5. Tow truck services;
6. Taxidermists;
7. Restaurants;
8. Funeral or interment services;
9. Animal care, grooming or boarding businesses; and
10. Any use involving the use or storage of vehicles, products, parts, machinery or similar materials or equipment outside of a completely enclosed building; and
11. Any use that does not comply with regulations of this section.

45.100-G Where Allowed

1. Type 1 Home Occupations

Type 1 home occupations are permitted as of right as an accessory use to a principal use in the household living use category. Type 1 home occupations are subject to the general regulations of [§45.100-H](#) and the supplemental regulations of [§45.100-I](#).

2. Type 2 Home Occupations

45.120-C Office support services must have internal access from the subject office building. External entrances are also allowed.

Section 45.130 Parking and Storage of Commercial Trucks

No vehicle required to be registered as a “commercial truck” pursuant to OAC 710:60-3-91 may be parked or stored on a lot within a residential zoning district. This provision is not intended to prohibit deliveries and pickups by common carrier delivery vehicles (e.g., postal service, united parcel service, FedEx, et al.) of the type typically used in residential neighborhoods

Section 45.140 Parking and Storage of Inoperable or Unlicensed Motor Vehicles

In R or AG-R districts, parking or storage of inoperable or unlicensed motor vehicles is prohibited within street yards.

Section 45.150 Parking and Storage of Recreational Vehicles

45.150-A Other than for purposes of loading and unloading, which must take place within a 48-hour period, recreational vehicles located in an AG, AG-R, R or MX district may be parked or stored only in the following locations:

1. Within a garage;
2. Within a rear building setback, provided it is set back at least 3 feet from all lot lines;
3. Within a side yard but not within a required side building setback;
4. Within a side building setback if the recreational vehicle is no more than 6 feet in height, excluding the height of any outboard motor or windshield, and the recreational vehicle is screened along the lot line nearest to the vehicle and extending for the vehicle's full length by an F1 screening fence or wall in accordance with ~~§65.070-C~~; or
5. Within the street yard, provided that the development administrator determines that all of the following conditions exist:
 - a. Space is not available or there is no reasonable access to either the side yard or rear yard;
 - b. Parking inside the garage is not possible due to the height or width of the recreational vehicle;
 - c. The recreational vehicle is parked perpendicular to the street lot line;
 - d. The body of the recreational vehicle is at least 12 feet from the face of the curb or travel lanes of the street and does not extend over a sidewalk; and
 - e. No more than one recreational vehicle is parked or stored in the street yard.
6. For purposes of these provisions:
 - a. A corner lot is always deemed to have reasonable access to the rear yard;
 - b. A fence does not necessarily prevent reasonable access to a yard; and
 - c. A boat loaded on a boat trailer is considered one recreational vehicle.

[OAR Online](#)[View Code](#)

**Permanent Rules
Executive Orders
4-15-2021**

[View Register](#)[Search Code](#)[Search Register](#)[Disclaimer](#)

710:60-3-91. Commercial trucks and truck tractors

(a) **Basis of registration.** Commercial Trucks and Truck Tractors are registered on the basis of combined laden weight. Commercial trucks registered for 15,000 lbs. or less are registered on a combination of age and combined laden weight of the vehicle. Combined laden weight is the combined weight of a vehicle when fully equipped for use and the cargo or payload transported thereon. The registered laden weight of a wrecker or tow vehicle is the gross weight of the wrecker or tow vehicle alone, without any inclusion of weight for a vehicle towed by the wrecker or tow vehicle. The combined laden weight declared for the purposes of registration is at the discretion of the registrant, provided that in no event may the figure be less than the unladen weight of the vehicle fully equipped for use.

(b) **Minimum weight for truck tractors; minimum fee.** The minimum weight allowed on a truck tractor is 15,000 lbs., with no reduction in the annual registration fee for number of years registered.

(c) **Display of commercial status; inspections.** All commercial trucks and truck tractors must have the name of the commercial establishment or the words "Commercial Vehicle" permanently and prominently displayed upon the outside of the vehicle in letters not less than 2" high. The letters must be in contrast to their background in order to be legible from a distance of 50 feet when the vehicle is not in motion. Vehicles registering at 15,000 lbs. or less must also meet



tulsacounty.org
Where history and progress meet

Assessor
JOHN A. WRIGHT

Property Search

Disclaimer

The Tulsa County Assessor's Office has made every effort to insure the accuracy of the data contained on this web site; however, this material may be slightly dated which could have an impact on its accuracy.

The information must be accepted and used by the recipient with the understanding that the data was developed and collected only for the purpose of establishing fair cash (market) value for ad valorem taxation. Although changes may be made periodically to the tax laws, administrative rules and similar directives, these changes may not always be incorporated in the material on this web site.

The Tulsa County Assessor's Office assumes no liability for any damages incurred, whether directly or indirectly, incidental, punitive or consequential, as a result of any errors, omissions or discrepancies in any information published on this web site or by any use of this web site.

Quick Facts

Account # R71450832416080
Parcel # 71450-83-24-16080
Situs address 9239 S 86 AV E TULSA 741335553
Owner name FERNANDEZ, LOUIS XAVIER JR & ASHLEY AMANDA HENDERSON
Fair cash (market) value \$196,500
Last year's taxes \$2,517
 Subdivision: OAK LEAF
Legal description Legal: LT 9 BLK 5
 Section: 24 Township: 18 Range: 13



71450-83-24-16080 (04/2018)

General Information

Situs address 9239 S 86 AV E TULSA 741335553
Owner name FERNANDEZ, LOUIS XAVIER JR & ASHLEY AMANDA HENDERSON
Owner mailing address 9239 S 86TH EAST AVE
 TULSA, OK 741335553
Land area 0.25 acres / 10,932 sq ft
Tax rate T-5A [JENKS]
 Subdivision: OAK LEAF
Legal description Legal: LT 9 BLK 5
 Section: 24 Township: 18 Range: 13
Zoning RES SINGLE-FAMILY HIGH DENSITY DISTRICT [RS3]

Tax Information

	2019	2020	2021
Fair cash (market) value	\$177,000	\$177,000	\$196,500
Total taxable value	\$177,000	\$177,000	\$196,500
Assessment ratio	11%	11%	11%
Gross assessed value	\$19,470	\$19,470	\$21,615
Exemptions	\$-1,000	\$-1,000	\$0
Net assessed value	\$18,470	\$18,470	\$21,615
Tax rate	T-5A [JENKS]		
Tax rate mills	140.89	136.26	136.26*
Estimated taxes	\$2,602	\$2,517	\$2,945*
Most recent NOV	February 2, 2021		

* Estimated from 2020 millage rates

Values

	2019	2020	2021
Land value	\$29,754	\$29,754	\$29,754
Improvements value	\$147,246	\$147,246	\$166,746
Fair cash (market) value	\$177,000	\$177,000	\$196,500

Exemptions claimed

	2019	2020	2021
Homestead	✓	✓	—
Additional homestead	—	—	—
Senior Valuation Limitation	—	—	—
Veteran	—	—	—

Tax detail (2020 millages)

	%	Mills	Dollars
City-County Health	1.9	2.58	\$55.77
City-County Library	3.9	5.32	\$114.99
Tulsa Technology Center	9.8	13.33	\$288.13
Emergency Medical Service	0.0	0.00	\$0.00
Tulsa Community College	5.3	7.21	\$155.84
School Locally Voted	24.3	33.09	\$715.24
City Sinking	13.0	17.78	\$384.31
School County Wide Bldg	3.8	5.20	\$112.40
School County Wide ADA	2.9	4.00	\$86.46
School County Wide General	26.7	36.40	\$786.79
County Government	8.3	11.35	\$245.33

(Continued on next page)

Improvements

Bldg ID#	Property type	Condition	Quality	Year built	Usable†	Stories	Foundation	Exterior	Roof	Baths	HVAC
1	Residential	Avg +	Fair Plus	1985	2,152 SF	1.5	Slab	Frame Siding/ Brick/ Stone Veneer	Composition Shingle	2.0	Cool Air In Heat Ducts

Sales/Documents

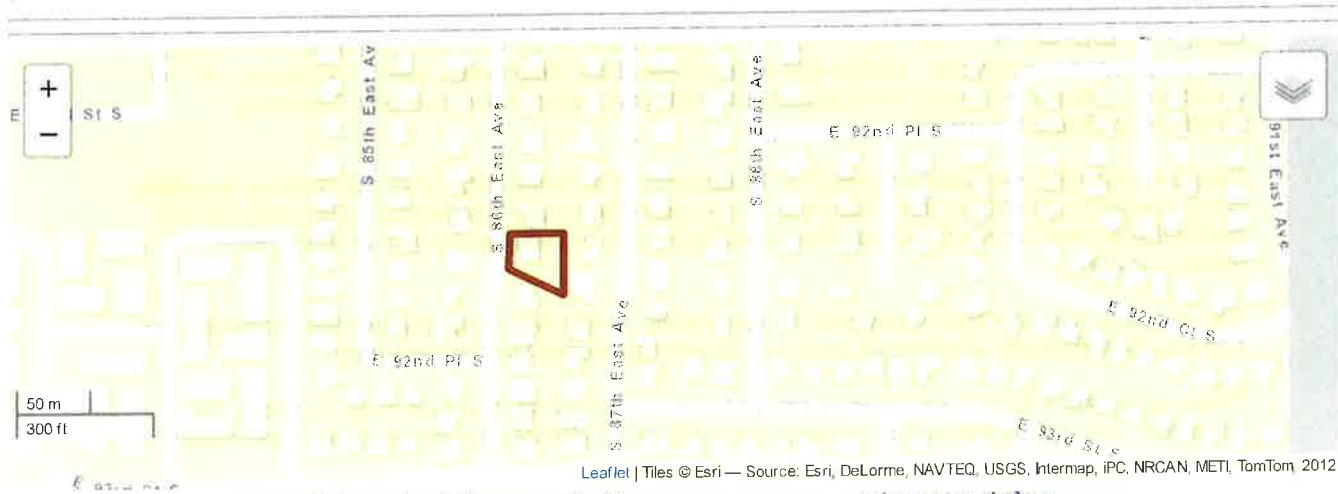
Date	Grantor	Grantee	Price	Doc type	Book-Page/Doc#
Oct 14, 2020	BARTULA, JAMES & TRACEY REV TRUSTS	FERNANDEZ, LOUIS XAVIER JR & ASHLEY, AMANDA HENDERSON	\$196,500	General Warranty Deed	2020103720
Oct 16, 2019	BARTULA, JAMES & TRACEY	BARTULA, JAMES & TRACEY REV TRUSTS	\$—	Warranty Deed	2019095254
Jun 21, 2017	JONES, MARK D AND, JENNIFER D	BARTULA, JAMES & TRACEY	\$177,000	Warranty Deed	2017059432
Oct 26, 2007	JONES, MARK D	JONES, MARK D	\$—	General Warranty Deed	2007120387
Mar 1, 2005	SALVATION ARMY	JONES, MARK D	\$125,000	History	2005023909
Oct 1, 1993			\$92,500	History	05549-00546
Aug 1, 1991			\$85,000	History	05343-01600

Images

Photo/sketch
(Click to enlarge)



† Square footage and acreage values included in this record are approximations. They may not reflect what a licensed surveyor would determine by performing a formal survey. They are for tax purposes only and are not intended for use in making conveyances or for preparing legal descriptions of properties.



[Click to view this area on the Google Maps web page in a new window](#)

John A. Wright — Tulsa County Assessor

Tulsa County Headquarters, 5th floor | 218 W Sixth St | Tulsa, OK 74119

Phone: (918) 596-5100 | Fax: (918) 596-4799 | Email: assessor@tulsacounty.org

Office hours: 8:00–5:00 Monday–Friday (excluding holidays)



Neighborhood Investigations
WORKING IN NEIGHBORHOODS

NOTICE OF VIOLATION – ZONING

To: FERNANDEZ, LOUIS XAVIER JR & ASHLEY
AMANDA HENDERSON
9239 S 86TH EAST AVE
TULSA, OK 741335553

Date: 6/24/21
Case: WIN-20051-2021

Compliance Date: 7/4/21

Dear Property Owner and/or Occupant,

You are hereby notified of zoning (Title 42) violations at LT 9 BLK 5 OAK LEAF

City of Tulsa, Tulsa County State of Oklahoma; And located at the address of:
9239 S 86TH EAST AVE

Violations:

Code Section	Explanation of violation
45.100	The outdoor storage of items, vehicles, and equipment associated with home occupations is prohibited. Remove all items associated with Cornwell Quality Tools and/or LX Tools LTD. CO. or store them within a completely enclosed building.
45.130	Vehicles required to be registered as commercial trucks are prohibited in the Residential Zoning District. Remove the white and blue Freightliner M2 from the Residential District.

See back of page for ordinance language.

You still have time to correct the issue(s) at your property. To comply, you must correct all violations prior to the compliance deadline listed on this notice above. If you are unable to correct any or all the violation(s) listed above, contact the Code Official listed below to work out an acceptable plan to bring your property into compliance. Ensure that all family members, employees, and/or contractors, etc. are familiarized with and adhere to these regulations. Additional notices will not be sent if recurring violations are found in the future.

Failure to make the correction may result in the issuance of a criminal citation or civil remedial penalties not to exceed \$1,200.00 per day. Failure to comply may also result in revoking or withholding permits, certificates or other forms of authorization issued by the City of Tulsa; and/or any other remedies allowed by law.

Your property is an important investment for you and the community. I urge you to make the necessary corrections to eliminate all violations so that no further enforcement will be necessary.

Please understand that it is ultimately the responsibility of the owner to ensure these violations are corrected. Any civil agreements or rental agreements do not alleviate the owner of this responsibility.

Thank you,

Michael Rider

Michael Rider
City of Tulsa – Working in Neighborhoods
mrider@cityoftulsa.org
918-596-9878

Appeals: You may appeal the administrative official's decision by filing a complete appeal application (1) with the official listed above c/o the Tulsa City Clerk AND (2) with the Director of the Tulsa Planning Office at INCOG, at the addresses shown below. Appeals must be filed within **10 DAYS** of the date of this Notice, and applicable fees must accompany the appeal application filed with INCOG. Appeals are heard by the City of Tulsa Board of Adjustment. For more information related to appeals, see Chapter 70, Section 70.140 of the Tulsa Zoning Code, Title 42 Tulsa Revised Ordinances, Appeals of Administrative Decisions.

INCOG – Indian Nations Council of Governments		City of Tulsa – City Clerk	
2 West Second Street		175 East Second Street	
Suite 800	Monday-Friday	Suite 260	Monday-Friday
Tulsa, OK 74103	8 a.m. – 5 p.m.	Tulsa, OK 74103	8 a.m. – 5 p.m.
918.584.7526		918.596.7513	

To view the full Zoning Code please visit www.tulsaplanning.org/resources/plans

A COPY OF THIS NOTICE HAS BEEN SENT TO:

ORDINANCES CITED:

45.100-F Prohibited Uses The following uses are expressly prohibited as home occupations: 1. Any type of assembly, cleaning, maintenance, painting or repair of vehicles or equipment with internal combustion engines or of large appliances (such as washing machines, clothes dryers or refrigerators); 2. Dispatch centers or other businesses where employees come to the site and are dispatched to other locations; 3. Equipment or supply rental businesses; 4. Taxi, limo, van or bus services; 5. Tow truck services; 6. Taxidermists; 7. Restaurants; 8. Funeral or interment services; 9. Animal care, grooming or boarding businesses; and 10. Any use involving the use or storage of vehicles, products, parts, machinery or similar materials or equipment outside of a completely enclosed building; and 11. Any use that does not comply with regulations of this section.

Section 45.130 Parking and Storage of Commercial Trucks No vehicle required to be registered as a "commercial truck" pursuant to OAC 710:60-3-91 may be parked or stored on a lot within a residential zoning district. This provision is not intended to prohibit deliveries and pickups by common carrier delivery vehicles (e.g., postal service, united parcel service, FedEx, et al.) of the type typically used in residential neighborhoods.



New Road Investigations
WORKING IN NEIGHBORHOODS

NOTICE OF VIOLATION - ZONING

To: FERNANDEZ, LOUIS XAVIER JR & ASHLEY
AMANDA HENDERSON
9239 S 86TH EAST AVE
TULSA, OK 741335553

Date: 6/24/21
Case: WIN-20051-2021

Compliance Date: 7/4/21

Dear Property Owner and/or Occupant:

You are hereby notified of zoning (Table 42) violations at: LT 9 BLK S OAK LEAF

City of Tulsa, Tulsa County, State of Oklahoma; And located at the address of:
9239 S 86TH EAST AVE

Violations:	
Code Section	Explanation of violation
45.100	The outdoor storage of items, vehicles, and equipment associated with home occupations is prohibited. Remove all items associated with Cornwell Quality Tools and/or LX Tools LTD. CO or store them within a completely enclosed building.
45.130	Vehicles required to be registered as commercial trucks are prohibited in the Residential Zoning District. Remove the white and blue Freightliner M2 from the Residential District.

See back of page for ordinance language.

You still have time to correct the issue(s) at your property. To comply, you must correct all violations prior to the compliance deadline listed on this notice above. If you are unable to correct any or all the violation(s) listed above, contact the Code Official listed below to work out an acceptable plan to bring your property into compliance. Ensure that all family members, employees, and/or contractors, etc. are familiarized with and adhere to these regulations. Additional notices will not be sent if recurring violations are found in the future.

Failure to make the correction may result in the issuance of a criminal citation or civil remedial penalties not to exceed \$1,200.00 per day. Failure to comply may also result in revoking or withholding permits, certificates or other forms of authorization issued by the City of Tulsa; and/or any other remedies allowed by law.

Your property is an important investment for you and the community. I urge you to make the necessary corrective to eliminate all violations so that no further enforcement will be necessary.

Please understand that it is ultimately the responsibility of the owner to ensure these violations are corrected. Any civil agreements or rental agreements do not alleviate the owner of this responsibility.

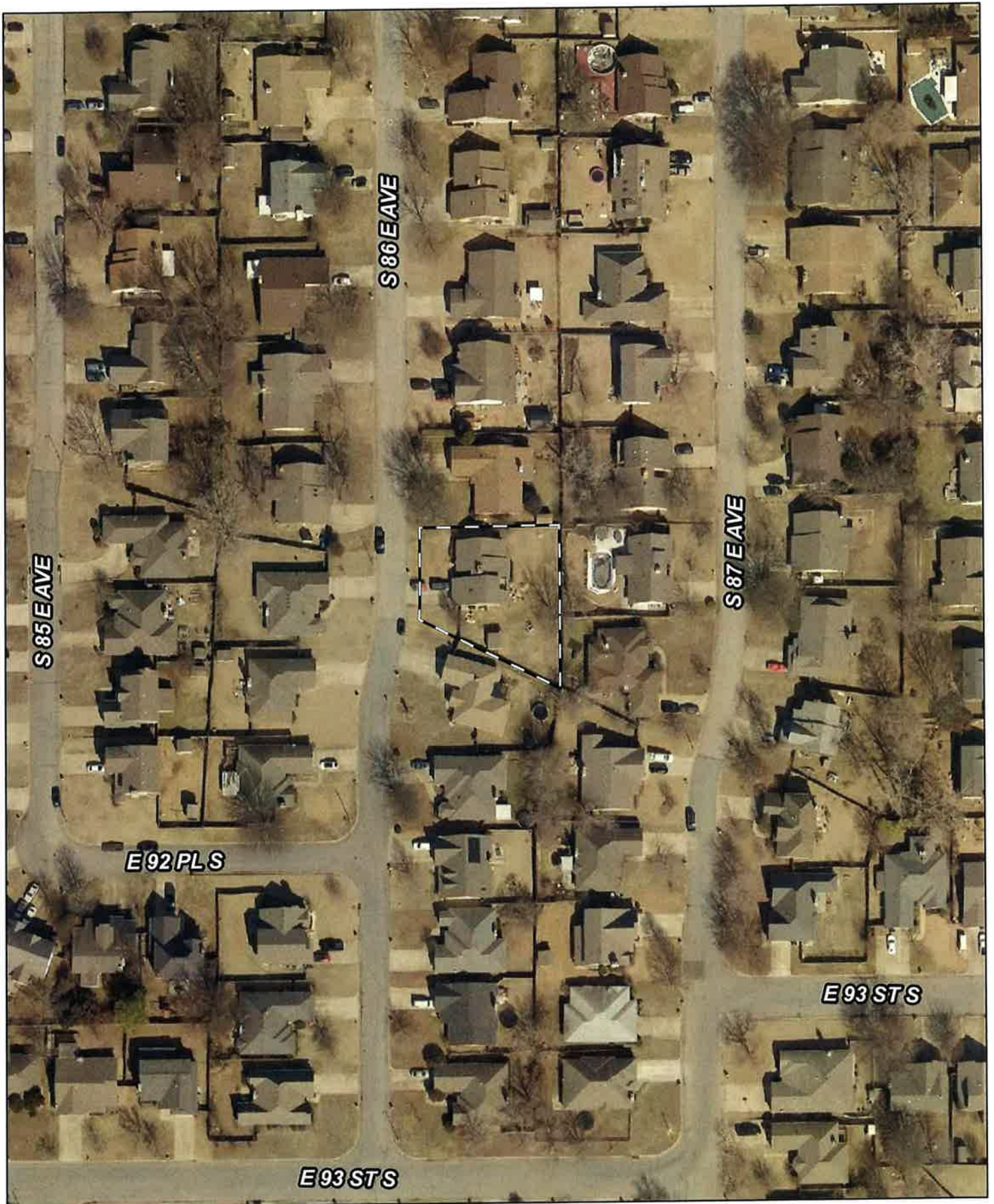
Thank you,

M. P. Kelly
Michael Kelly
City of Tulsa - Working in Neighborhoods
mike@cityoftulsa.org
918.594.3475

Appeals: You may appeal the administrative official's decision by filing a complete appeal application (1) with the official listed above OR the Tulsa City Clerk AND (2) with the Director of the Tulsa Planning Office at UNCOG, at the addresses listed below. Appeals must be filed within **10 DAYS** of the date of this notice, and appeals form addresses listed below. For more information related to appeals, see Chapter 70, Section 70.140 of the Tulsa Zoning Code. **City of Tulsa - City Clerk**
City Clerk
200 East Second Street
Tulsa, OK 74103
918.596.2111
Monday-Friday 9 a.m. - 5 p.m.
City of Tulsa - Planning Office
200 East Second Street
Tulsa, OK 74103
918.596.2111
Monday-Friday 9 a.m. - 5 p.m.

To view the full Zoning Code please visit www.cityoftulsa.org/ordinances

06/24/2021 13:12



0 Feet 50 100



Subject Tract

BOA-23167

18-13 24

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



2.51



0 250 500
Feet



Subject
Tract

BOA-23167

18-13 24

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



2.52

CORNWELL FRANCHISE

JOIN THE CLUB. STEP
ON A TRUCK. BE YOUR
OWN BOSS.

+ Cornwell Quality Tools + The Team
+ What Happens After + The Next Step Dealer Interviews

Learn More + Media



Are you ready to JOIN THE CLUB?

1

Are you dissatisfied working for others, building someone else's business?

2

Would you like to be your own boss?

3

Do you enjoy working with people?

4

Would you like to succeed based on your own efforts?

[LEARN MORE](#)





Learn More About Cornwell Tools



FIRST NAME *

First Name

LAST NAME *

Last Name

MAILING ADDRESS *

Your Address

CITY *

City

STATE *



ZIP *

Zip

EMAIL *

Enter Your Email

PRIMARY CONTACT PHONE *

Enter Primary Phone

SECONDARY PHONE

Enter Secondary Phone

BEST TIME TO CALL

Best Time

VETERAN

☐HOW DID YOU FIRST LEARN ABOUT
CORNWELL TOOLS?

-- Please choose --

HOW SOON WOULD YOU LIKE TO
START YOUR NEW BUSINESS?

Within 3 Months

HOW MUCH CAPITAL DO YOU HAVE
TO INVEST IN YOUR BUSINESS?

50,000 to 100,000

Submit →

CORNWELL FRANCHISE

JOIN THE CLUB. STEP
ON A TRUCK. BE YOUR
OWN BOSS

+ Cornwell Quality Tools + The Team
+ What Happens After + The Next Step Dealer Interviews

Learn More + Media



Training

At our Headquarters in Wadsworth, OH during a weeklong session, our training staff will teach you how to use our system and coach you on the tips and tricks of the business.

During this time we will give you a personal tour of our manufacturing facilities in Mogadore, OH. You will gain first hand knowledge of the quality we put into our tools. You should be able to speak with confidence about the bloodline of Cornwell, our hardline products.

We will teach you how to operate and use the Ironman Business Network Management System effectively.

We believe that while learning about Cornwell is essential to success in the business, we also provide training on sales and business management. This training will give you the tools needed to be the best business owner possible.





[LEARN MORE](#)



CORNWELL FRANCHISE

JOIN THE CLUB. STEP
ON A TRUCK. BE YOUR
OWN BOSS.

+ Cornwell Quality Tools + The Team
+ What Happens After + The Next Step Dealer Interviews

Learn More + Media



On the Road with Your District Manager

After your initial training, you will spend 10 days in your own territory with your District Manager riding alongside of you. Your District Manager will be able to coach you along the way so you are more comfortable in the drivers seat.

Even after formal training stops, your District Manager is there to help. He has a vested interest in your success.



[LEARN MORE](#)



CORNWELL FRANCHISE

JOIN THE CLUB. STEP
ON A TRUCK. BE YOUR
OWN BOSS

+ Cornwell Quality Tools + The Team

+ What Happens After + The Next Step Dealer Interviews

Learn More + Media



Day in the Life of a Tool Dealer

Getting on a Cornwell truck means never having the same lackluster day over and over again. There is always something new that will occur, a new question, a new tool, or a new promotional item to bring to the customer. While it is hard to predict your actual work day, there are a few basic things that will always happen.

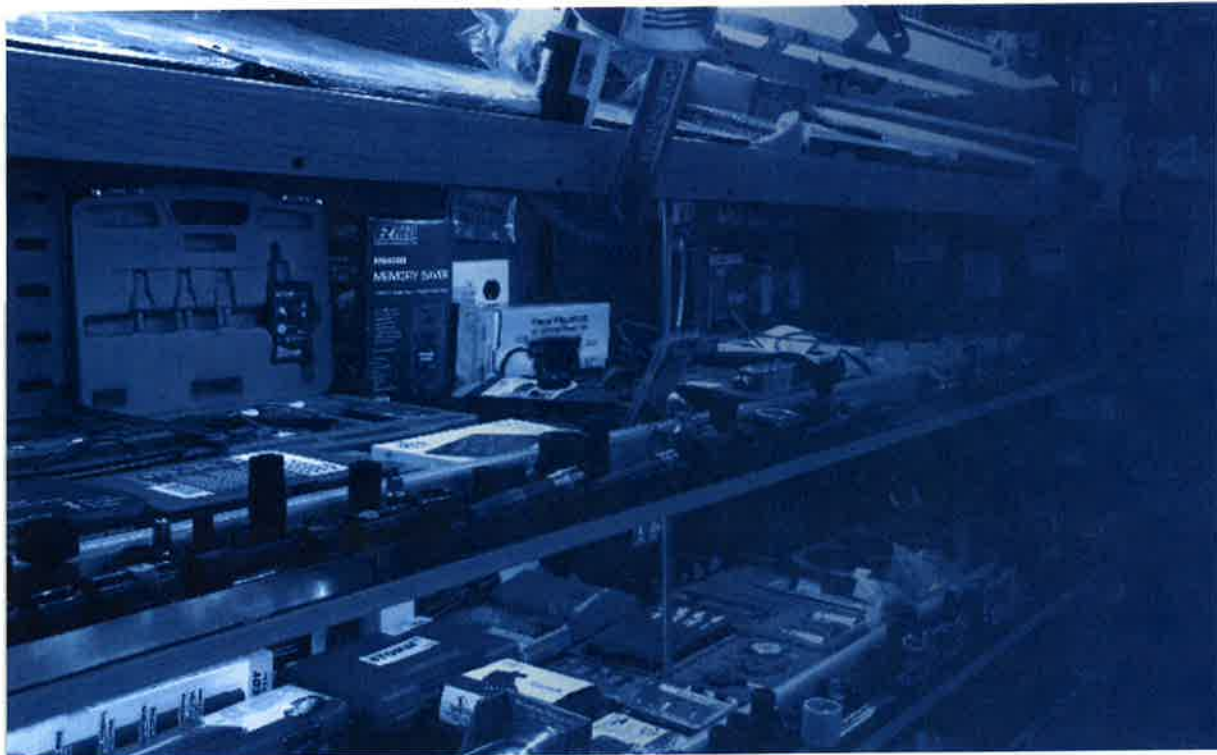
Waking up in the morning, heading out to your route you might find yourself going over the customer list in your head. Remembering which customers you will be seeing that day. Recalling what tools you want to show them, and who wanted what item.

You will develop customer relationships. Seeing these familiar faces each week will not only help build trust between you and your customers, but will allow you to gain insight on what types of tools they may need.



Tote and Promote! Each week you will have tools to sell that meet your customer's needs. Not all customers know exactly what they want, rather you have to show them what they want and need.

At the end of the day it is time to restructure. Restocking and reorganizing your truck, ordering tools and checking payments.



[LEARN MORE](#)





06/24/2021 13:10

BOA 23167 - City Exhibit 12

2.63



2.64

BOA 23467 - City Exhibit 12

06/24/2021 13:10



2.65



06/24/2021 13:11

2.2.2



06/24/2021 13:11



06/24/2021 13:11

07/02 10:00 AM 07/23/21 07:00 PM 1071655
LOUIS FERNANDEZ
9230 S 86TH EAST AVE
TULSA, OK 74133-5533

135-1577

74133-5533

9022 0804 3 (000 000 0000) 0 00 2806 0311 3906

MASTER #
1 of 3
2806 0311 3906

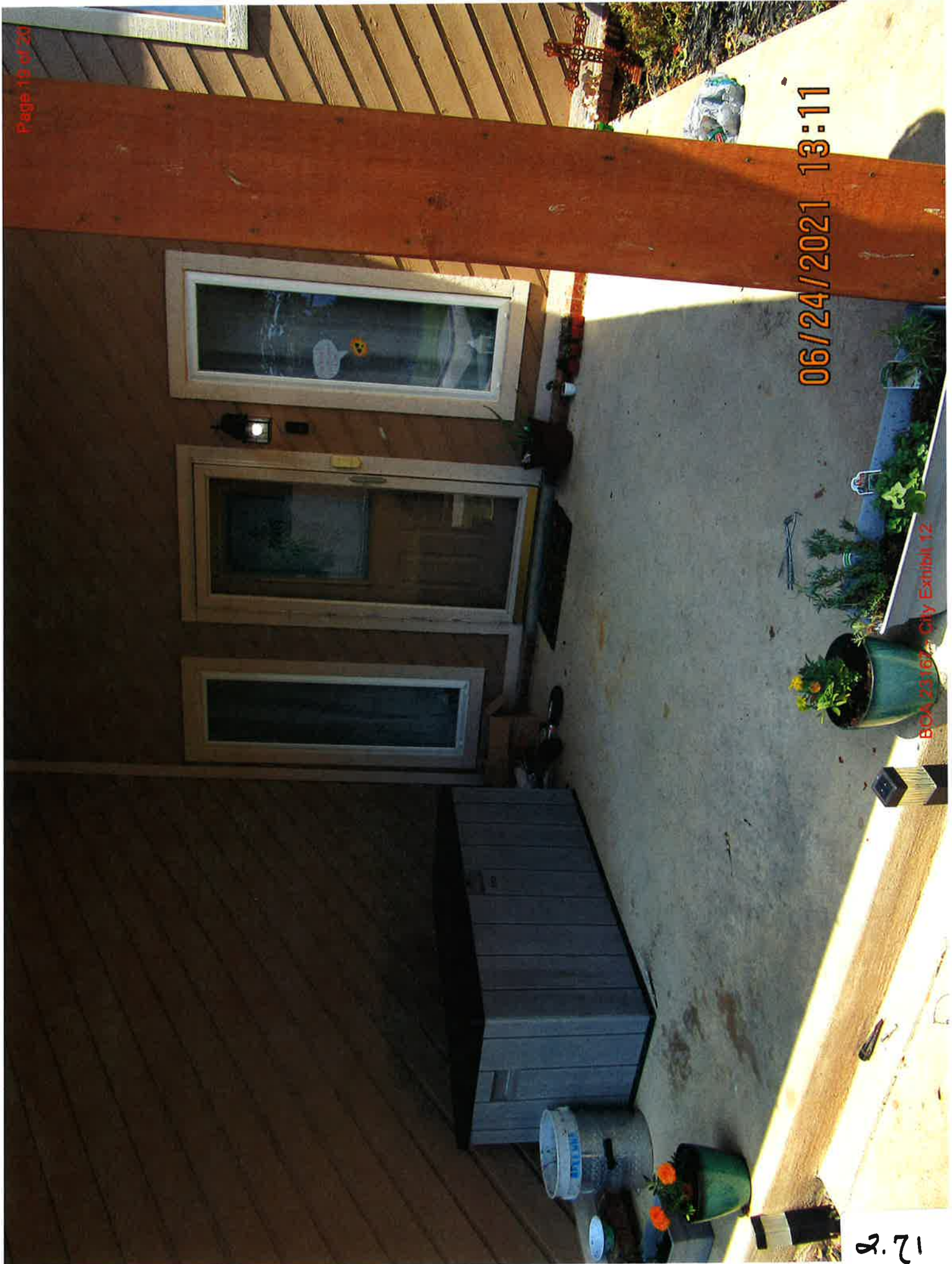
74133

H
FedEx
(us)

9230 S 86TH EAST AVE
TULSA OK 74133

LOUIS FERNANDEZ

06/24/2021 13:11



06/24/2021 13:11

BOA 23167 City Exhibit 12

2.71



Neighborhood Investigations
WORKING WITH NEIGHBORHOODS

NOTICE OF VIOLATION - ZONING

To: FERNANDEZ, LOUIS XAVIER JR & ASHLEY
AMANDA HENDERSON
9239 S 86TH EAST AVE
TULSA, OK 741335553

Date: 6/24/21
Case: WIN-20051-2021

Compliance Date: 7/4/21

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City of Tulsa, Tulsa County State of Oklahoma, And located at the address of
9239 S 86TH EAST AVE

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Thank you,

Michael Ruder
Michael Ruder
City of Tulsa - Working in Neighborhoods
mru@cityoftulsa.org
918-596-9978

Appeals: You may appeal the administrative official's decision by filing a complete appeal application (1) with the official listed above and (2) with the Director of the Tulsa Planning Office at INCOG, at the address shown below. Appeals must be filed within **10 DAYS** of the date of this notice, and applicable fees must accompany the appeal application filed with INCOG. Appeals are heard by the City of Tulsa Board of Adjustment. For more information related to appeals, see Chapter 70, Section 70.140 of the Tulsa Zoning Code.

City of Tulsa - City Clerk	
115 East Second Street Suite 200 Tulsa, OK 74103 918-596-7373	Monday-Friday 9 a.m. - 5 p.m.

To view the full Zoning Code please visit www.tulsa.gov/planning/docs/inquiries/plans

06/24/2021 13:12

2.72

Anna Maria Birkett
9226 S 86th East Ave
Tulsa, OK 74133

August 31, 2021

Re. Blue Freightliner M2 (Van-Straight Truck)
9239 S 86th East Ave
Tulsa, OK 74133-5553

Case Number: BOA-23167
Notice of Violation - Zoning Case: WIN-20051-2021
Attention: Austin Chapman, Planner

This letter is written to the Tulsa City Clerk and the Director of the Tulsa Planning Office at INCOG, Concerning Mr. Fernandez appeal.

The above-mentioned vehicle is stored every evening and every weekend in the private driveway of the property at 9239 S 86th East Ave, in the Oak Leaf neighborhood of Tulsa. The owners of the property are Louis Fernandez and Ashley Henderson.

Code violations at said property are cited in the following ordinances:

45.100-F Prohibited Uses

The outdoor storage of items, (items are stored inside the truck) vehicles, and equipment associated with home occupations is prohibited.

45.130 Parking and Storage of Commercial Trucks

Vehicles required to be registered as commercial trucks are prohibited in the Residential Zoning District.

Added comments:

I contend that this tool truck, (which functions as a mobile work, sales and service-repair center) is a 'commercial level' vehicle, about 24' long. It is difficult to imagine how such a large vehicle could be considered as appropriate in any residential neighborhood.

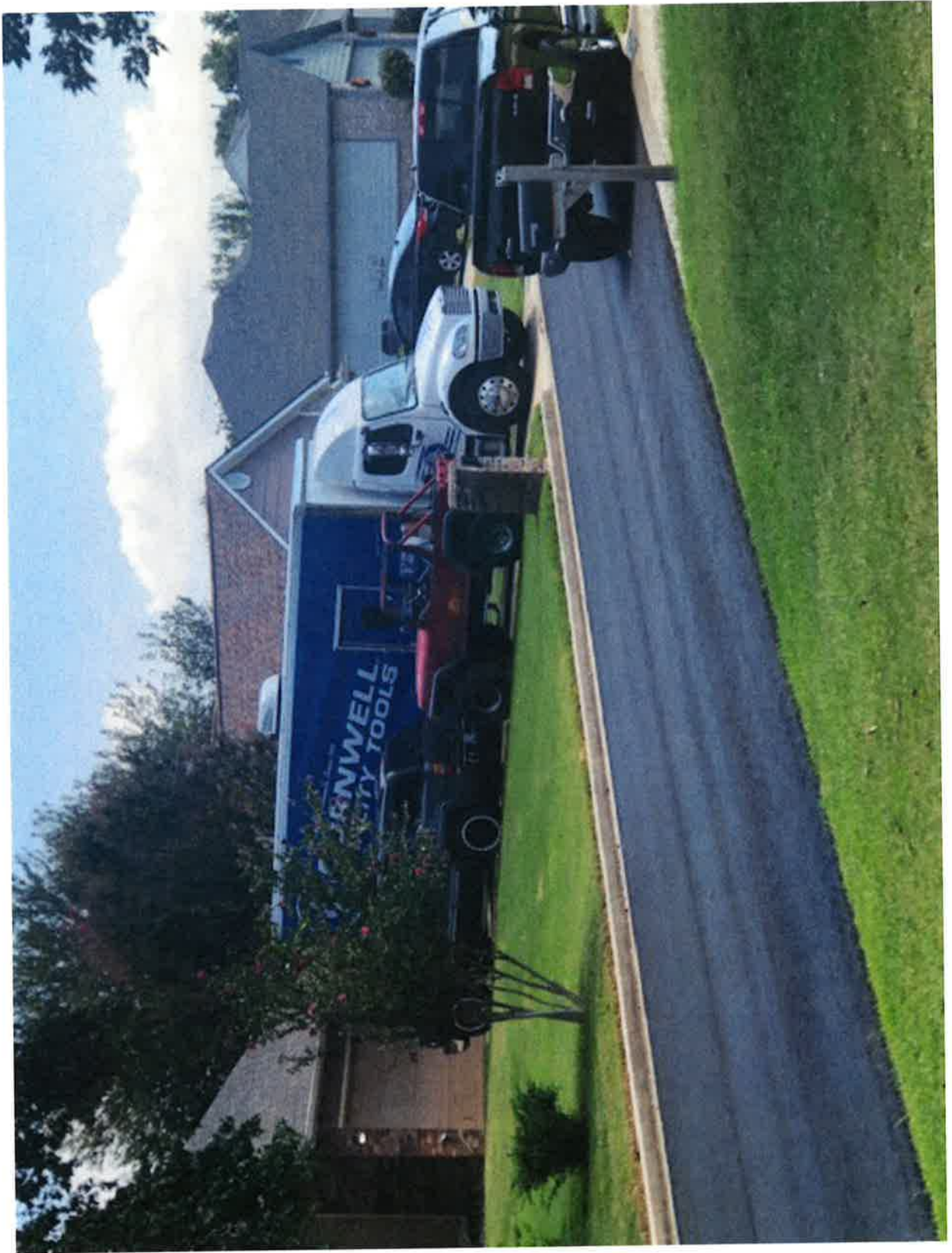
I ask this board to deny Mr. Fernandez his appeal, recognizing that the clear text of the ordinances obviates both:

- i) the stationing or storing of large commercial-style vehicles
- ii) the vehicle-associated business activities, clearly seen and heard, often after 11pm; interior lights spill out on the street along with running diesel engine noise. Before the first appeal, a string of bright lights surrounding top of truck would shine brightly on the street.

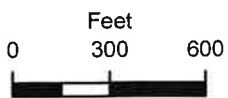
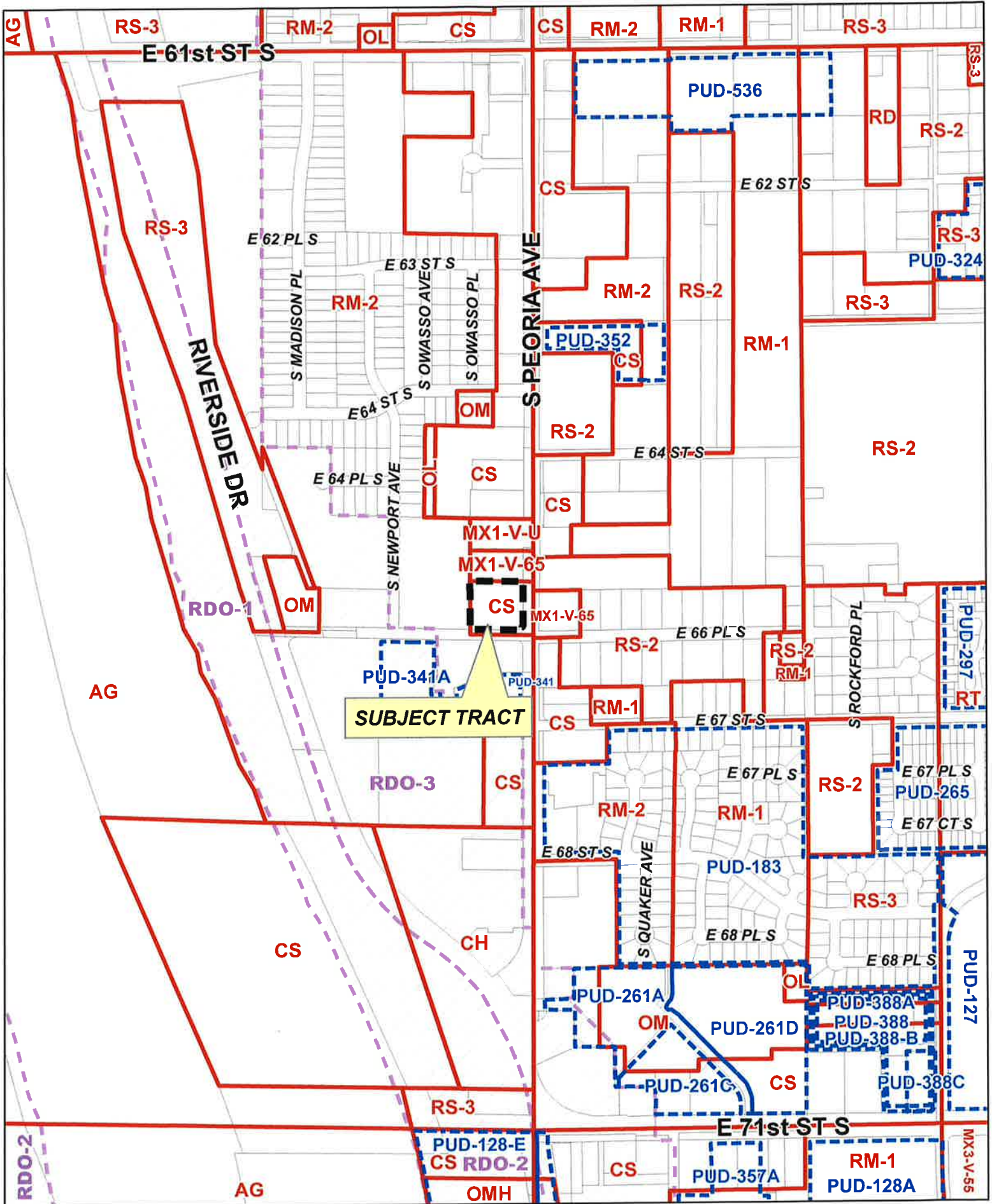
I look forward to this situation to be resolved, hopefully with positive results for Mr. Fernandez as well.

Sincerely,
Anna Maria Birkett





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BOA-23171

18-12 01

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BOARD OF ADJUSTMENT CASE REPORT

STR: 8201

Case Number: **BOA-23171**

CZM: 51

CD: 2

HEARING DATE: 09/14/2021 1:00 PM

APPLICANT: Jim Stephens

ACTION REQUESTED: Special Exception to permit Commercial Vehicle Sales & Rentals in the CS District (Sec. 15.020, Table 15-2) Variance to permit Outdoor storage within 300 feet of an abutting R district (Sec. 15.040-A)

LOCATION: 6622 S PEORIA AV E

ZONED: CS

PRESENT USE: Vacant Car Wash

TRACT SIZE: 60722.89 SQ FT

LEGAL DESCRIPTION: LT 2 BLK 1, COMPTON ADDN RESUB PRT L1B1 CLINE ADD,

RELEVANT PREVIOUS ACTIONS:

BOA-12469; On 02.24.83 the Board approved a Special Exception to permit a car wash in a CS district.

RELATIONSHIP TO THE COMPREHENSIVE PLAN: The Tulsa Comprehensive Plan identifies the subject property as part of a "Mixed-use Corridor" and an "Area of Growth".

Mixed-Use Corridors are Tulsa's modern thoroughfares that pair high-capacity transportation facilities with housing, commercial, and employment uses. Off the main travel route, land uses include multifamily housing, small lot, and townhouse developments, which step down intensities to integrate with single family neighborhoods. Mixed-Use Corridors usually have four or more travel lanes, and sometimes additional lanes dedicated for transit and bicycle use. The pedestrian realm includes sidewalks separated from traffic by street trees, medians, and parallel parking strips. Pedestrian crossings are designed so they are highly visible and make use of the shortest path across a street. Buildings along Mixed-Use Corridors include windows and storefronts along the sidewalk, with automobile parking generally located on the side or behind.

The purpose of **Areas of Growth** is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority. A major goal is to increase economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

ANALYSIS OF SURROUNDING AREA: The subject tract is located at the NW/c of E. 66th Pl. S. and S. Peoria Ave. The property is bounded by R zoning on both its West and South property boundaries.

STAFF COMMENTS: The applicant is requesting a Special Exception to permit Commercial Vehicle Sales & Rentals in the CS District (Sec. 15.020, Table 15-2) and a Variance to permit Outdoor storage within 300 feet of an abutting R district (Sec. 15.040-A)

Chapter 15 | Office, Commercial and Industrial Districts
Section 15.020 | Use Regulations

USE CATEGORY	OL	OM	OMH	OH	CS	OG	CH	CB	IL	IM	IH	Supplemental Regulations
Subcategory												
Specific use												
Building service	-	-	-	-	S	P	P	P	P	P	P	
Business support service	-	-	-	-	P	P	P	P	P	P	P	Section 40.300
Consumer maintenance/repair service	-	-	-	-	P	P	P	P	P	P	P	
Personal improvement service	S	S	S	S	P	P	P	P	P	P	P	Section 40.225
Research service	-	-	-	-	-	S	P	P	P	P	P	
Financial Services (except as below)	P	P	P	P	P	P	P	P	P	P	P	Section 40.300
Personal credit establishment	-	-	-	-	P	P	P	P	P	P	P	
Funeral or Mortuary Service	P	P	P	P	P	P	P	P	P	P	P	
Lodging												
Bed & breakfast	S	S	S	S	P	P	P	P	S	S	S	Section 40.050
Short-term rental	P	P	P	P	P	P	P	P	P	P	P	Section 40.325
Campgrounds and RV parks	-	-	-	-	S	P	P	P	P	P	P	
Hotel/motel	-	-	S	S	P	P	P	P	S	S	S	Section 40.170
Marina	S	S	S	S	S	S	S	S	S	S	S	Section 40.260
Office												
Business or professional office	P	P	P	P	P	P	P	P	P	P	P	
Medical, dental or health practitioner office	P	P	P	P	P	P	P	P	P	P	P	Section 40.300
Plasma center	-	-	-	-	P	P	P	P	P	P	P	
Parking, Non-accessory	P	P	P	P	P	P	P	P	P	P	P	
Restaurants and Bars												
Restaurant	P[1]	P[1]	P[1]	P	P	P	P	P	P	P	P	Section 40.330
Bar (except as below)	-	-	-	-	P[2]	P[2]	P[2]	P[2]	S	S	S	Section 40.050
Brewpub	-	-	-	-	S	S	S	P[2]	S	S	S	Section 40.050
												Section 40.340
Retail Sales												
Building supplies and equipment	-	-	-	-	P	P	P	P	P	P	P	
Consumer shopping goods	-	S[3]	S[3]	P[3]	P	P	P	P	P	P	P	
Convenience goods	-	S[3]	S[3]	P[3]	P	P	P	P	P	P	P	Section 40.300
Grocery Store	-	S[3,6]	S[3,6]	S[3,6]	P	P	P	P	P	P	P	
Small Box Discount Store	-	S[3,6]	S[3,6]	S[3,6]	P[6]	P[6]	P[6]	P[6]	P[6]	P[6]	P[6]	
Medical Marijuana Dispensary	-	-	-	-	P	P	P	P	P	P	P	Section 40.225
Self-service Storage Facility	S	S	S	S	S	P	P	P	P	P	P	Section 40.360
Sexually Oriented Business Establishment	-	-	-	-	P	P	P	P	S	S	S	Section 40.320
Studio, Artist or Instructional Service	P	P	P	P	P	P	P	P	P	P	P	Section 40.380
Trade School	-	S	S	S	S	P	P	P	P	P	P	Section 40.400
Vehicle Sales and Service												
Commercial vehicle repair/maintenance	-	-	-	-	S	P	P	P	P	P	P	
Truck stop	-	-	-	-	-	S	S	-	P	P	P	
Commercial vehicle sales and rentals	-	-	-	-	S	P	P	P	P	P	P	
Fueling station	-	-	-	-	P	P	P	P	P	P	P	
Personal vehicle repair and maintenance	-	-	-	-	P	P	P	P	P	P	P	
Personal vehicle sales and rentals	-	-	-	-	S	P	P	P	P	P	P	
Vehicle part and supply sales	-	-	-	-	P	P	P	P	P	P	P	
Vehicle body and paint finishing shop	-	-	-	-	S	P	P	P	P	P	P	

15.040-A Outdoor Storage and Display

In the CS district, outdoor storage, including storage of recyclable materials, and outdoor merchandise display is prohibited within 300 feet of an abutting R or AG-R district.

STATEMENT OF HARDSHIP: A separate exhibit has been prepared by the applicant and is included in your packet.

SAMPLE MOTION:

Special Exception:

Move to _____ (approve/deny) a **Special Exception** to permit Commercial Vehicle Sales & Rentals in the CS District (Sec. 15.020, Table 15-2).

- Per the Conceptual Plan(s) shown on page(s) _____ of the agenda packet.
- Subject to the following conditions (including time limitation, if any):
_____.

The Board finds that the requested Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

Variance:

Move to _____ (approve/deny) a **Variance** to permit Outdoor storage within 300 feet of an abutting R district (Sec. 15.040-A)

- Finding the hardship(s) to be _____.
- Per the Conceptual Plan(s) shown on page(s) _____ of the agenda packet.
- Subject to the following conditions _____.

In granting the **Variance** the Board finds that the following facts, favorable to the property owner, have been established:

- a. That the physical surroundings, shape, or topographical conditions of the subject property would result in unnecessary hardships or practical difficulties for the property owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;*
- b. That literal enforcement of the subject zoning code provision is not necessary to achieve the provision's intended purpose;*
- c. That the conditions leading to the need of the requested variance are unique to the subject property and not applicable, generally, to other property within the same zoning classification;*
- d. That the alleged practical difficulty or unnecessary hardship was not created or self-imposed by the current property owner;*
- e. That the variance to be granted is the minimum variance that will afford relief;*
- f. That the variance to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property; and*
- g. That the variance to be granted will not cause substantial detriment to the public good or impair the purposes, spirit, and intent of this zoning code or the comprehensive plan."*



Subject property



Facing East on 66th Pl.



Facing South on Peoria Ave.



Property immediately across 66th Pl.

LIST OF HARDSHIPS UNIQUE TO THE PROPERTY

6622 S. Peoria

BOA-23171

Note: This currently closed car wash has reached the end of its useful life. ABC Equipment Rental desires to purchase this property for equipment rental. A variance and special exception is required for outside storage of rental equipment within 300 feet of an abutting R district.

1. In this unique case, while the abutting rear yard is R zone, it is almost all vacant. The only actual residential use is a small sliver of property line on the back fence where Inhofe Plaza sits (just a few feet out of approximately 235 feet of rear property line). The residential zoning to the south and east are not abutting this property because of separation by streets. Tulsa Zoning Code §95.040.
2. The size of the lot itself creates its own hardship. Because of the 300 foot rule, it is impossible to have outside rental anywhere on the property because of the approx. 235 foot x 261 foot size of the lot.
3. It is hard to find a use for this property regardless of economics. This is a blighted area generally. Because of the nature of the current improvements (open garage car wash 24/7), this property currently attracts illegal activity. New use will be fully fenced.
4. This car wash was granted a special exception in 1983 in BOA 12496. No consideration of what would happen to this property at the end of its useful life was seen in the record.
5. Outside storage inventory cycles in and out of the property as equipment is rented. No inventory sits permanently.
6. Although not required, screening will be added to south side along 66th Place and east along Peoria.
7. There are other outside storage uses in the area.

Case No. 12468 (continued)

Applicant's Rebuttal:

Mr. Miller advised that the hours of operation would be from 6:00 a.m. to 4:00 p.m. The trucks will never remain on the property over night with trash contained in the trucks as it would create severe health problems. Mr. Miller advised that he would be willing to comply with any conditions or restrictions which the Board would chose to impose.

Board Action:

On MOTION of VICTOR and SECOND by CHAPPELLE, the Board voted 4-0-0 (Chappelle, Smith, Victor, Wait, "aye"; no "nays"; no "abstentions"; Purser, "absent") to DENY a Special Exception (Section 710 - Principal Uses Permitted in the Commercial District) to allow a trash truck storage yard in a CS District, on the following described property:

A tract of land lying in the SW/4, SW/4 of Section 4, Township 19 North, Range 14 East, Tulsa County, Oklahoma, being more particularly described as follows: Beginning at a point 1,188.93' East of the Southwest corner of Said Section 4; thence North 200'; thence West 173' to a point on the East Right-of-Way line of 131st East Avenue; thence South 200'; thence East 173' to the point of beginning, containing 0.794 acres more or less.

Case No. 12469

Action Requested:

Special Exception - Section 710 - Principal Uses Permitted in Commercial Districts - Request to permit a car wash in a CS District located at the NW corner of 66th Place and Peoria Avenue.

Presentation:

Bob Compton, 8522 East 71st Street, was present and submitted a plot plan (Exhibit "S-1") and a booklet containing information and photographs concerning the proposed car wash (Exhibit "S-2"). Mr. Compton advised that he presently operates a car wash at 71st Street directly across from Woodland Hills Mall which is very similar to the proposed facility. Presently there is a 40' curb cut on Peoria and the applicant proposes to have two curb cuts on 66th Place for proper access in and out of the facility. There are 8 bays for self-service, two automatic bays, and eight vacuum pumps proposed at the subject location.

A letter was submitted from William McKissick Young, 2524 East 56th Place, who stated that he owns the property directly north of the subject property and has no objection to the request (Exhibit "S-3").

Protestants: None.

Board Action:

On MOTION of VICTOR and SECOND by CHAPPELLE, the Board voted 4-0-0 (Chappelle, Smith, Victor, Wait, "aye"; no "nays"; no "abstentions"; Purser, "absent") to approve a Special Exception (Section 710 - Principal Uses Permitted in the Commercial Districts) to permit a car wash in a CS District, per plot plan submitted, on the following described property:

The South 220' of Lot 1, Block 1, Cline Addition, Tulsa County, Oklahoma, and that part of the NE/4 of the SE/4 of Section 1,

2.24.83:381(25)

Case No. 12469 (continued)

Township 18 North, Range 12 East, Tulsa County, Oklahoma, more particularly described as follows: Beginning at a point which point is 156.34' West of the Southeast corner of the NE/4 of Section 1, Township 18 North, Range 12 East; then in a Southerly direction a distance of 214' to a point; thence West 152.66' to a point; thence North a distance of 214' to the North line of the SE/4 of Section 1; thence East to the place of beginning.

Case No. 12470

Action Requested:

Variance - Section 730 - Bulk and Area Requirements in the Commercial Districts - Request for a variance of the setback from 10' to 6' located north of the NE corner of 33rd Street and Mingo Road.

Presentation:

Donnie Dobson, 11716 East 63rd Street, general contractor representing the owner of the subject property, Tom Gutman, submitted a photograph of the subject property (Exhibit "T-1"); a plot plan (Exhibit "T-2") and an elevation plan (Exhibit "T-3"). Mr. Dobson advised that the applicant was previously before the Board in June 1982 and requested a 7' variance and the Board asked that the building be moved. The plot plan indicates that the building has been moved approximately 3' and the variance setback request is from 10' to 6'. The building has been moved as far as possible to allow the applicant to operate his mechanic shop correctly. The car wash which is presently located on the subject property will be removed before the new construction begins.

Protestants: None.

Board Action:

On MOTION of VICTOR and SECOND by CHAPPELLE, the Board voted 4-0-0 (Chappelle, Smith, Victor, Wait, "aye"; no "nays"; no "abstentions"; Purser, "absent") to approve a Variance (Section 730 - Bulk and Area Requirements in the Commercial Districts) of the setback from 10' to 6', per plot plan submitted, on the following described property:

Lot 1, Block 1, Mingo Plaza Addition, Tulsa County, Oklahoma.

Case No. 12219

OTHER BUSINESS:

Action Requested:

Request for approval of the site plan for Case #12219.

Presentation:

Jack Arnold, 1630 East 30th Place, was present and represented Architectural Resources and submitted the site plan and elevation plan (Exhibit "U-1"). The application was previously approved by the Board, but the applicant was requested to return to the Board with the site plan. The proposed residential structure will be located at 30th and Troost.

Board Action:

On MOTION of VICTOR and SECOND by CHAPPELLE, the Board voted 4-0-0 (Chappelle, Smith, Victor, Wait, "aye"; no "nays"; no "abstentions"; Purser, "absent") to approve the site plan as submitted.

2.24.83:381(26)



SILCO
DSGN
+BLD



SILO
DSGN
+BLD

3.12



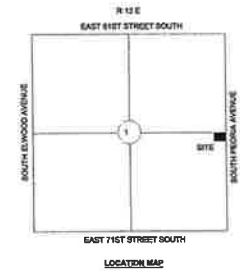
SILO DESIGN BUILD
1010 EAST 2ND STREET
TULSA, OKLAHOMA 74120

LEGAL DESCRIPTION
LOT 2, BLOCK 1, COMPTON ADDITION, A SUBDIVISION OF PART OF LOT 1, BLOCK 1, CLINE ADDITION, AN ADDITION TO THE CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA, AND PART OF THE NEIN SEM SECTION 1-18-12, ACCORDING TO THE RECORDED PLAT THEREOF.

ABC EQUIPMENT RENTAL

SITE CONCEPT

6622 S. PEORIA AVE.
TULSA, OKLAHOMA
2109



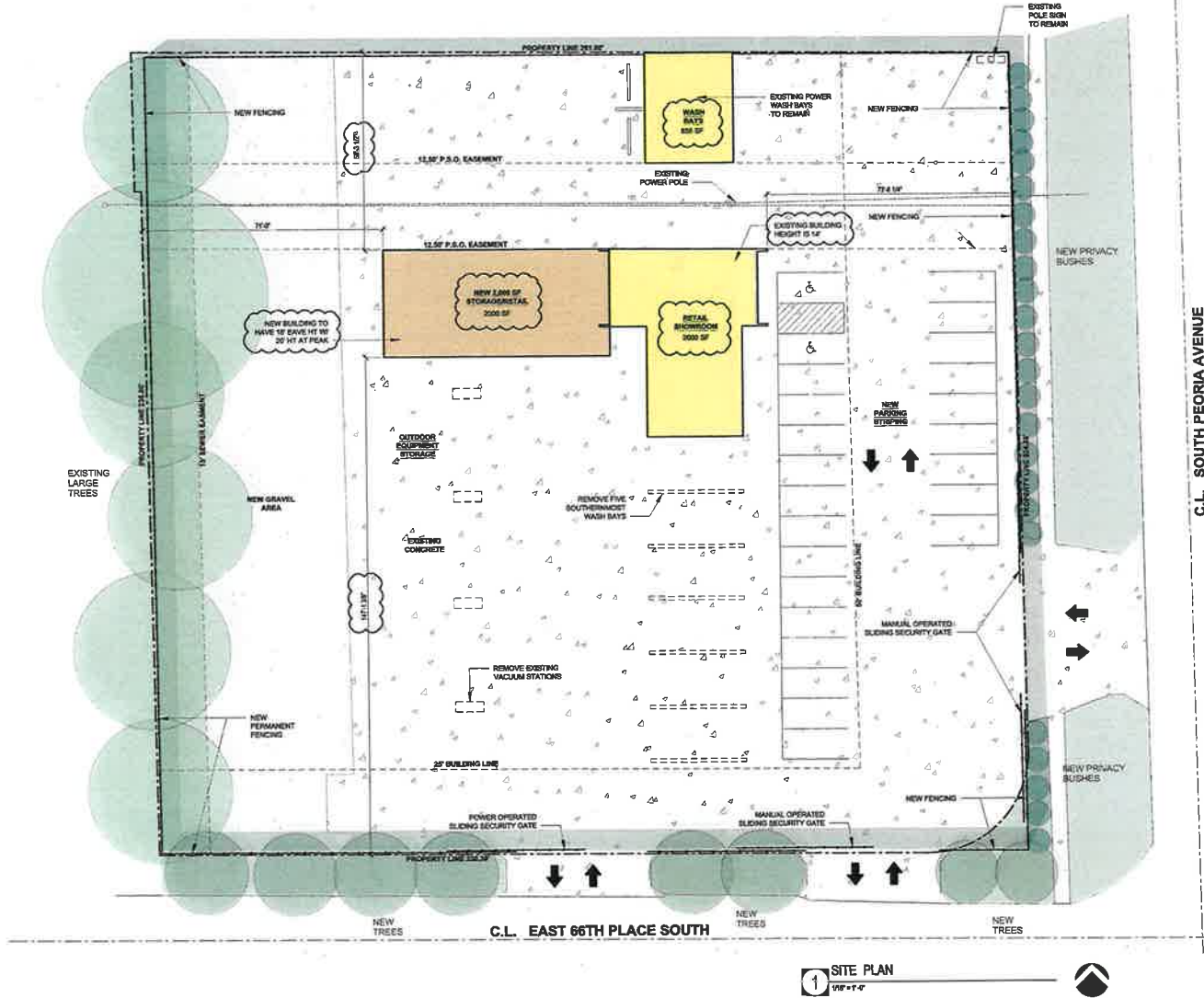
PROJECT SUMMARY

PROJECT:
ABC EQUIPMENT RENTAL
LOCATION:
6622 S. PEORIA AVE, TULSA, OK

ID	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

A101
SITE PLAN



DANA L. BOX
ZONING
PLANS EXAMINER II

TEL (918) 596-9657
danabox@cityoftulsa.org



DEVELOPMENT SERVICES

175 EAST 2nd STREET, SUITE 450
TULSA, OKLAHOMA 74103

ZONING CLEARANCE PLAN REVIEW

June 21, 2021

Phone: 918-695-5134

LOD Number: 1
Brad Fuller
20 E. 5th St., Ste. 200
Tulsa OK 74103

APPLICATION NO: ZCO-089894-2021
(PLEASE REFERENCE THIS NUMBER WHEN CONTACTING OUR OFFICE)
Location: 6622 S. Peoria Ave.
Description: ABC Rental

INFORMATION ABOUT SUBMITTING REVISIONS

OUR REVIEW HAS IDENTIFIED THE FOLLOWING CODE OMISSIONS OR DEFICIENCIES IN THE PROJECT APPLICATION FORMS, DRAWINGS, AND/OR SPECIFICATIONS. THE DOCUMENTS SHALL BE REVISED TO COMPLY WITH THE REFERENCED CODE SECTIONS.

REVISIONS NEED TO INCLUDE THE FOLLOWING:

1. A COPY OF THIS DEFICIENCY LETTER
2. A WRITTEN RESPONSE AS TO HOW EACH REVIEW COMMENT HAS BEEN RESOLVED
3. THE COMPLETED REVISED/ADDITIONAL PLANS FORM (SEE ATTACHED)
4. BOARD OF ADJUSTMENT APPROVAL DOCUMENTS, IF RELEVANT

REVISIONS SHALL BE SUBMITTED DIRECTLY TO THE CITY OF TULSA PERMIT CENTER LOCATED AT 175 EAST 2nd STREET, SUITE 450, TULSA, OKLAHOMA 74103, PHONE (918) 596-9601. THE CITY OF TULSA WILL ASSESS A RESUBMITTAL FEE. DO NOT SUBMIT REVISIONS TO THE PLANS EXAMINERS.

SUBMITTALS FAXED / EMAILED TO PLANS EXAMINERS WILL NOT BE ACCEPTED.

IMPORTANT INFORMATION

1. IF A DESIGN PROFESSIONAL IS INVOLVED, HIS/HER LETTERS, SKETCHES, DRAWINGS, ETC. SHALL BEAR HIS/HER OKLAHOMA SEAL WITH SIGNATURE AND DATE.
2. SUBMIT TWO (2) SETS OF DRAWINGS IF SUBMITTED USING PAPER, OR SUBMIT ELECTRONIC REVISIONS IN "SUPPORTING DOCUMENTS", IF ORIGINALLY SUBMITTED ON-LINE, FOR REVISED OR ADDITIONAL PLANS. REVISIONS SHALL BE IDENTIFIED WITH CLOUDS AND REVISION MARKS.
3. INFORMATION ABOUT ZONING CODE, INDIAN NATION COUNCIL OF GOVERNMENT (INCOG), BOARD OF ADJUSTMENT (BOA), AND TULSA METROPOLITAN AREA PLANNING COMMISSION (TMAPC) IS AVAILABLE ONLINE AT WWW.INCOG.ORG OR AT INCOG OFFICES AT 2 W. 2nd ST., 8th FLOOR, TULSA, OK, 74103, PHONE (918) 584-7526.
4. A COPY OF A "RECORD SEARCH" **[X] IS [] IS NOT** INCLUDED WITH THIS LETTER. PLEASE PRESENT THE "RECORD SEARCH" ALONG WITH THIS LETTER TO INCOG STAFF AT TIME OF APPLYING FOR BOARD OF ADJUSTMENT ACTION AT INCOG. UPON APPROVAL BY THE BOARD OF ADJUSTMENT, INCOG STAFF WILL PROVIDE THE APPROVAL DOCUMENTS TO YOU FOR IMMEDIATE SUBMITTAL TO OUR OFFICE. (See revisions submittal procedure above.).

(continued)

REVIEW COMMENTS

SECTIONS REFERENCED BELOW ARE FROM THE CITY OF TULSA ZONING CODE TITLE 42 AND CAN BE VIEWED AT <http://tulsaplanning.org/plans/TulsaZoningCode.pdf>

ZCO-089894-2021

6622 S. Peoria Ave.

June 21, 2021

Note: As provided for in Section 70.130 you may request the Board of Adjustment (BOA) to grant a variance from the terms of the Zoning Code requirements identified in the letter of deficiency below. Please direct all questions concerning variances, special exceptions, appeals of an administrative official decision, Master Plan Developments Districts (MPD), Planned Unit Developments (PUD), Corridor (CO) zoned districts, zoning changes, platting, lot splits, lot combinations, alternative compliance landscape and screening plans and all questions regarding (BOA) or (TMAPC) application forms and fees to a representative at the Tulsa Planning Office 918-584-7526 or esubmit@incog.org. It is your responsibility to submit to our office documentation of any appeal decisions by an authorized decision-making body affecting the status of your application so we may continue to process your application. INCOG does not act as your legal or responsible agent in submitting documents to the City of Tulsa on your behalf. Staff review comments may sometimes identify compliance methods as provided in the Tulsa Zoning Code. The permit applicant is responsible for exploring all or any options available to address the noncompliance and submit the selected compliance option for review. Staff review makes neither representation nor recommendation as to any optimal method of code solution for the project.

1. **Sec.70.080-C:** Applications for Zoning Clearance must be accompanied by a legal description of the lot and plans, drawn to scale.

Review comment: Submit a site plan with the following information:

- The location, size and height of any existing buildings or structures to be erected or altered, including distances to lot lines;
 - The location, size, dimensions and height of proposed buildings or structures to be erected or altered;
 - Location and dimensions of parking areas. This includes the parking spaces, the maneuvering areas necessary to enter and exit the spaces and the drives providing access to the parking spaces and maneuvering areas from a public or private street or other parking areas. You are required to provide 3.33 spaces per 1,000 feet of building area.
2. **15.040-A** In the CS district, outdoor storage, including storage of recyclable materials, and outdoor merchandise display is prohibited within 300 feet of an abutting R or AG-R district.

Review comment: Seek a variance from the Board of Adjustment to allow outdoor storage within 300 feet of an abutting R-district. Contact Austin Chapman, BOA Administrator, achapman@incog.org.

Note: All references are to the City of Tulsa Zoning Code. Link to Zoning Code:

<http://tulsaplanning.org/plans/TulsaZoningCode.pdf>

Please notify the reviewer via email when your revisions have been submitted

This letter of deficiencies covers Zoning plan review items only. You may receive additional letters from other disciplines such as Building or Water/Sewer/Drainage for items not addressed in this letter.

A hard copy of this letter is available upon request by the applicant.

END – ZONING CODE REVIEW

NOTE: THIS CONSTITUTES A PLAN REVIEW TO DATE IN RESPONSE TO THE SUBMITTED INFORMATION ASSOCIATED WITH THE ABOVE REFERENCED APPLICATION. ADDITIONAL ISSUES MAY DEVELOP WHEN THE REVIEW CONTINUES UPON RECEIPT OF ADDITIONAL INFORMATION REQUESTED IN THIS LETTER OR UPON ADDITIONAL SUBMITTAL FROM THE APPLICANT.

KEEP OUR OFFICE ADVISED OF ANY ACTION BY THE CITY OF TULSA BOARD OF ADJUSTMENT OR TULSA METROPOLITAN AREA PLANNING COMMISSION AFFECTING THE STATUS OF YOUR APPLICATION FOR A ZONING CLEARANCE PERMIT.



0 Feet 300 600



Subject
Tract

BOA-23171

18-12 01

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021

3.15





E 66 PL S

S PEORIA AVE

0 Feet 50 100



Subject Tract

BOA-23171

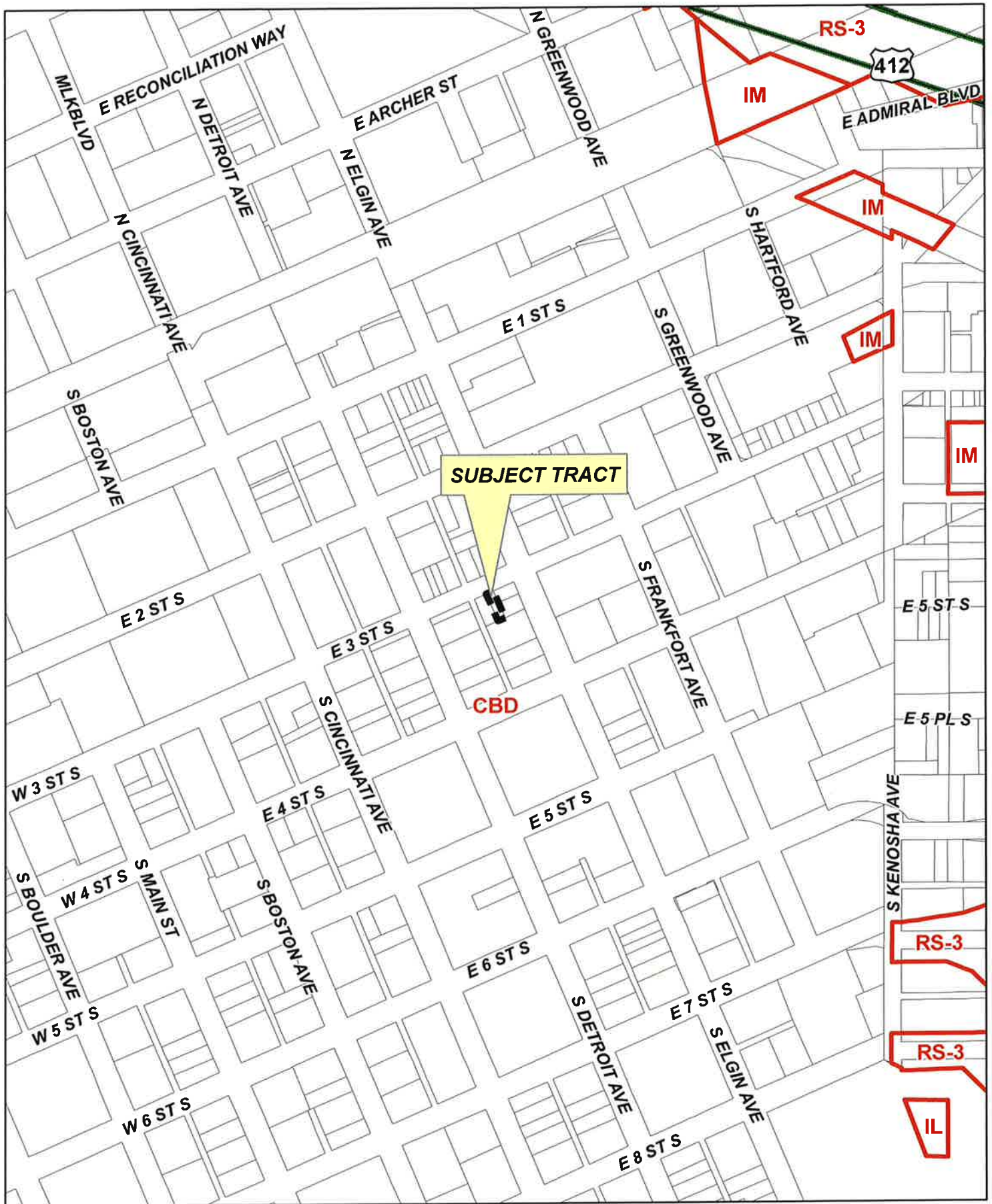
18-12 01

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021

3.16





BOA-23177

19-12 01

4.1



BOARD OF ADJUSTMENT CASE REPORT

STR: 9201
CZM: 36
CD: 4

Case Number: **BOA-23177**

HEARING DATE: 09/14/2021 1:00 PM

APPLICANT: Jessica Reitz

ACTION REQUESTED: Special Exception to permit Low-Impact Medical Marijuana processing (Low-impact Manufacturing & Industry Use) in the CBD district. (Sec. 15.020, Table 15-2)

LOCATION: 314 E 3 ST S

ZONED: CBD

PRESENT USE: Unoccupied

TRACT SIZE: 2500.35 SQ FT

LEGAL DESCRIPTION: E25 W70 LT 1 BLK 116, TULSA-ORIGINAL TOWN

RELEVANT PREVIOUS ACTIONS: None.

RELATIONSHIP TO THE COMPREHENSIVE PLAN: The Tulsa Comprehensive Plan identifies the subject property as part of the "Downtown Core " and an "Area of Growth".

Downtown Core is Tulsa's most intense regional center of commerce, housing, culture, and entertainment. It is an urban environment of primarily high-density employment and mixed-use residential uses, complemented by regional-scale entertainment, conference, tourism, and educational institutions. Downtown Core is primarily a pedestrian-oriented area with generous sidewalks shaded by trees, in-town parks, open space, and plazas. The area is a regional transit hub. New and refurbished buildings enhance the pedestrian realm with ground-floor windows and storefronts that enliven the street. To support downtown's lively and walkable urban character, automobile parking ideally is located on-street and in structured garages, rather than in surface parking lots.

The purpose of **Areas of Growth** is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority. A major goal is to increase economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

ANALYSIS OF SURROUNDING AREA: The subject tract is located along E. 3rd street between Elgin and Detroit Avenues.

STAFF COMMENTS: The applicant is requesting Special Exception to permit Low-Impact Medical Marijuana processing (Low-impact Manufacturing & Industry Use) in the CBD district. (Sec. 15.020, Table 15-2)

4.2

Medical marijuana uses are subject to the Supplemental Regulations of Sec. 40.225:

Section 40.225 Medical Marijuana Uses

The supplemental use regulation of this section apply to medical marijuana uses.

40.225-A A medical marijuana grower operation must be located inside an enclosed building.

40.225-B A medical marijuana processing facility, whether moderate impact or high impact, must be located inside an enclosed building.

40.225-C A medical marijuana dispensary must be located inside an enclosed building.

40.225-D A medical marijuana dispensary may not be located within 1,000 feet of another medical marijuana dispensary.

40.225-E Drive-through windows and drive-through lanes are prohibited for medical marijuana grower operations, processing facilities, and research facilities.

40.225-F Medical marijuana grower operations, processing facilities and dispensaries must provide the following:

1. A ventilation/air filtration system that prevents odor from being detectable at the boundaries of the lot within which the building housing the medical marijuana grower operation, processing facility or dispensary is located, except that if such use is located in multiple tenant building, the ventilation/air filtration system must prevent odor from being detectable outside the tenant space housing the use.
2. An electronic security system and surveillance camera.

40.225-G Medical marijuana grower operations, processing facilities, dispensaries and research facilities must be conducted and maintained in compliance with the license issues by the Oklahoma State Department of Health and in compliance with Oklahoma law, including but not limited to all applicable statutes, rules and regulations.

TULSA ZONING CODE | March 7, 2021
page 40-42

Chapter 40 | Supplemental Use and Building Regulations
Section 40.230 | Mining or Mineral Processing

40.225-H No medical marijuana grower operation, processing facility, dispensary or research facility shall be permitted or maintained unless there exists a valid license, issued by the Oklahoma State Department of Health for the particular use at the particular location.

40.225-I The separation distance required under Section 40.225-D must be measured in a straight line between the nearest perimeter walls of the buildings (or portion of the building, in the case of a multiple tenant building) occupied by the dispensaries. The separation required under Section 40.225-D shall not be applied to limit the location of a medical marijuana dispensary for which a license was issued by the Oklahoma State Department of Health prior to December 1, 2018 for the particular location.

SAMPLE MOTION:

Move to _____ (approve/deny) a Special Exception to permit Low-Impact Medical Marijuana processing (Low-impact Manufacturing & Industry Use) in the CBD district. (Sec. 15.020, Table 15-2).

- Per the Conceptual Plan(s) shown on page(s) _____ of the agenda packet.
- Subject to the following conditions (including time limitation, if any):
_____.

The Board finds that the requested Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.



Facing East on 3rd Street



Facing West on 3rd Street



Subject Property

DANA L. BOX
ZONING OFFICIAL
PLANS EXAMINER II

TEL (918) 596-9657
danabox@cityoftulsa.org



DEVELOPMENT SERVICES

175 EAST 2nd STREET, SUITE 450
TULSA, OKLAHOMA 74103

ZONING CLEARANCE PLAN REVIEW

July 23, 2021

Phone: 9418-933-9526

LOD Number: 1
James Starks
2186 S. 7th E. Pl.
Tulsa, OK 74129

APPLICATION NO: **C-3290 (314 E. 3rd St.)**
(PLEASE REFERENCE THIS NUMBER WHEN CONTACTING OUR OFFICE)
Location: **314 E. 3rd St.**
Description: **Low-impact Medical-marijuana processing**

INFORMATION ABOUT SUBMITTING REVISIONS

OUR REVIEW HAS IDENTIFIED THE FOLLOWING CODE OMISSIONS OR DEFICIENCIES IN THE PROJECT APPLICATION FORMS, DRAWINGS, AND/OR SPECIFICATIONS. THE DOCUMENTS SHALL BE REVISED TO COMPLY WITH THE REFERENCED CODE SECTIONS.

REVISIONS NEED TO INCLUDE THE FOLLOWING:

1. A COPY OF THIS DEFICIENCY LETTER
2. A WRITTEN RESPONSE AS TO HOW EACH REVIEW COMMENT HAS BEEN RESOLVED
3. THE COMPLETED REVISED/ADDITIONAL PLANS FORM (SEE ATTACHED)
4. BOARD OF ADJUSTMENT APPROVAL DOCUMENTS, IF RELEVANT

REVISIONS SHALL BE SUBMITTED DIRECTLY TO THE CITY OF TULSA PERMIT CENTER LOCATED AT
175 EAST 2nd STREET, SUITE 450, TULSA, OKLAHOMA 74103, PHONE (918) 596-9601.
THE CITY OF TULSA WILL ASSESS A RESUBMITTAL FEE. DO NOT SUBMIT REVISIONS TO THE PLANS EXAMINERS.

SUBMITTALS FAXED / EMAILED TO PLANS EXAMINERS WILL NOT BE ACCEPTED.

IMPORTANT INFORMATION

1. IF A DESIGN PROFESSIONAL IS INVOLVED, HIS/HER LETTERS, SKETCHES, DRAWINGS, ETC. SHALL BEAR HIS/HER OKLAHOMA SEAL WITH SIGNATURE AND DATE.
2. SUBMIT TWO (2) SETS OF DRAWINGS IF SUBMITTED USING PAPER, OR SUBMIT ELECTRONIC REVISIONS IN "SUPPORTING DOCUMENTS", IF ORIGINALLY SUBMITTED ON-LINE, FOR REVISED OR ADDITIONAL PLANS. REVISIONS SHALL BE IDENTIFIED WITH CLOUDS AND REVISION MARKS.
3. INFORMATION ABOUT ZONING CODE, INDIAN NATION COUNCIL OF GOVERNMENT (INCOG), BOARD OF ADJUSTMENT (BOA), AND TULSA METROPOLITAN AREA PLANNING COMMISSION (TMAPC) IS AVAILABLE ONLINE AT WWW.INCOG.ORG OR AT INCOG OFFICES AT 2 W. 2nd ST., 8th FLOOR, TULSA, OK, 74103, PHONE (918) 584-7526.
4. A COPY OF A "RECORD SEARCH" **[X] IS [] IS NOT** INCLUDED WITH THIS LETTER. PLEASE PRESENT THE "RECORD SEARCH" ALONG WITH THIS LETTER TO INCOG STAFF AT TIME OF APPLYING FOR BOARD OF ADJUSTMENT ACTION AT INCOG. UPON APPROVAL BY THE BOARD OF ADJUSTMENT, INCOG STAFF WILL PROVIDE THE APPROVAL DOCUMENTS TO YOU FOR IMMEDIATE SUBMITTAL TO OUR OFFICE. (See revisions submittal procedure above.).

(continued)

REVIEW COMMENTS

SECTIONS REFERENCED BELOW ARE FROM THE CITY OF TULSA ZONING CODE TITLE 42 AND CAN BE VIEWED AT <http://tulsaplanning.org/plans/TulsaZoningCode.pdf>

C-3290

314 E. 3rd St.

July 23, 2021

Note: As provided for in Section 70.130 you may request the Board of Adjustment (BOA) to grant a variance from the terms of the Zoning Code requirements identified in the letter of deficiency below. Please direct all questions concerning separation distance acceptance and all questions regarding BOA application forms and fees to the INCOG BOA Planner at 918-584-7526. It is your responsibility to submit to our office documentation of any decisions by the BOA affecting the status of your application so we may continue to process your application. INCOG does not act as your legal or responsible agent in submitting documents to the City of Tulsa on your behalf. Staff review comments may sometimes identify compliance methods as provided in the Tulsa Zoning Code. The permit applicant is responsible for exploring all or any options available to address the noncompliance and submit the selected compliance option for review. Staff review makes neither representation nor recommendation as to any optimal method of code solution for the project.

1. **Sec.15.020 Table 15-2:** You are proposing an Industrial/Low-impact Manufacturing & Industry/Low-impact medical marijuana processing use that is in a CBD zoning district. This will require a Special Exception approved by the BOA.

Review comment: Submit an approved BOA Special Exception to allow a Industrial/Low-impact Manufacturing & Industry/Low-impact medical marijuana processing use in a CBD zoning district.

Note: All references are to the City of Tulsa Zoning Code. Link to Zoning Code:
<http://tulsaplanning.org/plans/TulsaZoningCode.pdf>

Please notify the reviewer via email when your revisions have been submitted

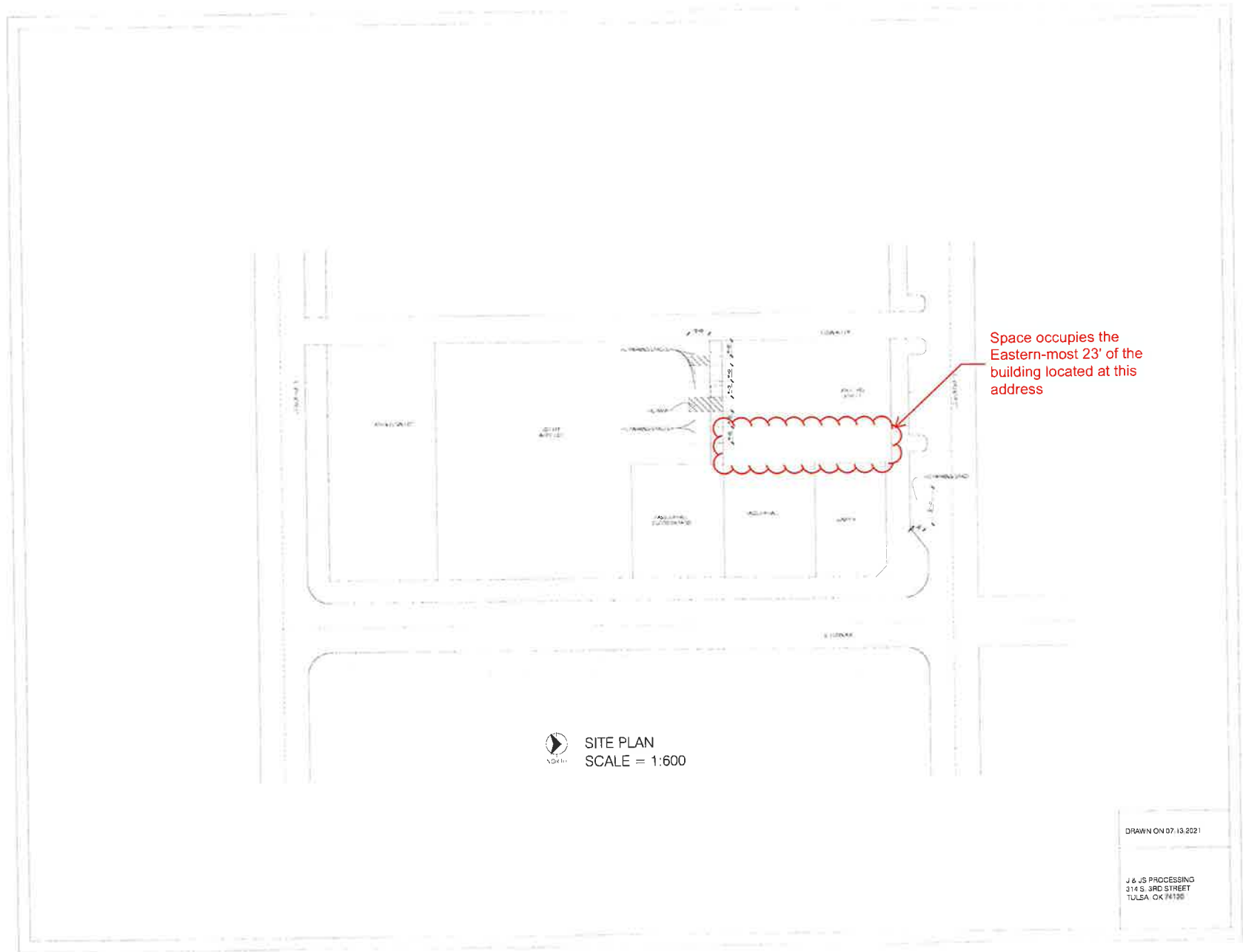
This letter of deficiencies covers Zoning plan review items only. You may receive additional letters from other disciplines such as Building or Water/Sewer/Drainage for items not addressed in this letter.

A hard copy of this letter is available upon request by the applicant.

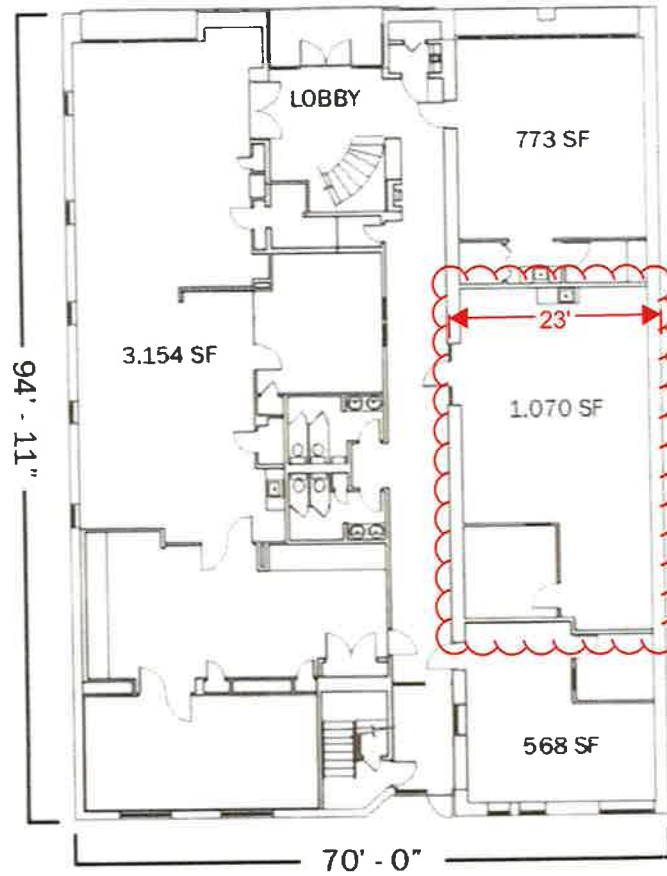
END – ZONING CODE REVIEW

NOTE: THIS CONSTITUTES A PLAN REVIEW TO DATE IN RESPONSE TO THE SUBMITTED INFORMATION ASSOCIATED WITH THE ABOVE REFERENCED APPLICATION. ADDITIONAL ISSUES MAY DEVELOP WHEN THE REVIEW CONTINUES UPON RECEIPT OF ADDITIONAL INFORMATION REQUESTED IN THIS LETTER OR UPON ADDITIONAL SUBMITTAL FROM THE APPLICANT.

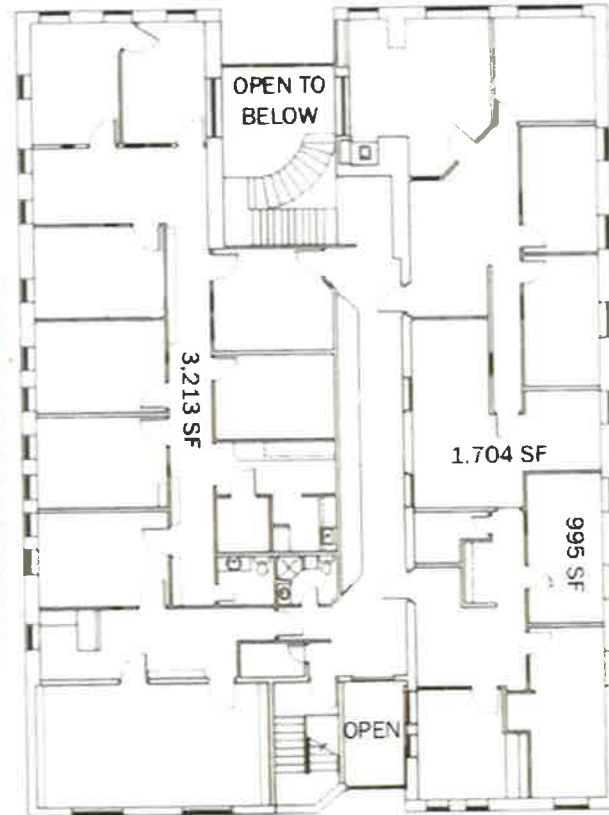
KEEP OUR OFFICE ADVISED OF ANY ACTION BY THE CITY OF TULSA BOARD OF ADJUSTMENT OR TULSA METROPOLITAN AREA PLANNING COMMISSION AFFECTING THE STATUS OF YOUR APPLICATION FOR A ZONING CLEARANCE PERMIT.



First Floor



Second Floor



BUILDING FLOOR PLAN
SCALE = 1:200

J & JS PROCESSING
314 S. 3RD STREET
TULSA, OK 74120



Feet
0 200 400



Subject
Tract

BOA-23177

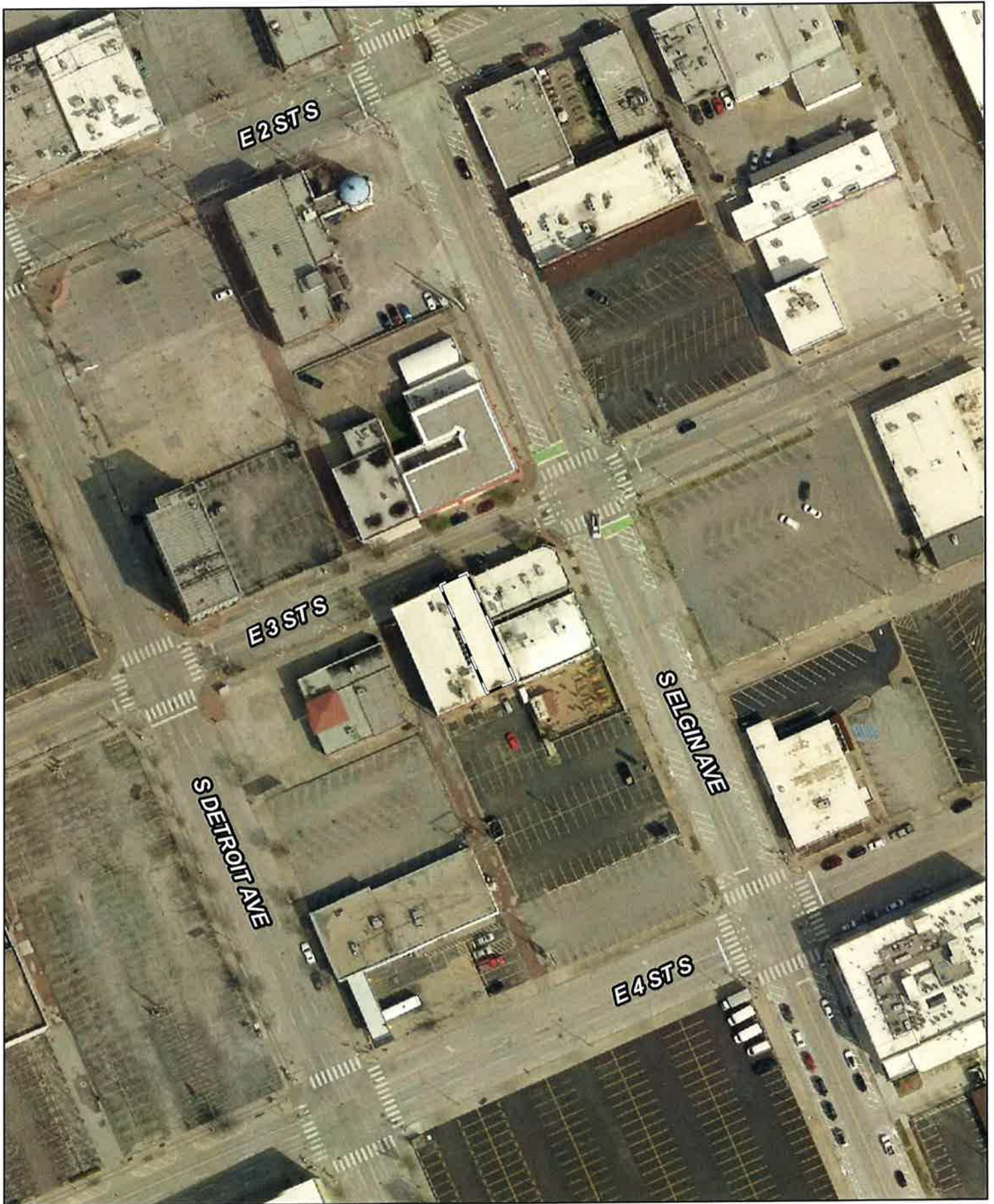
19-12 01

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



4.10



0 50 100
Feet



Subject
Tract

BOA-23177

19-12 01

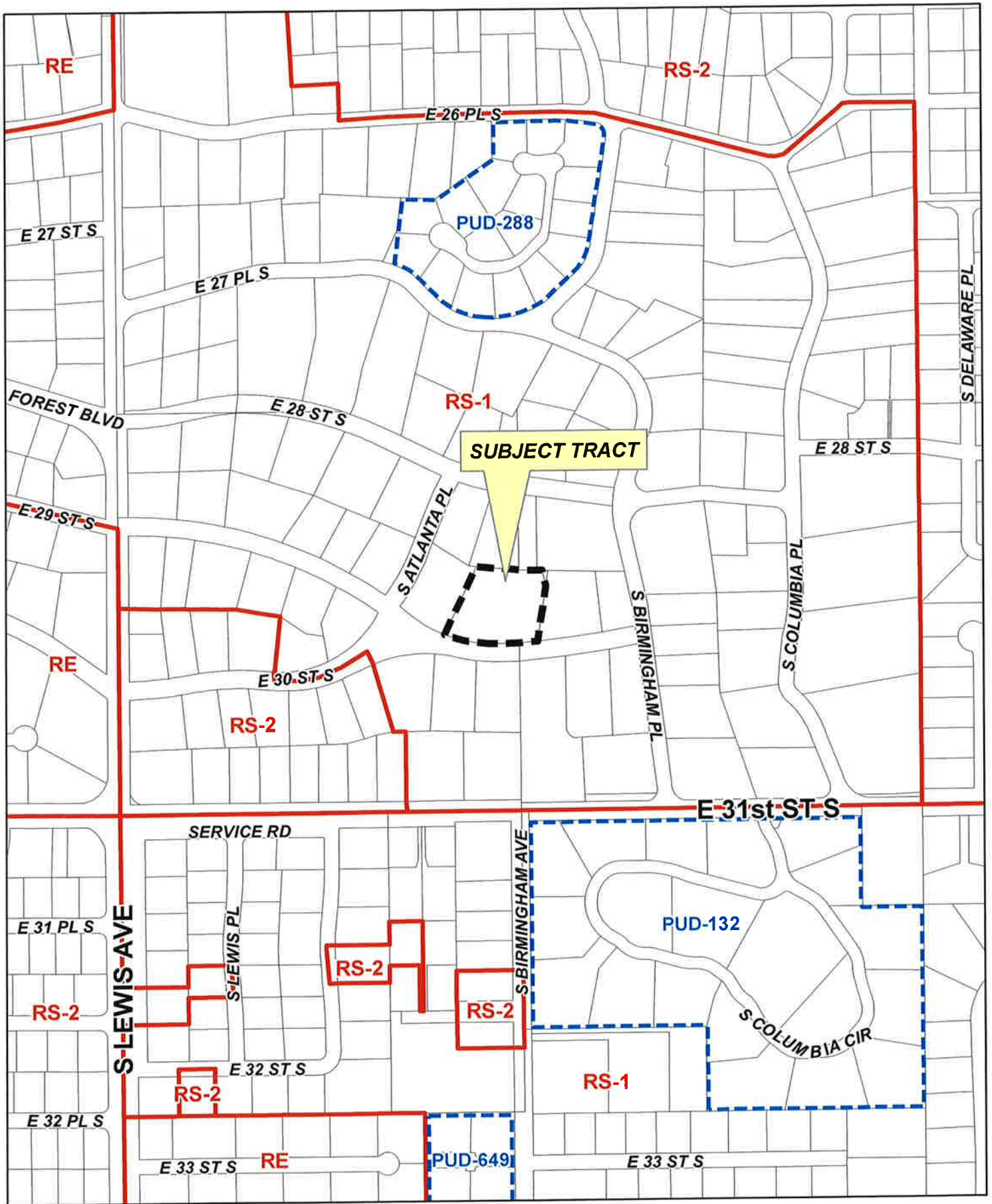
Note: Graphic overlays may not precisely
align with physical features on the ground.

Aerial Photo Date: 2020/2021



4.11

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BOA-23178

19-13 17

5.1



BOARD OF ADJUSTMENT CASE REPORT

STR: 9317

CZM: 37

CD: 4

Case Number: **BOA-23178**

HEARING DATE: 09/14/2021 1:00 PM

APPLICANT: Julie Nickel

ACTION REQUESTED: Special Exception to allow fence to exceed 4-feet height inside the street setback (Sec. 45.080-A)

LOCATION: 2525 E 30 ST S

ZONED: RS-1

PRESENT USE: Vacant

TRACT SIZE: 63684.24 SQ FT

LEGAL DESCRIPTION: PRT LTS 4 & 5 BEG 25NW NEC LT 5 TH SW249.18 CRV RT 155.30 NE251.43 SE115.15 POB & PRT LT 2 BLK 3 WOODY-CREST SUB & PRT LT 5 BEG NEC LT 5 TH E76.60 SE52.04 SW188.89 CRV RT 106.22 CRV RT 22.38 NE249.18 SE25 POB BLK 2, WOODY-CREST SUB, SOUTH LEWIS PARK

RELEVANT PREVIOUS ACTIONS:

Subject property: None.

Surrounding properties:

BOA-18850; On 09.12.00 the Board approved a Special Exception to allow a 6-foot decorative fence in the required front yard. Property located 25616 E 28th St.

RELATIONSHIP TO THE COMPREHENSIVE PLAN: The Tulsa Comprehensive Plan identifies the subject property as part of an "Existing Neighborhood" and an "Area of Stability".

An **Existing Neighborhood** is intended to preserve and enhance Tulsa's existing single-family neighborhoods. Development activities in these areas should be limited to the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects, as permitted through clear and objective setback, height, and other development standards of the zoning code.

The **Areas of Stability** include approximately 75% of the city's total parcels. Existing residential neighborhoods, where change is expected to be minimal, make up a large proportion of the Areas of Stability. The ideal for the Areas of Stability is to identify and maintain the valued character of an area while accommodating the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects. The concept of stability and growth is specifically designed to enhance the unique qualities of older neighborhoods that are looking for new ways to preserve their character and quality of life. The concept of stability and growth is specifically designed to enhance the unique qualities of older neighborhoods that are looking for new ways to preserve their character and quality of life.

ANALYSIS OF SURROUNDING AREA: The subject tract is located along E. 30th Street between S. Atlanta PL. and Birmingham Pl.

STAFF COMMENTS: The applicant is requesting a **Special Exception** to allow fence to exceed 4-feet height inside the street setback (Sec. 45.080-A)

45.080-A Fences and walls within required building setbacks may not exceed 8 feet in height, except that in required street setbacks fences and walls may not exceed 4 feet in height. However, in R zoned districts, fences up to 8 feet in height are permitted in side street setbacks of detached houses or duplexes located on corner lots and in street setbacks abutting the rear lot line of houses or duplexes located on double frontage lots. The board of adjustment is authorized to modify these fence and wall regulations in accordance with the special exception procedures of Section 70.120.

There is an existing stone wall that is greater than 4-feet inside the street setback. The application is seeking to permit that wall and add a new wall around the perimeter of the property.

SAMPLE MOTION:

Move to _____ (approve/deny) a **Special Exception** to allow fence to exceed 4-feet height inside the street setback (Sec. 45.080-A)

- Per the Conceptual Plan(s) shown on page(s) _____ of the agenda packet.
- Subject to the following conditions (including time limitation, if any):
_____.

The Board finds that the requested Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.



Subject property

Case No. 18849 (continued)

162.53'; thence S88°42'30" W for 333.62' to POB and Lot 2, Block 2, Golden Valley Addition, less beg. at the SW/c said Lot 2, thence N 01°22'02" W for 161.46'; thence N 88°42'30" E for 333.62'; thence S 05°15'01" W for 162.53'; thence S 88°42'36" W for 314.89' to POB, all being in the City of Tulsa, Tulsa County, State of Oklahoma.

Case No. 18850

Action Requested:

Special Exception to allow a 6' high decorative wall/fence within the required front yard. SECTION 210.B.3. YARDS, Permitted Obstructions in Required Yards – Use Unit 6, located 2516 E. 28th St.

Presentation:

John Walton, architect for the project, (no address stated) presented for Ralph Klumpp. He stated that the owner would like to have the option on the side property lines to make the fence more than four feet inside the 35' setback. Mr. Beach responded that it is within the front yard and approval of the application would allow that height.

Protestants:

None.

Board Action:

On **MOTION** of **Dunham**, the Board voted 5-0-0 (White, Dunham, Turnbo, Perkins, Cooper "aye"; no "nays"; no "abstentions"; no "absences") to **APPROVE** a **Special Exception** to allow a 6' high decorative wall/fence within the required front yard, per plan submitted, on the condition that along the front property line the fence would be four feet except as it approaches the gates could increase to six feet on the following described property:

Lot 1, Block 2, South Lewis Park Addition and the W 60' of the N/2 of Lot 2, Block 3, Woody Crest Addition, more particularly described as follows, to-wit: Beg. at the NW/c of said lot thence S along the W line of said lot a distance of 260.26' to a point, said point being the SE/c of Lot 1, and the NE/c of Lot 5, Block 2, South Lewis Park Addition; thence S 88°41' E a distance of 60' to a point; thence N a distance of 252.20' to a point on the N line of said lot; thence N 80° 33' W a distance of 61' to the POB, save and separate that portion of the N/2 of said lot previously deeded to the city for street purposes, all in the City of Tulsa, Tulsa County, State of Oklahoma.

Jeff S. Taylor
Zoning Official
Plans Examiner III
TEL(918) 596-7637
jstaylor@cityoftulsa.org



DEVELOPMENT SERVICES
175 EAST 2nd STREET, SUITE 450
TULSA, OKLAHOMA 74103

ZONING CLEARANCE PLAN REVIEW

Julie Nickel
julie@juliemnickel.com

7/27/2021

APPLICATION NO: ZON LOD 89601

(PLEASE REFERENCE THIS NUMBER WHEN CONTACTING OUR OFFICE)

Project Location: 2216 E 30th St S

Description: Fence

INFORMATION ABOUT SUBMITTING REVISIONS

OUR REVIEW HAS IDENTIFIED THE FOLLOWING CODE OMISSIONS OR DEFICIENCIES IN THE PROJECT APPLICATION FORMS, DRAWINGS, AND/OR SPECIFICATIONS. THE DOCUMENTS SHALL BE REVISED TO COMPLY WITH THE REFERENCED CODE SECTIONS.

REVISIONS NEED TO INCLUDE THE FOLLOWING:

1. A COPY OF THIS DEFICIENCY LETTER
2. A WRITTEN RESPONSE AS TO HOW EACH REVIEW COMMENT HAS BEEN RESOLVED
3. THE COMPLETED REVISED/ADDITIONAL PLANS FORM (SEE ATTACHED)
4. BOARD OF ADJUSTMENT APPROVAL DOCUMENTS, IF RELEVANT

REVISIONS SHALL BE SUBMITTED DIRECTLY TO THE CITY OF TULSA PERMIT CENTER LOCATED AT 175 EAST 2nd STREET, SUITE 450, TULSA, OKLAHOMA 74103, PHONE (918) 596-9601. THE CITY OF TULSA WILL ASSESS A RESUBMITTAL FEE. DO NOT SUBMIT REVISIONS TO THE PLANS EXAMINERS.

SUBMITTALS FAXED / EMAILED TO PLANS EXAMINERS WILL NOT BE ACCEPTED.

IMPORTANT INFORMATION

1. SUBMIT TWO (2) SETS [4 SETS IF HEALTH DEPARTMENT REVIEW IS REQUIRED] OF REVISED OR ADDITIONAL PLANS. REVISIONS SHALL BE IDENTIFIED WITH CLOUDS AND REVISION MARKS.
2. INFORMATION ABOUT ZONING CODE, INDIAN NATION COUNCIL OF GOVERNMENT (INCOG), BOARD OF ADJUSTMENT (BOA), AND TULSA METROPOLITAN AREA PLANNING COMMISSION (TMAPC) IS AVAILABLE ONLINE AT WWW.INCOG.ORG OR AT INCOG OFFICES AT 2 W. 2nd ST., 8th FLOOR, TULSA, OK, 74103, PHONE (918) 584-7526.
3. A COPY OF A "RECORD SEARCH" IS NOT INCLUDED WITH THIS LETTER. PLEASE PRESENT THE "RECORD SEARCH" ALONG WITH THIS LETTER TO INCOG STAFF AT TIME OF APPLYING FOR BOARD OF ADJUSTMENT ACTION AT INCOG. UPON APPROVAL BY THE BOARD OF ADJUSTMENT, INCOG STAFF WILL PROVIDE THE APPROVAL DOCUMENTS TO YOU FOR IMMEDIATE SUBMITTAL TO OUR OFFICE. (See revisions submittal procedure above.)

(continued)

REVIEW COMMENTS

SECTIONS REFERENCED BELOW ARE FROM THE CITY OF TULSA ZONING CODE TITLE 42 AND CAN BE VIEWED AT <http://tulsaplanning.org/plans/TulsaZoningCode.pdf>

Note: As provided for in Section 70.130 you may request the Board of Adjustment to grant a variance from the terms of the Zoning Code requirements identified in the letter of deficiency below. Please direct all questions concerning variances, special exceptions, appeals of an administrative official decision, Master Plan Developments Districts (MPD), Planned Unit Developments (PUD), Corridor (CO) zoned districts, zoning changes, platting, lot splits, lot combinations, alternative compliance landscape and screening plans and all questions regarding (BOA) or (TMAPC) application forms and fees to an INCOG representative at 584-7526. It is your responsibility to submit to our offices documentation of any appeal decisions by an authorized decision making body affecting the status of your application so we may continue to process your application. INCOG does not act as your legal or responsible agent in submitting documents to the City of Tulsa on your behalf. Staff review comments may sometimes identify compliance methods as provided in the Tulsa Zoning Code. The permit applicant is responsible for exploring all or any options available to address the noncompliance and submit the selected compliance option for review. Staff review makes neither representation nor recommendation as to any optimal method of code solution for the project.

45.080-A Fences and walls within required building setbacks may not exceed 8 feet in height, except that in required street setbacks (front setback) fences and walls may not exceed 4 feet in height. However, in R zoned districts, fences up to 8 feet in height are permitted in side street setbacks of detached houses or duplexes located on corner lots and in street setbacks abutting the rear lot line of houses and duplexes located on double frontage lots. The board of adjustment is authorized to modify these fence and wall regulations in accordance with the special exception procedures of Section 70.120.

Review Comments- This lot is zoned RS-1 with a required front street setback of 35'. Provide documentation indicating the proposed fence located in the front street setback will not exceed 4' in height measured from grade or apply to BOA for a special exception to allow a fence to exceed 4' in height in a front street setback.

This letter of deficiencies covers Zoning plan review items only. You may receive additional letters from other disciplines such as Building or Water/Sewer/Drainage for items not addressed in this letter. A hard copy of this letter is available upon request by the applicant.

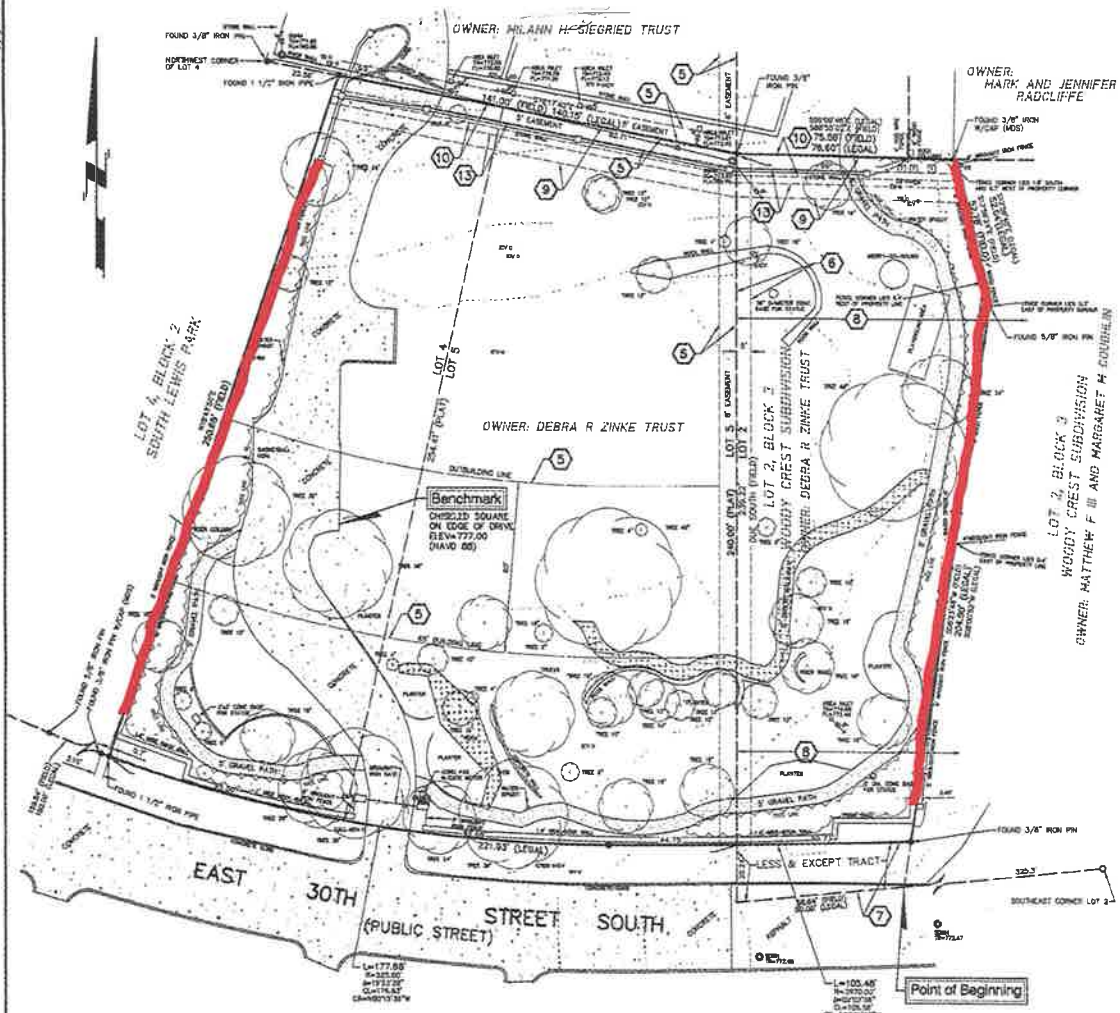
Please Notify Plans Examiner By Email When You Have Submitted A Revision. If you originally submit paper plans, revisions must be submitted as paper plans. If you submit online, revisions must be submitted online

END -ZONING CODE REVIEW

NOTE: THIS CONSTITUTES A PLAN REVIEW TO DATE IN RESPONSE TO THE SUBMITTED INFORMATION ASSOCIATED WITH THE ABOVE REFERENCED APPLICATION. ADDITIONAL ISSUES MAY DEVELOP WHEN THE REVIEW CONTINUES UPON RECEIPT OF ADDITIONAL INFORMATION REQUESTED IN THIS LETTER OR UPON ADDITIONAL SUBMITTAL FROM THE APPLICANT.

KEEP OUR OFFICE ADVISED OF ANY ACTION BY THE CITY OF TULSA BOARD OF ADJUSTMENT OR TULSA METROPOLITAN AREA PLANNING COMMISSION AFFECTING THE STATUS OF YOUR APPLICATION FOR A ZONING CLEARANCE PERMIT.

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Legal Description

A PORTION OF LOT FOUR (4) AND ALL OF LOT FIVE (5), BLOCK TWO (2), SOUTH LEWIS PARK ADDITION, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE FULLY RECORDED PLAT THEREOF AS PART OF THE 1916 AND BEING A PART OF LOT 4 AND LOT 5, BLOCK THREE (3), WOODY CREST SUBDIVISION, TULSA COUNTY, STATE OF OKLAHOMA, AND ASSIGNED TO SAID BLOCK THREE (3), WOODY CREST SUBDIVISION, TULSA COUNTY, STATE OF OKLAHOMA, DESCRIBED AS FOLLOWS, TO-WIT:

BEGINNING AT A POINT ON THE SOUTH LINE OF LOT 3, BLOCK 3, WOODY CREST SUBDIVISION, SAID POINT BEING 322.3 FEET WESTERLY OF THE SOUTHWEST CORNER OF SAID LOT 3, THENCE IN A SOUTHWESTERLY DIRECTION ALONG THE SOUTH LINE OF SAID LOT 3, A DISTANCE OF 50 FEET TO THE SOUTHWEST CORNER OF SAID LOT 3, THENCE NORTH ALONG THE WEST LINE OF SAID LOT 3, A DISTANCE OF 20.24 FEET TO THE SOUTHWEST CORNER OF LOT 5, BLOCK 2, SOUTH LEWIS PARK ADDITION; THENCE WESTERLY ALONG THE SOUTH LINE OF LOT 5 AND LOT 4, A DISTANCE OF 221.83 FEET; THENCE IN A NORTHERLY DIRECTION TO A POINT ON THE NORTH LINE OF SAID LOT 4, SAID POINT BEING 23.36 FEET EASTERLY OF THE NORTHEAST CORNER OF SAID LOT 4, THENCE NORTHEAST ALONG THE NORTH LINE OF SAID LOT 4 AND LOT 5, A DISTANCE OF 14.15 FEET TO THE NORTHEAST CORNER OF SAID LOT 5, THENCE SOUTH 89°48'48" EAST A DISTANCE OF 75.60 FEET, THENCE SOUTH 12°59'48" EAST A DISTANCE OF 23.04 FEET, THENCE SOUTH 81°03'30" WEST A DISTANCE OF 204.80 TO THE POINT OF BEGINNING, LESS THAT PORTION PREVIOUSLY DEDICATED ALONG THE SOUTH LINE OF LOT 5 FOR STREET PURPOSES.

- Notes Pertaining to Title Commitment No. 256757**
- SCHEDULE B
SECTION 11
RECEPTION
MARKERS.
- COVENANTS, RESTRICTIONS AND BUILDING SET BACK LINES AS SHOWN ON PLAT AND AS CONTAINED IN DEED OF DEDICATION, DATED NOVEMBER 30, 1926, FILED DECEMBER 4, 1926, AS INSTRUMENT NO. 231247, RECORDED IN BOOK 583, PAGE 232.
 - AGREEMENT DATED APRIL 6, 1931, FILED JUNE 2, 1931, RECORDED IN BOOK 583, PAGE 245; AS AMENDED BY AGREEMENT OF RESTRICTIVE COVENANTS, DATED DECEMBER 27, 1937, FILED JANUARY 5, 1938, RECORDED IN BOOK 1837, PAGE 353; AS AMENDED BY AGREEMENT OF RESTRICTIVE COVENANTS, DATED DECEMBER 27, 1937, FILED APRIL 15, 1938, RECORDED IN BOOK 1880, PAGE 28.
 - EASEMENTS, BUILDING LINES AND OUTBUILDING LINES AS REFLECTED ON THE PLAT FOR SOUTH LEWIS PARK ADDITION.
 - 5' WIDE EASEMENT RESERVED ALONG THE REAR LOT LINE OF LOT TWO (2), BLOCK THREE (3), WOODY CREST SUBDIVISION, AS RESERVED IN DEED OF DEDICATION, DATED MAY 2, 1933, FILED MAY 2, 1933, RECORDED AS DOCUMENT NO. 229220.
 - DEED OF DEDICATION TO THE PUBLIC, DATED APRIL 10, 1928, FILED MAY 18, 1928, RECORDED IN BOOK 576, PAGE 169, SAID DEED OF DEDICATION DOES NOT AFFECT THE PROPERTY DESCRIBED HEREON.
 - SEWER CONTRACT TO THE CITY OF TULSA, OKLAHOMA, DATED APRIL 28, 1936, FILED MAY 1936, RECORDED IN BOOK 1130, PAGE 343; AS CORRECTED BY AGREEMENT DATED MARCH 12, 1937, FILED APRIL 20, 1937, RECORDED IN BOOK 1227, PAGE 487, AFFECTS THE SOUTHERLY HALF OF LOT 2, BLOCK 3 OF WOODY CREST ADDITION, BLANKET IN NATURE.
 - 15' WIDE UNDERGROUND RIGHT OF WAY EASEMENT TO PUBLIC SERVICE COMPANY OF OKLAHOMA, DATED FEBRUARY 26, 1968, FILED MARCH 7, 1968, RECORDED IN BOOK 5085, PAGE 1176.
 - 7.5' WIDE SEWER LICENSE, DATED SEPTEMBER 19, 1968, FILED OCTOBER 6, 1968, RECORDED IN BOOK 5133, PAGE 264.
 - INTENTIONALLY OMITTED.
 - INTENTIONALLY OMITTED.
 - 5' WIDE EASEMENT FOR WALL TO THE MILANN SIEGFRIED REVOCABLE TRUST DATED NOVEMBER 29, 2001 AS AMENDED, MILANN H. SIEGFRIED, TRUSTEE, DATED JULY 21, 2016, FILED JULY 27, 2016, RECORDED AS DOCUMENT NO. 2016070525.
 - LOT 10 THE DECLARATION DATED AUGUST 9, 2017, FILED AUGUST 9, 2017 AS DOCUMENT NO. 2017073834, AFFECTS ALL OF THE PROPERTY SHOWN HEREON.

Miscellaneous Notes

- ALL EASEMENTS AND RIGHTS OF WAY CALLED OUT IN FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NUMBER 256757, WITH EFFECTIVE DATE OF MARCH 26, 2018, ARE SHOWN OR NOTED HEREON.
- THE BEARINGS SHOWN HEREON ARE BASED ON THE EASTERLY LINE OF LOT 5 OF BLOCK 2 OF SOUTH LEWIS PARK HAVING A NON-ASTRONOMICAL BEARING OF ONE SOUTH.
- THE IMPROVEMENTS SHOWN HEREON ARE SHOWN AS OF DECEMBER 2014, ACCEPT FOR THE NORTHERLY WALL WHICH WAS USED IN JULY 2017.

Utility Statement

THE UNDERGROUND UTILITIES SHOWN ON THIS PLAT HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPREHEND ALL SUCH UTILITIES IN THE AREA. EITHER THE SERVICE OR AMONGED. THE SURVEYOR, FURTHER, DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ON THIS PLAT ARE IN ANY LOCATED IN INDICATED. ALTHOUGH, HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL ORT BEFORE DIGGING (800) 332-5543.

Certificate

WE, SACK AND ASSOCIATES, INC., DO HEREBY CERTIFY THAT WE HAVE MADE AN ON THE GROUND SURVEY OF THE PROPERTY SHOWN HEREON, AND THAT THIS IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.

CERTIFIED THIS 28TH DAY OF APRIL, 2018.

SACK AND ASSOCIATES, INC.
THEODORE A. SACK
LICENSED PROFESSIONAL LAND SURVEYOR, OKLAHOMA NO. 1139



Legend

1	UNDERGROUND UTILITY LINE
2	UNDERGROUND UTILITY LINE
3	UNDERGROUND UTILITY LINE
4	UNDERGROUND UTILITY LINE
5	UNDERGROUND UTILITY LINE
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98	UNDERGROUND UTILITY LINE
99	UNDERGROUND UTILITY LINE
100	UNDERGROUND UTILITY LINE

PLAT OF TRACT
IN
LOT 5 AND PART OF LOT 4
IN
BLOCK 2
IN
'SOUTH LEWIS PARK ADDITION'
AND PART OF
LOT 2 IN BLOCK 3
OF
'WOODY CREST SUBDIVISION'
SECTION 17, T-19-N, R-13-E
CITY OF TULSA, TULSA COUNTY, OKLAHOMA

SACK AND ASSOCIATES, INC.
ENGINEERING • SURVEYING • PLANNING
2818 East 31st Street, Suite A, Tulsa, Oklahoma 74112-1018
PHONE: (918) 438-1111 FAX: (918) 438-1112
WWW: WWW.SACKANDASSOCIATES.COM

DATE: APRIL 28, 2018
BY: THEODORE A. SACK
CHECKED BY: J. SACK
SCALE: 1" = 40'



5.8

GENERAL NOTES:

CODES AND STANDARDS

- STRUCTURAL DESIGN BASED ON THE 2015 INTERNATIONAL BUILDING CODE DESIGN
- WIND SPEED = 105 MPH (3 SEC GUST)
- WIND SPEED = 81.3 MPH (NOMINAL)
- EXPOSURE - B
- $K_d = 0.85$
- CONSTRUCTION TYPE - I OR II (NONCOMBUSTIBLE MATERIALS)
- RISK CATEGORY - I

SOIL CONDITIONS (ASSUMED)

- ALLOWABLE BEARING CAPACITY = 1,500 PSF
- ALLOWABLE LATERAL SOIL CAPACITY = 300 PSF
- MINIMUM $N = 7$

CONCRETE STRENGTH

- MINIMUM 28 DAY COMPRESSIVE STRENGTH OF PRECAST ELEMENTS $F'_c = 5000$ PSI
- MINIMUM 28 DAY COMPRESSIVE STRENGTH OF CAST IN PLACE CONCRETE $F'_c = 3,000$ PSI

MATERIALS:

- CEMENT PER ASTM C-150 TYPE 1

AGGREGATES FOR CONCRETE:

- NORMAL WEIGHT AGGREGATE: FINE AND COARSE AGGREGATE PROVISIONS AND TEST METHODS SHALL MEET ASTM C33. MAXIMUM AGGREGATE SIZE OF 3/4".

ADMIXTURES:

- NO ADMIXTURES SHALL CAUSE AN INCREASE IN SHRINKAGE WHEN TESTED IN ACCORDANCE WITH ASTM C494 AND C157

DELIVERY OF CONCRETE:

- DISCHARGE OF THE CONCRETE SHALL BE COMPLETED WITHIN 1-1/2 HOURS AFTER THE INTRODUCTION OF THE MIXING WATER TO THE CEMENT AND AGGREGATES OR THE INTRODUCTION OF THE CEMENT TO THE AGGREGATES.
- WATER SHALL NOT BE ADDED IN THE FIELD UNLESS APPROVED BY THE ENGINEER.

UTILITIES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTING THE FENCE AND/OR FOUNDATIONS. CONTRACTOR SHALL NOTIFY LOCATION OF ALL UTILITIES TO BOTH THE OWNER AND SITE ENGINEER PRIOR TO CONSTRUCTING FENCE AND / OR FOUNDATIONS.

CONSTRUCTION PLANS & SPECIFICATIONS FOR PERMACAST PRECAST CONCRETE FENCE



CUSTOMER

JULIE & JOHN NICKEL

PROJECT:

JULIE & JOHN NICKEL NEW RESIDENCE
2525 EAST 30TH STREET
TULSA, OK 74114

WALL TYPE:

8 Ft. Tall x 1.0 SAND PERMAWALL PANEL
Standard 8-1/2" x 14" Columns

WIND DESIGN:

105 MPH ULTIMATE
81.3 MPH NOMINAL

EXPOSURE: B

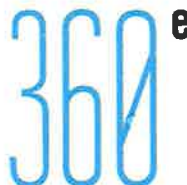
RISK CATEGORY: I



04/28/2021

APRIL 27, 2021

Prepared By



Certificate of Authorization:
OK #5896 | EXP 6.30.2022

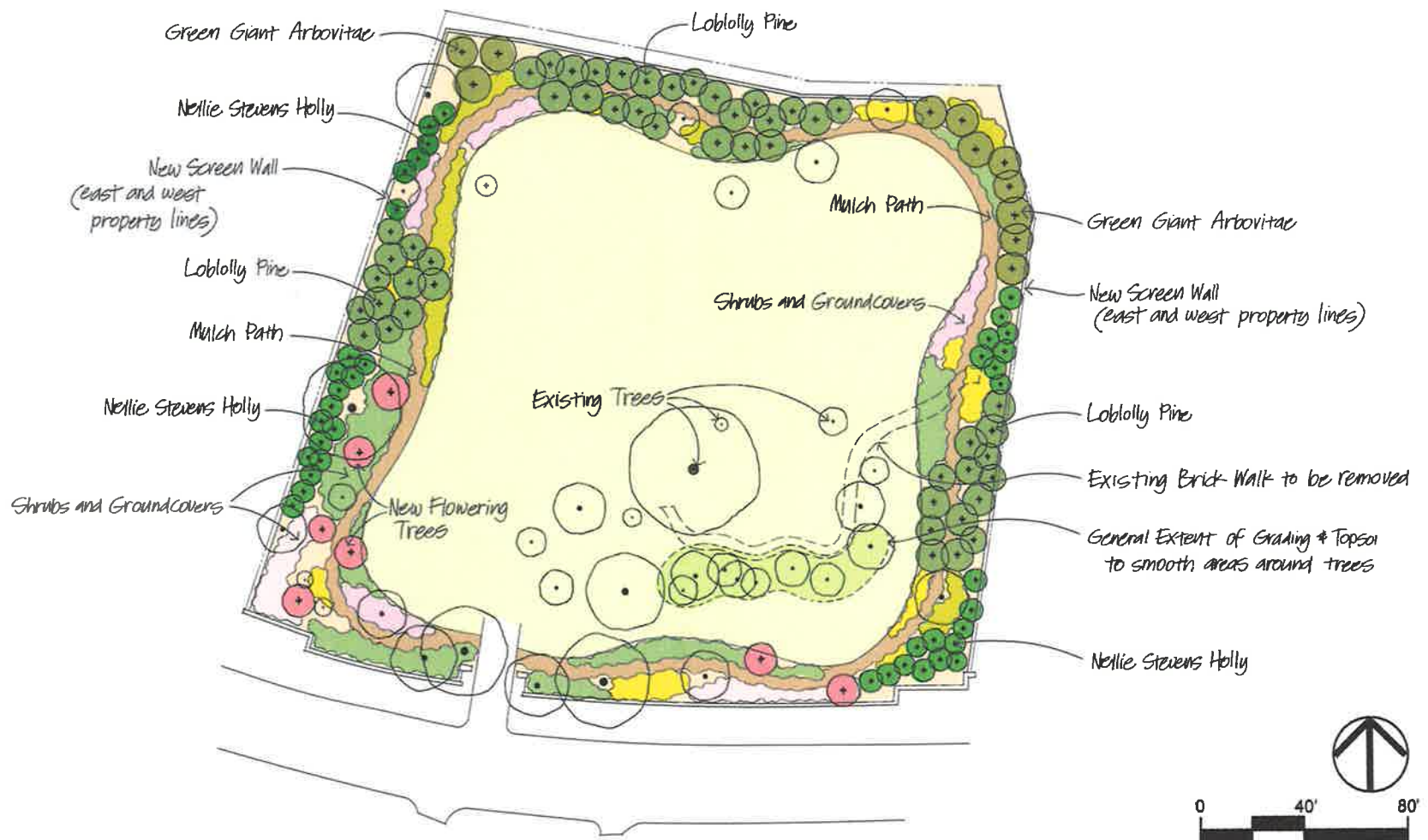
360 Engineering Group, PLLC
www.360enggroup.com

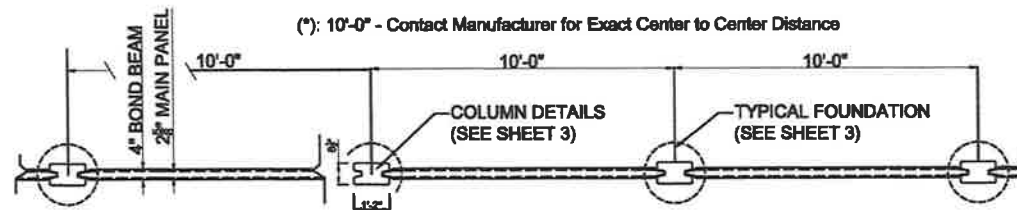
1201 East 3rd Street
Tulsa, OK 74120

918.518.1124

DRAWING INDEX

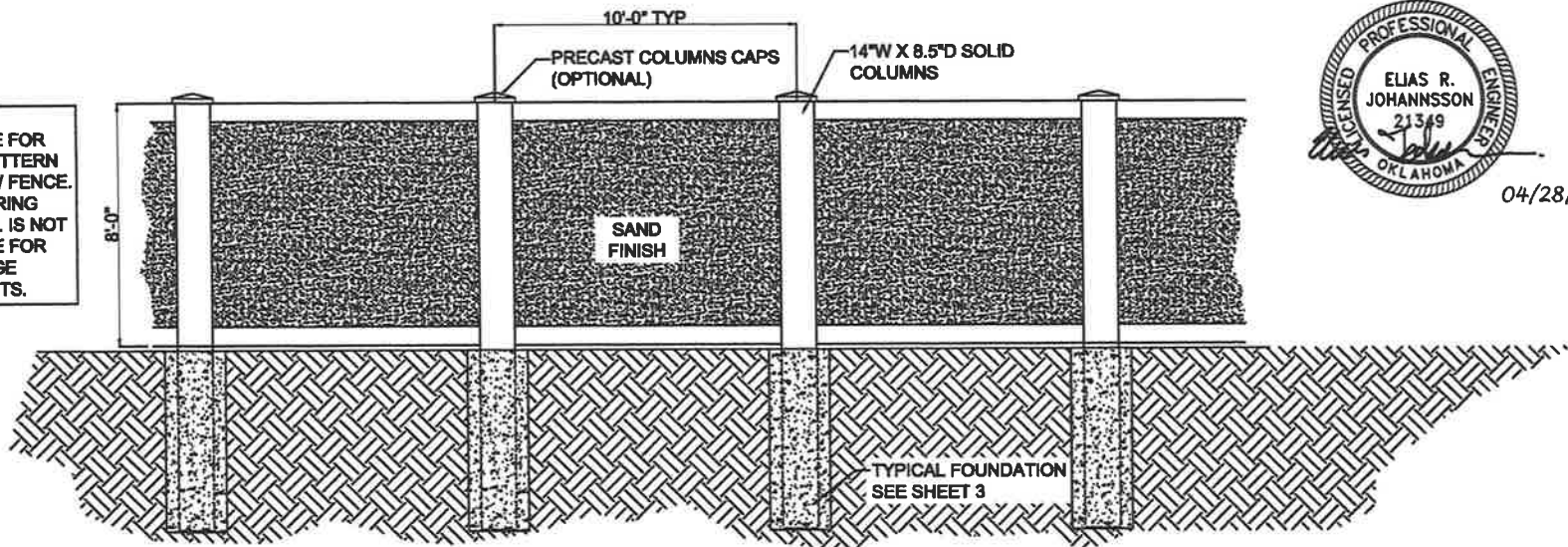
DWG. NO.	TITLE
SHEET 1	COVER SHEET & GENERAL NOTES
SHEET 2	8' SAND PANELS
SHEET 3	FOUNDATION AND COLUMN DETAILS





WALL PLAN VIEW - GENERAL DIMENSIONS

OWNER IS
RESPONSIBLE FOR
DRAINAGE PATTERN
AROUND NEW FENCE.
360 ENGINEERING
GROUP, PLLC. IS NOT
RESPONSIBLE FOR
SITE DRAINAGE
REQUIREMENTS.



TYPICAL 8 FT. PERMAWALL 1.0 WALL ELEVATION

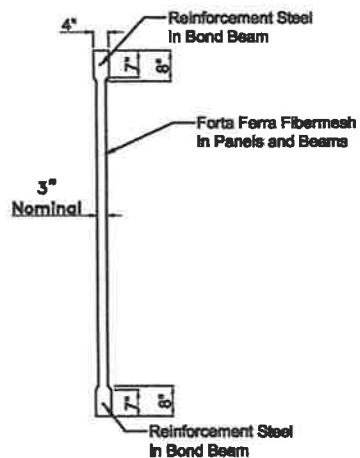
SCALE: $\frac{1}{4}" = 1'-0"$ 

04/28/2021

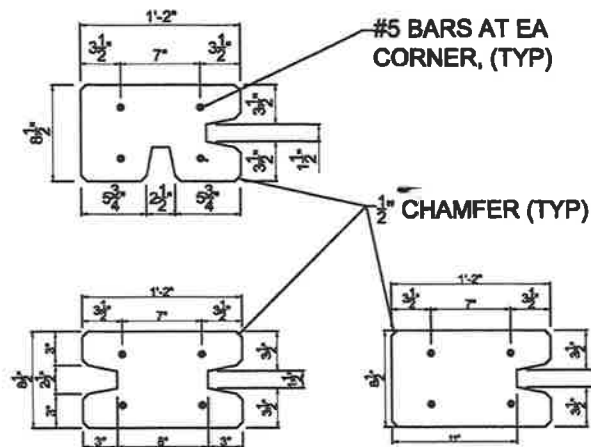
				JULIE & JOHN NICKEL NEW RESIDENCE				360 Engineering Group, PLLC			
				2535 EAST 80TH STREET				www.360enggroup.com			
				TULSA, OK 74114				1201 East 3rd Street			
				8 FT x 1.0 PERMAWALL - GENERAL DIMENSIONS				Tulsa, OK 74103			
				SHEET 2				918.5191124			



04/28/2021



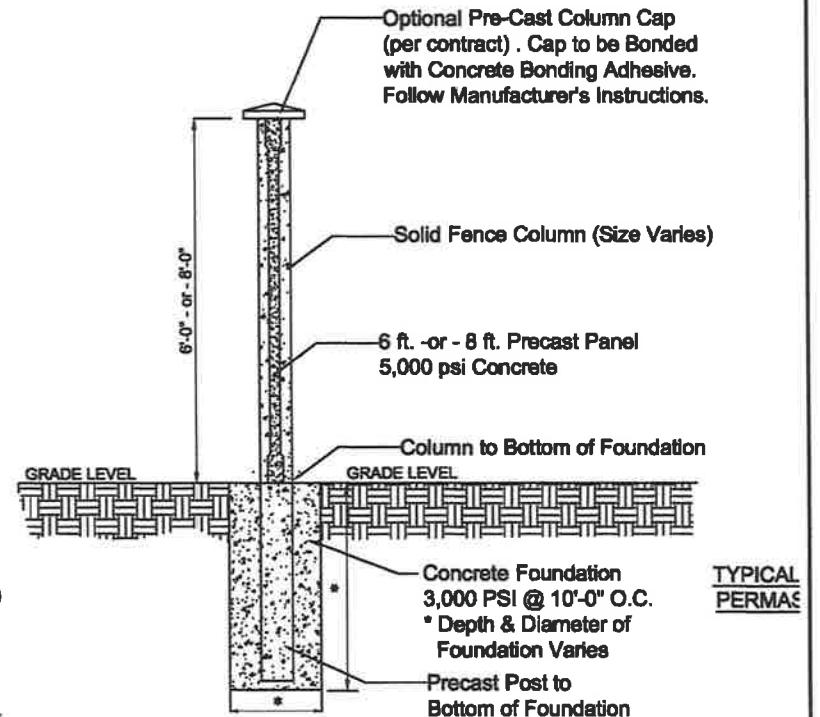
**TYPICAL SECTION THRU
1.0 PANEL**
SCALE: NTS



**TYPICAL POST FOUNDATION
FOR PERMACAST FENCE (10 FT. O/C)**

SCALE: 3/4" = 1'-0"

Wall Height	Foundation Diameter (Inches)	Foundation Depth (Inches)
PERMAWALL SAND 1.0 8 ft. Wall Height on 10 ft. Centers	24" Diameter	54" Depth



JULIE & JOHN NICKEL NEW RESIDENCE 2535 EAST 30TH STREET TULSA, OK 74114		360 Engineering Group, PLLC www.360engr.com 1201 East 3rd Street Tulsa, OK 74120 918.519.1224
TYPICAL FOUNDATIONS FOR 6 FT. WALLS		
SHEET 3		



0 200 400
Feet



Subject
Tract

BOA-23178

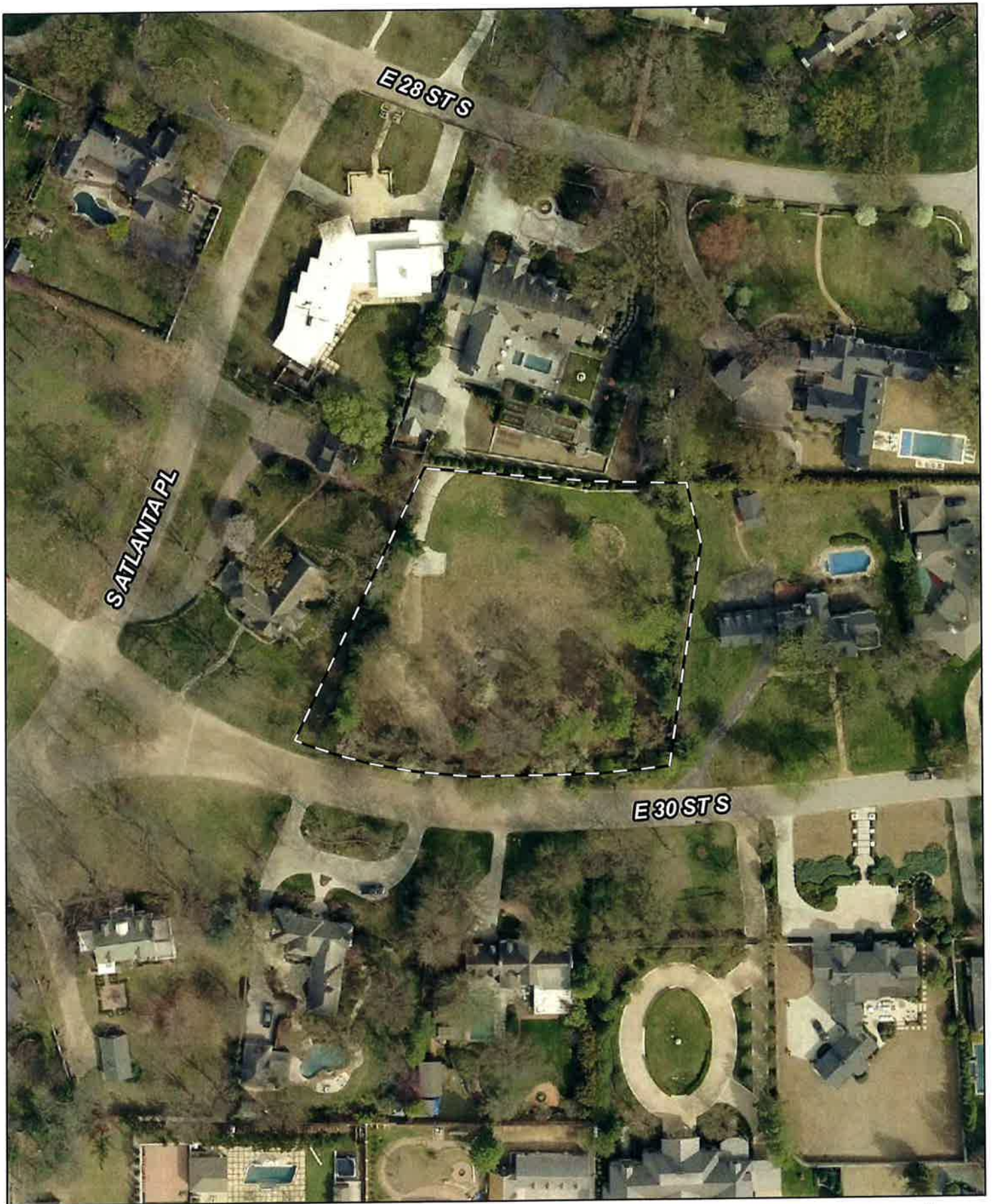
19-13 17

Note: Graphic overlays may not precisely
align with physical features on the ground.

Aerial Photo Date: 2020/2021



5.13



0 50 100
Feet



Subject
Tract

BOA-23178

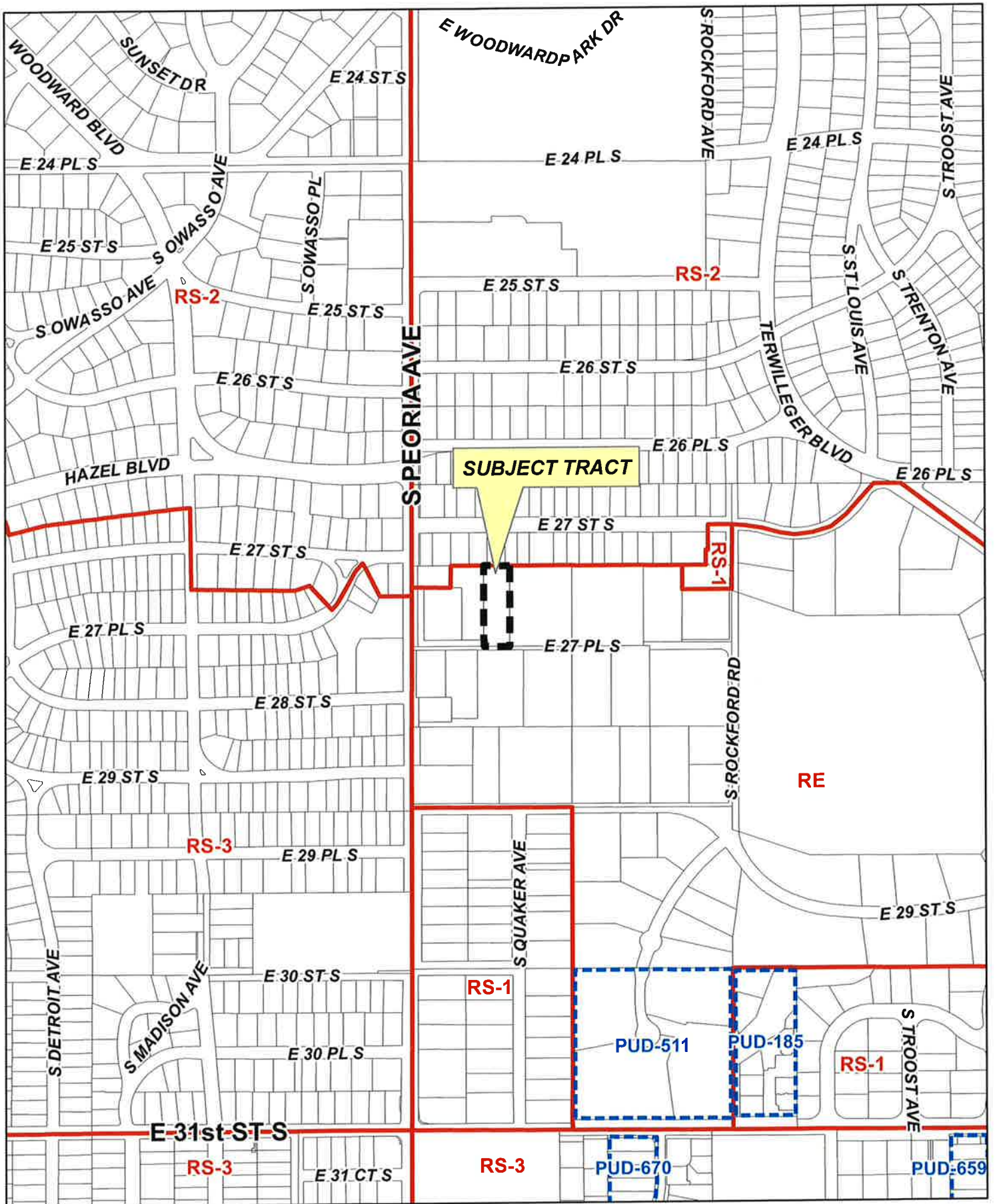
19-13 17

Note: Graphic overlays may not precisely
align with physical features on the ground.

Aerial Photo Date: 2020/2021



5.14



BOA-23179

19-13 18

6.1



BOARD OF ADJUSTMENT CASE REPORT

STR: 9318

Case Number: **BOA-23179**

CZM: 37

CD: 4

HEARING DATE: 09/14/2021 1:00 PM

APPLICANT: Julie Mondt

ACTION REQUESTED: Special Exception to permit an Accessory Dwelling Unit in an RE District(Sec. 45.031)

LOCATION: 1327 E 27 PL S

ZONED: RE

PRESENT USE: Residential

TRACT SIZE: 35741.13 SQ FT

LEGAL DESCRIPTION: W7 LT 2 & E99 LT 3 & E2.5 W33 N305 LT 3, SUNSET VIEW ADDN, SUNNYCREST ACREAGE

RELEVANT PREVIOUS ACTIONS:

BOA-19389; On 06.25.02 the Board **denied** a variance of the side yard setback from 15' to 6' for a detached garage. property located 1350 E. 27th Pl.

BOA-19311; on 03.12.02 the Board **approved** a variance of the allowable height from 18' to 26' for a detached accessory building. Property located 1350 E. 27th Pl.

BOA-16859; On 11.22.94 the Board **approved** a variance to permit two dwelling units on a single lot of record. Property located 1332 E. 27th Pl.

RELATIONSHIP TO THE COMPREHENSIVE PLAN: The Tulsa Comprehensive Plan identifies the subject property as part of an "Existing Neighborhood" and an "Area of Stability".

An **Existing Neighborhood** is intended to preserve and enhance Tulsa's existing single-family neighborhoods. Development activities in these areas should be limited to the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects, as permitted through clear and objective setback, height, and other development standards of the zoning code.

The **Areas of Stability** include approximately 75% of the city's total parcels. Existing residential neighborhoods, where change is expected to be minimal, make up a large proportion of the Areas of Stability. The ideal for the Areas of Stability is to identify and maintain the valued character of an area while accommodating the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects. The concept of stability and growth is specifically designed to enhance the unique qualities of older neighborhoods that are looking for new ways to preserve their character and quality of life. The concept of stability and growth is specifically designed to enhance the unique qualities of older neighborhoods that are looking for new ways to preserve their character and quality of life.

6.2

ANALYSIS OF SURROUNDING AREA: The subject tract is located East of the NE/c of S. Lewis and E. 27th Pl. S.

STAFF COMMENTS: The applicant is requesting Special Exception to permit an Accessory Dwelling Unit in an RE District (Sec. 45.031)

Please see Sec. 45.031 of the code included as a separate exhibit in your packet.

SAMPLE MOTION: Move to _____ (approve/deny) a Special Exception to permit an Accessory Dwelling Unit in an RE District (Sec. 45.031)

- Per the Conceptual Plan(s) shown on page(s) _____ of the agenda packet.
- Subject to the following conditions (including time limitation, if any):
_____.

The Board finds that the requested Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.



Subject property



Facing East on 27th Pl.



Facing West on 27th Pl. S.

supporting structure (excluding any guy lines) to the nearest point on the residential zoning district boundary line, excluding R-zoned freeways.

Section 45.030 Accessory Buildings and Carports in R Districts

45.030-A Accessory Building Size

1. RE and RS-1 Districts

In RE and RS-1 districts, the total aggregate floor area of all detached accessory buildings, including accessory dwelling units, and accessory buildings not erected as an integral part of the principal residential building may not exceed 750 square feet or 40% of the floor area of the principal residential structure, whichever is greater. [1]

2. RS-2, RS-3, RS-4, RS-5 and RM Districts

In RS-2, RS-3, RS-4, RS-5 or RM, zoned lots used for detached houses or duplexes, the total aggregate floor area of all detached accessory buildings, including accessory dwelling units, and accessory buildings not erected as an integral part of the principal residential building may not exceed 500 square feet or 40% of the floor area of the principal residential structure, whichever is greater. [1]

[1] For detached accessory buildings, including accessory dwelling units, located within rear setbacks see §90.090-C2.

45.030-B Carports

Carports are allowed in R zoning districts. Any carport that occupies all or a portion of the street setback or street yard area must be approved in accordance with the special exception procedures of Section 70.120 and comply with the regulations of Section 90.090-C1.

Section 45.031 ADU, Accessory Dwelling Units in R, AG, and AG-R Districts

Section 45.031-A Definition

A dwelling unit that is located in an accessory building on the same lot as a detached house to which it is accessory and subordinate.

Examples of ADUs include carriage houses, garage apartments, and mother-in-law flats.

Section 45.031-B Purpose

1. The purpose of allowing accessory dwelling units within R, AG, and AG-R districts is to:
 - a. accommodate new housing units while preserving the character of existing neighborhoods;
 - b. allow efficient use of the city's existing housing stock and infrastructure;
 - c. provide housing options and choices that respond to varying income levels, changing household sizes and lifestyle needs; and

- d. provide a means for residents—particularly seniors, single parents, and empty-nesters—to remain in their homes and neighborhoods, and obtain extra income, security, companionship and assistance.
2. The ADU supplemental regulations are also intended to help ensure that that new buildings and modifications to existing buildings are designed with sensitivity to their context in terms of building placement, proportions, building materials, and similar design features.

Section 45.031-C Applicability

These regulations apply to all accessory dwelling units, as defined by Section 45.031-A.

Section 45.031-D Regulations

1. Where Allowed

Accessory dwelling units are allowed by special exception in RE, RS, AG, and AG-R districts on lots occupied by a detached house. Accessory dwelling units are allowed by right in RD, RT, RM and RMH districts on lots occupied by a detached house.

2. Number

No more than one accessory dwelling unit is allowed per lot.

3. Methods of Creation

An accessory dwelling unit may be created only through the following methods:

- a. Constructing an accessory dwelling unit on a lot with a new or existing detached house; or
- b. Converting or increasing existing floor area within an accessory building on a lot with an existing detached house.

4. Density (Minimum Lot Area and Lot Area per Unit)

No additional lot area or lot area per unit is required for the accessory dwelling unit.

5. Open space (Minimum open space per unit)

No additional open space is required for the accessory dwelling unit.

6. Accessory Dwelling Unit Size

- a. RE and RS-1 Districts

In RE and RS-1 districts, the total aggregate floor area of all detached accessory buildings, including accessory dwelling units, may not exceed 750 square feet or 40% of the floor area of the principal residential structure, whichever is greater. [1]

- b. RS-2, RS-3, RS-4, RS-5, and RM Districts

In RS-2, RS-3, RS-4, RS-5 or RM zoned lots used for detached houses, the total aggregate floor area of all detached accessory buildings, including accessory dwelling units, may not exceed 500 square feet or 40% of the floor area of the principal residential structure, whichever is greater. [1]

[1] For detached accessory buildings, including accessory dwelling units, located within rear setbacks, see Section 90.090-C2.

7. Building and Fire Codes

All accessory dwelling units are subject to applicable building and fire codes.

8. Additional Regulations for Accessory Dwelling Units

a. Entrances

Building entrances to accessory dwelling units may not face the nearest side or rear property line unless there is an alley abutting that property line.

b. Setbacks

An accessory dwelling unit must be located at least 10 feet behind the detached house. This required 10-foot separation distance must be open from the ground to the sky except that it may include walkways, patios, decks and similar structures that do not exceed 30 inches in height above finished grade.

c. Exterior Finish Materials

The exterior finish material of any new accessory dwelling unit must be the same or visually match in type, size and placement, the exterior finish material of the detached house.

d. Roof Pitch

The roof pitch any new accessory dwelling unit must be the same as the predominant roof pitch of the principal building.

Section 45.040 Compressed Natural Gas (CNG) Refueling Appliances

Private (restricted access), consumer-oriented (home), CNG refueling appliances are permitted as an accessory use to lawfully established household living uses in all zoning districts.

Section 45.050 Dumpsters

45.050-A Regulations

Dumpsters established or placed on or after the effective date specified in [Section 1.030](#) are subject to the following regulations:

1. Dumpsters may only be placed with the written permission of the owner of the subject property.
2. Dumpsters must be located on a dustless, all-weather surface.
3. Dumpsters may not:
 - a. Obstruct motorized or non-motorized traffic;

Case No. 19311

Action Requested:

Variance of the allowable 18' in height for an accessory building to 26' for new garage. SECTION 210.B.5.a. YARDS, Permitted Obstructions in Required Yards; and a Variance of the size from 750 sq. ft. to 965 sq. ft. SECTION 402.B.1.d. ACCESSORY USES IN RESIDENTIAL DISTRICTS, located 1350 E. 27th Pl.

Presentation:

Tony Jordan, 52250 E. 191st St. S., Bixby, Oklahoma, stated they asked for a variance on the height to build the garage to match the 1920 design of construction of the house.

Comments and Questions:

Ms. Turnbo informed Mr. Jordan that the code does not permit living quarters or bathroom facilities in this addition of the house.

Interested Parties:

There were no interested parties who wished to speak.

Board Action:

On **MOTION** of **Dunham**, the Board voted 4-0-0 (White, Dunham, Turnbo, Perkins "aye"; no "nays"; no "abstentions"; Cooper "absent") to **APPROVE** a **Variance** of the allowable 18' in height for an accessory building to 26' for new garage; and a **Variance** of the size from 750 sq. ft. to 965 sq. ft., per plan, finding it would be in keeping with the neighborhood, the height and size are common in the area, and this facility can only be used for garage or storage, on the following described property:

E 200.00' of E 360.00' of N/2 SW NW SW, Section 18, T-19-N, R-13-E, City of Tulsa, Tulsa County, State of Oklahoma.

*.*****.

Case No. 19313

Action Requested:

Special Exception under Section 701 of the Tulsa Zoning Code to permit the building located on Tract One in a CH Zoning district to be used for light manufacturing as permitted under Use Unit 25. SECTION 701. PRINCIPAL USES PERMITTED IN COMMERCIAL DISTRICTS – Use Unit 25; and a Special Exception under Section 1301.D. to permit part of the off-street parking required for the Use Unit 25 uses to be located on Tract Two. SECTION 1301.D. GENERAL REQUIREMENTS, located SW/c E. 9th St. & RR ROW & NE/c E. 11th St. & RR ROW.

Case No. 16858

Action Requested:

Special Exception to permit church use and a variance of the required setback - **SECTION 401. PRINCIPAL USES PERMITTED IN THE RESIDENTIAL DISTRICTS** and **SECTION 701. PRINCIPAL USES PERMITTED IN THE RESIDENTIAL DISTRICTS** - Use Unit 2, located 2620 North Boston Avenue.

Comments and Questions:

Ms. Russell advised that the applicant is in need of additional relief, and suggested that Case No. 16858 be continued to December 13, 1994.

Presentation:

The applicant, **Walter Benjamin**, 519 East 36th Street North, was present.

Board Action:

On **MOTION** of **BOLZLE**, the Board voted 3-0-0 (Bolzle, Doverspike, Turnbo, "aye"; no "nays"; no "abstentions"; Abbott, "absent") to **CONTINUE** Case No. 16858 to December 13, 1994, to permit additional advertising.

Case No. 16859

Action Requested:

Variance to permit two dwelling units on one lot of record - **SECTION 207. ONE SINGLE-FAMILY DWELLING PER LOT OF RECORD** - Use Unit 6, located 1332 East 27th Place.

Presentation:

The applicant, **Harold Salisbury**, 3232 South Yorktown Avenue, informed that he is proposing to construct a new dwelling (approximately 7000 sq ft) and requested permission to add a pool house on the same lot of record. Mr. Salisbury explained that the pool house (approximately 561 sq ft) will have a kitchen, bathroom and changing room, which constitutes a dwelling unit according to the Code definition. The applicant stated that the pool house will not be used for living quarters. A plot plan (Exhibit L-1) was submitted.

Interested Parties:

Tim Jurick, 1345 East 29th Street, informed that he is currently experiencing a problem with drainage from Mr. Salisbury's property, and pointed out that erosion has already occurred. He stated that he is concerned about the impact the new construction will have on his land.

Mr. Doverspike advised that the Board does not have jurisdiction in drainage issues, and noted that this will be addressed during the building permit process.

Case No. 16859 (continued)

Mr. Gardner advised that the City may not review the drainage issue on one tract of land unless a review is requested.

Board Action:

On **MOTION** of **TURNBO**, the Board voted 3-0-0 (Bolzle, Doverspike, Turnbo, "aye"; no "nays"; no "abstentions"; Abbott, "absent") to **APPROVE** a **Variance** to permit two dwelling units on one lot of record - **SECTION 207. ONE SINGLE-FAMILY DWELLING PER LOT OF RECORD** - Use Unit 6; per plan submitted; subject to drainage being reviewed by the Public Works Department; finding that one dwelling and one pool house will be constructed on the property; and finding that, although the pool house will have a kitchen and bath, it will not be used as a dwelling unit; and finding that approval of the request will not be detrimental to the area, or violate the spirit and intent of the Code; on the following described property:

Beginning 360' east and 1650' north of the SW/c of SW/4 of Section 18, T-19-N, R-13-E of the IBM, Tulsa County, Oklahoma, thence north 330', east 100', south 330', west 100' to the POB, less and except the north 15' thereof, City of Tulsa, Tulsa County, Oklahoma.

Case No. 16860

Action Requested:

Special Exception to permit Use Unit 8 multifamily dwellings and similar uses in a CS zoned district - **SECTION 701. PRINCIPAL USES PERMITTED IN THE COMMERCIAL DISTRICTS** - Use Unit 8, located north and east of the northeast corner of East 61st Street and South Memorial Drive.

Presentation:

The applicant, **Charles Norman**, 2900 Mid-Continent Tower, submitted a site plan (Exhibit M-1) and informed that the subject property is zoned CS and backs to a single-family neighborhood to the north and east. He explained that the property has been considered by the Board in 1982, and again in 1986, and has been approved on both occasions for multifamily use. Mr. Norman stated that the approval expired after three years and he requested that the application be approved again. He informed that 240 dwelling units will be constructed. Mr. Norman advised that this application differs from the 1986 approval in that 3-story buildings were proposed at that time; however, the current application has no 3-story units. He stated that all other conditions remain the same, except the reduction in the number of units and the height reduction.

Comments and Questions:

In response to Mr. Gardner, the applicant stated that the club house will be across from and slightly to the north of the Eaton Square Theater.

Comments and Questions:

Mr. Stump verified that the lots are 55' wide.

Interested Parties:

There were no interested parties who wished to speak.

Board Action:

On **MOTION** of **Dunham**, the Board voted 5-0-0 (White, Dunham, Turnbo, Perkins, Cooper "aye"; no "nays"; no "abstentions"; no "absences") to **APPROVE** a **Variance** of the required lot width from 60' to 55' for a lot split, per plan, finding the lots were platted before the current standard came into effect, on the following described property:

Lot 5, Block 1, McCune Addition, City of Tulsa, Tulsa County, State of Oklahoma.

*****.

Case No. 19389

Action Requested:

Variance of side yard setback from required 15' to 6' to permit a detached garage in the rear yard. SECTION 403.A. BULK AND AREA REQUIREMENTS IN THE RESIDENTIAL DISTRICTS, Bulk and Area Requirements in the RE, RS, RD, RT and RM Districts – Use Unit 6, located 1350 E. 27th Pl.

Presentation:

Tony Jordan, 5220 E. 191st St. S., Bixby, Oklahoma, stated the owner requested the garage to be closer to the property line.

Comments and Questions:

Mr. Dunham questioned the placement of the garage so it would not require a variance. Mr. Jordan replied that it could be moved, but that is the preference of the owner. Mr. Dunham asked for the hardship. Mr. Jordan replied there was no hardship.

Interested Parties:

There were no interested parties who wished to speak.

Board Action:

On **MOTION** of **Dunham**, the Board voted 5-0-0 (White, Dunham, Turnbo, Perkins, Cooper "aye"; no "nays"; no "abstentions"; no "absences") to **DENY** a **Variance** of side yard setback from required 15' to 6' to permit a detached garage in the rear yard, finding lack of a hardship, on the following described property:

E 200.00' of E 360.00' N/2 SW NW SW, Section 18 T-19-N R-13-E, City of Tulsa, Tulsa County, State of Oklahoma.

*****.

DEMO SITE PLAN NOTES

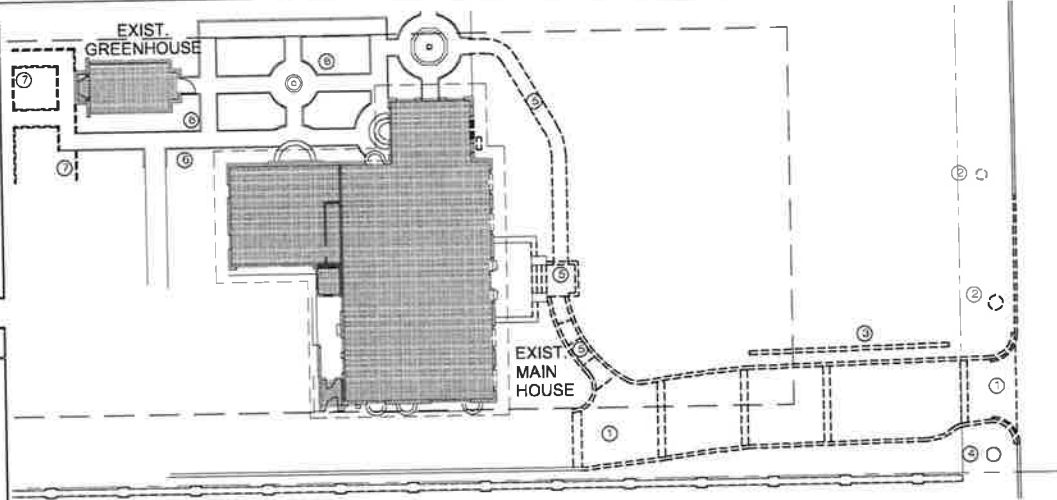
PHASE 3 SITE WORK SCOPE:

- ① EXISTING CONC. DRIVE TO BE USED DURING CONSTRUCTION AND THEN BE REMOVED IN PHASE 3. EXISTING CURB CUT FOR DRIVE TO BE RELOCATED.
- ② EXISTING TREES TO BE REMOVED & REPLACED WITH NEW LANDSCAPING ALONG NEW BRICK POST AND METAL RAIL FENCE.
- ③ EXISTING CONCRETE RETAINING WALL TO BE REMOVED.
- ④ EXISTING METER TO REMAIN.
- ⑤ EXISTING WALK TO BE REMOVED.
- ⑥ EXISTING CONC WALK CURBS TO REMAIN, TYP. UNLESS SHOWN OTHERWISE.
- ⑦ REMOVE CONC. WALK CURBS

NEW SITE PLAN NOTES

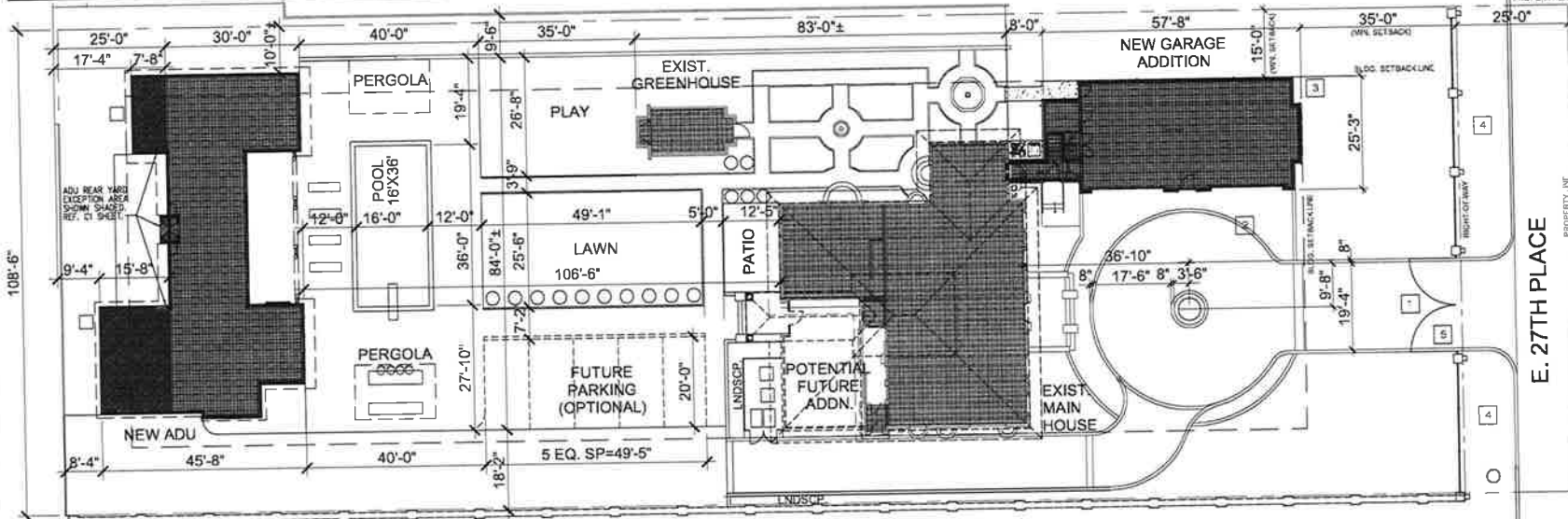
PHASE 3 SITE WORK SCOPE:

- ① NEW CONCRETE DRIVE APRON AT NEW CURB CUT LOCATION.
- ② NEW CIRCLE DRIVE TO BE PEA GRAVEL WITH CONTINUOUS 6" BRICK OR STAMPED CONCRETE EDGE BANDING.
- ③ LOCATE BLDG. ADDITION CORNER AT EDGE OF MINIMUM SETBACK LINES, AS SHOWN.
- ④ NEW 2" x 2" BRICK COLUMNS AND BRICK LOW WALL ALONG FRONT EDGE OF PROPERTY. GAS LAMPS TO BE MOUNTED TO COLUMNS. RUN PIPING TO EACH COLUMN AS REQUIRED. INSTALL METAL RAILING BETWEEN COLUMNS AND ABOVE LOW WALL. REF. DETAIL.
- ⑤ INSTALL NEW, POWERED METAL RAIL ENTRANCE GATES AS SHOWN. RUN ELECTRICAL CONDUIT TO GATE CONTROLLER AS REQUIRED.



① DEMO SITE PLAN

Scale: 1" = 25'



② NEW SITE PLAN

Scale: 1" = 25'

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NEW ADDITION & ADU FOR
MCQUARRY RESIDENCE
1327 E. 27TH PLACE SOUTH
TULSA, OKLAHOMA 74114

JOB NO:
721-10-01
DATE:
7-14-21
SUBMITTAL:
FOR PERMIT/ BIDDING
REVISIONS:

SHEET NO.
A1

6.1.4

MCQUARY RESIDENCE-ADDITION & ADU
1327 E. 27TH PLACE
TULSA, OKLAHOMA 74114

GENERAL NOTES

1. DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REUSED OR REPRODUCED IN ANY MANNER WITHOUT EXPRESSED WRITTEN CONSENT.
2. THE CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS RELEVANT TO THE PROJECT INCLUDING BUT NOT LIMITED TO DIMENSIONS, ELEVATIONS, GENERAL CONDITIONS, AND OTHER MISCELLANEOUS EXISTING CONDITIONS AND SHALL PROMPTLY NOTIFY THE ARCHITECT TO ANY WHICH DO NOT AGREE WITH THOSE SHOWN ON THE DRAWINGS.
3. THE CONTRACTOR SHALL ALSO VERIFY THE COORDINATION OF DIMENSIONS AND THE LOCATION OF THE VARIOUS TRADE WORK, SUBCONTRACTORS AND SEPARATE CONTRACTS AND REPORT ANY CONFLICTS TO THE ARCHITECT IMMEDIATELY.
4. ALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF STUD OR CENTERLINE OF COLUMNS UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO REPAIR DAMAGE TO EXISTING BUILDINGS, CEILING, PAVING, WALKS AND PLANTING AREAS INCURRED DURING CONSTRUCTION. PATCH ALL FLOOR AREAS, WALLS, AND CEILINGS ALTERED DURING CONSTRUCTION AS REQUIRED TO MATCH EXISTING WHERE OR NOT INDICATED ON THE DRAWINGS.
6. A SET OF BUILDING PLANS APPROVED BY THE CITY OF TULSA SHALL BE KEPT ON THE PROJECT DURING CONSTRUCTION UNTIL FINAL INSPECTION APPROVAL HAS BEEN MADE.
7. THE BUILDING PERMIT HOLDER OR HIS AGENT SHALL REQUEST THE BUILDING INSPECTIONS AS REQUIRED BY THE CITY OF TULSA.
8. ***THESE DRAWINGS ARE PROVIDED FOR DESIGN INTENT ONLY.*** ALL STRUCTURAL DETAILS (INCLUDING TRUSS/ RAFTER DESIGNS AND FOOTINGS/ FOUNDATIONS) ARE TO BE PROVIDED BY STRUCTURAL ENGINEER AND FINAL SELECTION OF MEANS AND METHODS TO BE DETERMINED BY CONTRACTOR.

SITE TABULATIONS

EXISTING INFORMATION:	
SUBDIVISION - SUNNYCREST ACRES:	
* WEST 7' OF LOT 2	
* EAST 99' & EAST 25' OF THE WEST 33' OF THE NORTH 305' OF LOT 3	
ADDRESS: 1327 E. 27TH PLACE SOUTH, TULSA, OK 74114-4109	
LOT AREA: 35,805.37 SF	TOTAL EXISTING HOUSE SF: 3869 SF (BSMT, 1ST, 2ND)
NEW AREA INFORMATION:	
POOLHOUSE (ADU): 1,800 SF (LANAI: 351 SF, PATIO: 386 SF, GAR. -2-CAR: 535 SF)	
GARAGE (4 CAR)-1ST FLR (NON-COND): 1200 SF CONNECTOR HALL (COND.): 202 SF	
GARAGE (APT)-2ND FLR: 1310 SF	
SITE OPEN SPACE REQUIRED: 12,000 SF	
OPEN SPACE PROVIDED: 28,902 SF	

ADU SIZE CALCULATIONS:

EXISTING HOUSE SIZE: 3869 SF	
NEW GARAGE (CONDITIONED SPACE: 2ND FLR + STAIRS) = 1310 - 202 = 1512 SF	
TOTAL COND. AREA (EXISTING - NEW): 3869 + 1512 = 5381 SF	
ADU - ALLOWABLE: 5381 SF x 40% = 2152 SF (MAX.)	
ADU (ACTUAL): 1800 SF < 2152 (MAX. ALLOWABLE)	
REAR YARD REDUCTION: (20% PER TABLE 90-2) OF 25' REQUIREMENT	
LOT WIDTH (106.5') x SETBACK (25') = 2712.5 SF x 20% = 542.5 SF = MAX. REDUCTION	
ACTUAL PORTION EXTENDING BEYOND 25' REAR SETBACK: 532.3 SF (SHOWN SHADED)	
NEW 'ADU' HAS: 18' MAX. HEIGHT & 10' MAX. TRUSS BEARING (PER REDUCTION REQ'D.)	

SHEET INDEX

C1	COVER SHEET, NOTES & PROJECT INFO
A1	SITE PLAN & SITE NOTES
PHASE 1 DRAWINGS	
A2	POOLHOUSE (ADU) FLOOR PLAN, FRONT ELEVATION & NOTES
A3	POOLHOUSE (ADU) ROOF/ FRAMING PLAN, REAR ELEV. & SECTION
A4	POOLHOUSE (ADU) SIDE ELEVATIONS & BUILDING SECTION
A5	POOLHOUSE (ADU) BUILDING SECTION
PHASE 2 DRAWINGS	
A6	GARAGE FLOOR PLAN-1ST FLOOR, FRONT ELEVATION
A7	GARAGE FLOOR PLAN-2ND FLOOR, SIDE ELEVATION
A8	GARAGE ROOF PLAN, REAR ELEVATION
A9	GARAGE BUILDING SECTIONS & SIDE ELEVATIONS

PHASING NOTES

PROJECT SCOPE SHALL BE CONSTRUCTED IN 3 PHASES:

PHASE 1
BUILD NEW POOLHOUSE (ALTERNATE DWELLING UNIT) AT THE BACK OF THE SITE, AND RELATED SITE WORK.
PHASE 2
BUILD NEW GARAGE ADDITION AT THE FRONT OF THE SITE, CONNECTED TO THE EXISTING, MAIN HOUSE.
PHASE 3
BUILD NEW CIRCLE DRIVE, RELOCATE CURB CUT/ ENTRANCE DRIVE LOCATION AS SHOWN, BUILD NEW FENCE ALONG THE ENTIRE FRONTAGE OF PROPERTY.

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NEW ADDITION & ADU FOR
MCQUARY RESIDENCE
1327 E. 27TH PLACE
TULSA, OKLAHOMA 74114

JOB NO.
721-10-01
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REVISIONS:

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C1

NEW PLAN NOTES

- 1 FRONT FACADE AND MORE VISIBLE WALL PORTIONS TO BE FACE BRICK, UNLESS NOTED OTHERWISE. BRICK TO MATCH MAIN HOUSE IN SIZE AND COLOR. HEAR AND SIDE OF HOUSE TO BE 6" CEMENT SIDING.
- 2 ATTIC ACCESS DOOR, TYP. OF 2.
- 3 CONNECT DOWNSPOUT TO PVC BOOT IN CONCRETE AT GRADE. EXTEND PVC TO DAYLIGHT IN LANDSCAPE AREA.
- 4 6x6 TIMBER POSTS OR 4x4 WOOD POSTS WITH 1x1 TRIM (TO LOOK LIKE TIMBER POSTS).

NEW ELEVATION NOTES

- 1 SLATE ROOF. TRUSS MFR. TO SIZE TRUSSES ACCORDINGLY. ROOF EDGE DETAIL AT ALL HIPS AND RIDGES.
- 2 WALL MOUNTED LIGHT SCONCE.
- 3 STUCCO ACCENT BANDS. COLOR AND TEXTURE TO LOOK LIKE CAST STONE. TRIM SIZE AND PROFILE TO MATCH EXISTING HOUSE.
- 4 STANDING SEAM METAL ROOFING ON DORMERS TO BE PRE-FINISHED, BRONZE TO MATCH GUTTER/DOWNSPOUTS.
- 5 PRE-FINISHED METAL GUTTER, HALF-ROUND PROFILE & COLOR TO MATCH EXIST. HOUSE.

DOOR SCHEDULE

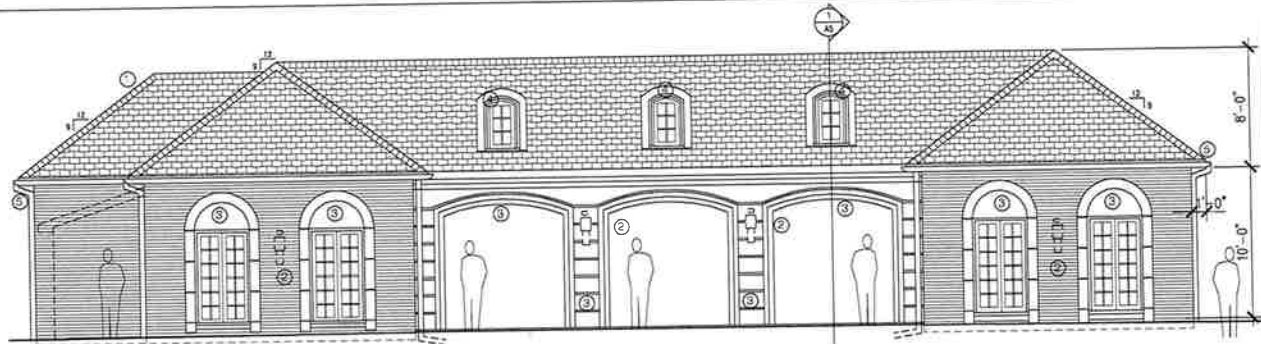
DOOR	W	H	V.P.	TYPE	FRAME	NOTES
D1	3'-0"	6'-8"	--	INSUL.	PVC	
D2	3'-0"	6'-8"	--	INSUL.	WD	
D3	7'-4"	8'-0"	YES	FOLDING	MFR.	REF. ELEV.
D4	3'-0"	6'-8"	--	SCWD	WD	
D5	2'-8"	6'-8"	--	SCWD	WD	
D6	2'-4"	6'-8"	--	SCWD	WD	
D7	2'-0"	6'-8"	--	HCWD	WD	
D8	2'-0"	6'-8"	--	HCWD	WD	
D9	2'-4"	6'-8"	--	HCWD	WD	(NOTE 2)
D10	2'-6"	6'-6"	--	SCWD	WD	
D11	16'-0"	7'-0"	--	OVERHEAD	WD	

NOTES:
1. SCWD = SOLID CORE; HCWD = HOLLOW CORE; WD = WOOD; FBC = FIBERGLASS; INSUL. = INSULATED
2. INSTALL POCKET DOOR AT BEDROOM CLOSET

WINDOW SCHEDULE

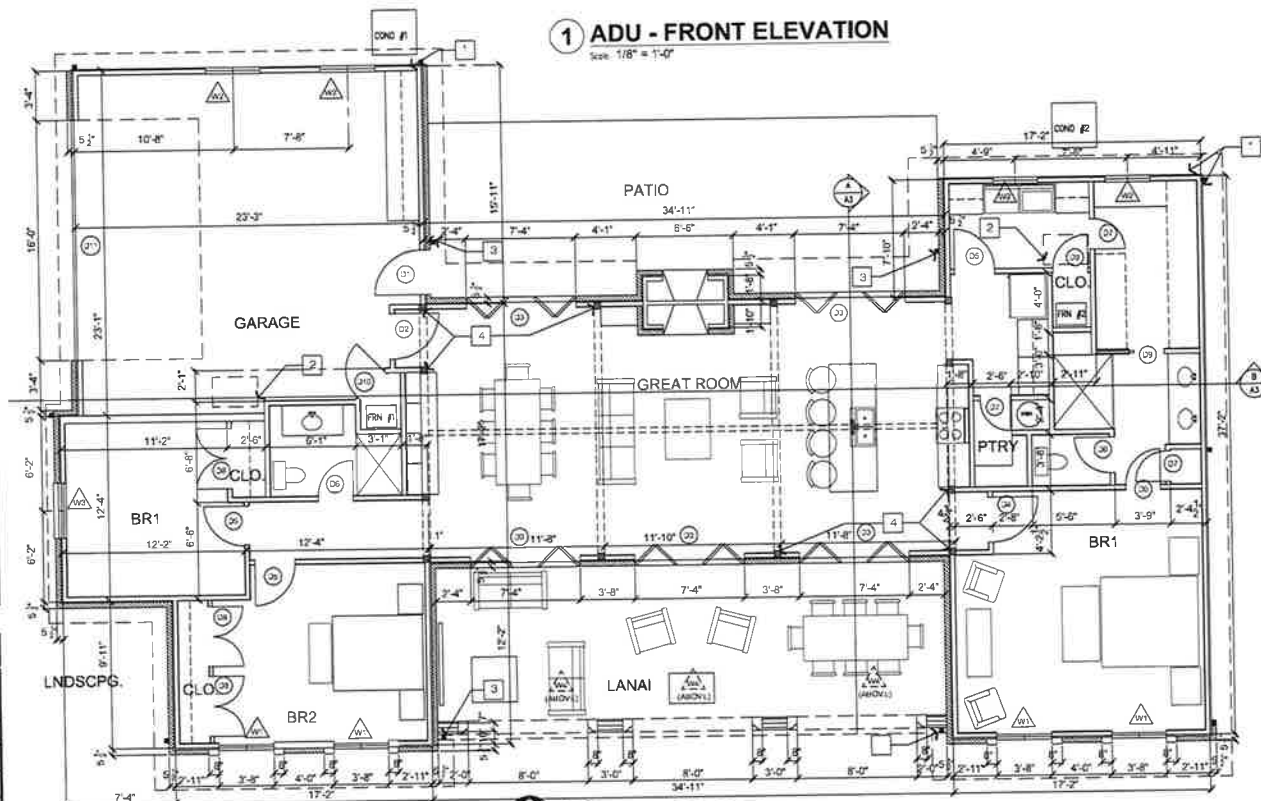
W	W	H	TYPE	NOTES
W1	3'-8"	6'-4"	CASEMENT, WD	REF. ELEV.
W2	3'-0"	4'-2"	CASEMENT, WD	" "
W3	3'-8"	4'-4"	CASEMENT, WD	" "
W4	2'-4"	3'-6"	DORMER, FIXED	" "

NOTE: ALL WINDOWS TO MATCH EXISTING, MAIN HOUSE IN STYLE AND TYPE.



1 ADU - FRONT ELEVATION

Scale: 1/8" = 1'-0"



2 ADU - FLOOR PLAN

Scale: 1/8" = 1'-0"

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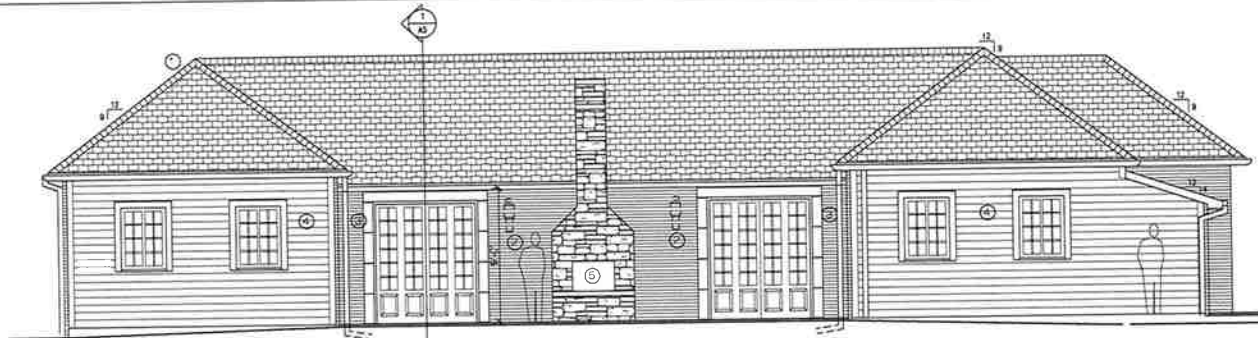
NEW ADDITION & ADU FOR
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TULSA, OKLAHOMA 74114

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A2

NEW ELEVATION NOTES

1. SLATE ROOF. TRUSS MFR. TO SIZE TRUSSES ACCORDINGLY. ROOF EDGE DETAIL AT ALL HIPS AND RIDGES.
2. WALL MOUNTED LIGHT SCONCE.
3. STUCCO ACCENT BANDS. COLOR AND TEXTURE TO LOOK LIKE CAST STONE. TRIM SIZE AND PROFILES TO MATCH EXISTING HOUSE.
4. FIBER CEMENT LAP SIDING.
5. STONE, WOOD-BURNING FIREPLACE WITH CHIMNEY. BUILD CHIMNEY AT BACK SIDE OF CHIMNEY FOR POSITIVE WATER DRAINAGE. REF. ROOF PLAN.

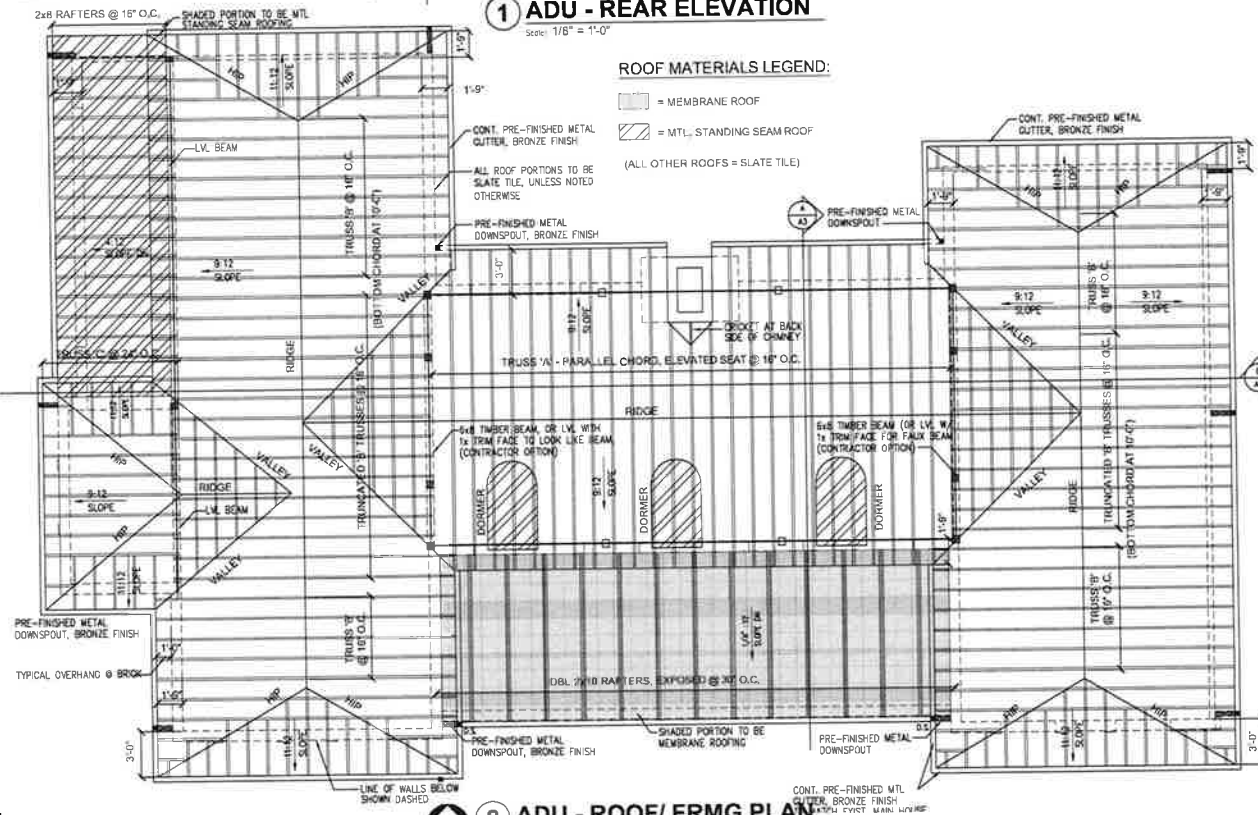


1 ADU - REAR ELEVATION

Scale: 1/8" = 1'-0"

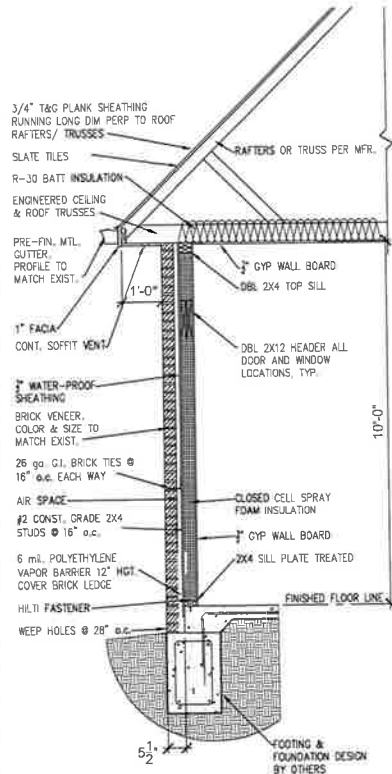
ROOF MATERIALS LEGEND:

- MEMBRANE ROOF
 - MTL. STANDING SEAM ROOF
- (ALL OTHER ROOFS = SLATE TILE)



2 ADU - ROOF/ FRMG PLAN

Scale: 1/8" = 1'-0"



3 TYP. BRICK WALL SECTION

Scale: 1/2" = 1'-0"

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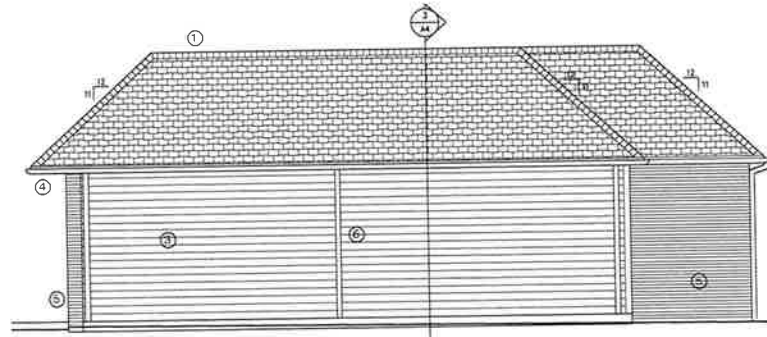
NEW ELEVATION NOTES

- ① SLATE ROOF, TRUSS MFR. TO SIZE TRUSSES ACCORDINGLY. ROOF EDGE DETAIL AT ALL HIPS AND RIDGES.
- ② WALL MOUNTED LIGHT SCONCE.
- ③ FIBER CEMENT LAP SIDING.
- ④ PRE-FINISHED METAL GUTTERS TO MATCH EXISTING HOUSE PROFILE.
- ⑤ NEW FACE BRICK, BRICK TO MATCH MAIN HOUSE IN SIZE AND COLOR.
- ⑥ PRE-FINISHED METAL DOWNSPOUT TO MATCH GUTTERS.
- ⑦ PRE-FINISHED STANDING SEAM METAL ROOF ABOVE GARAGE DOOR.



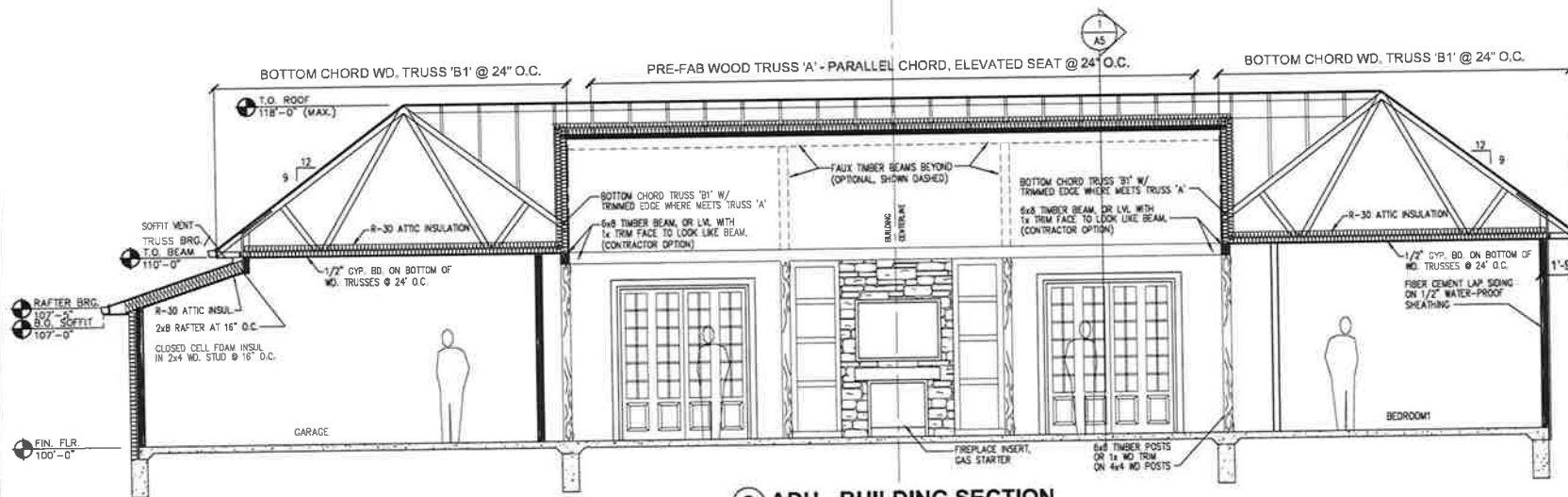
① ADU - WEST ELEVATION

Scale: 1/8" = 1'-0"



② ADU - EAST ELEVATION

Scale: 1/8" = 1'-0"



③ ADU - BUILDING SECTION

Scale: 1" = 6'-0"

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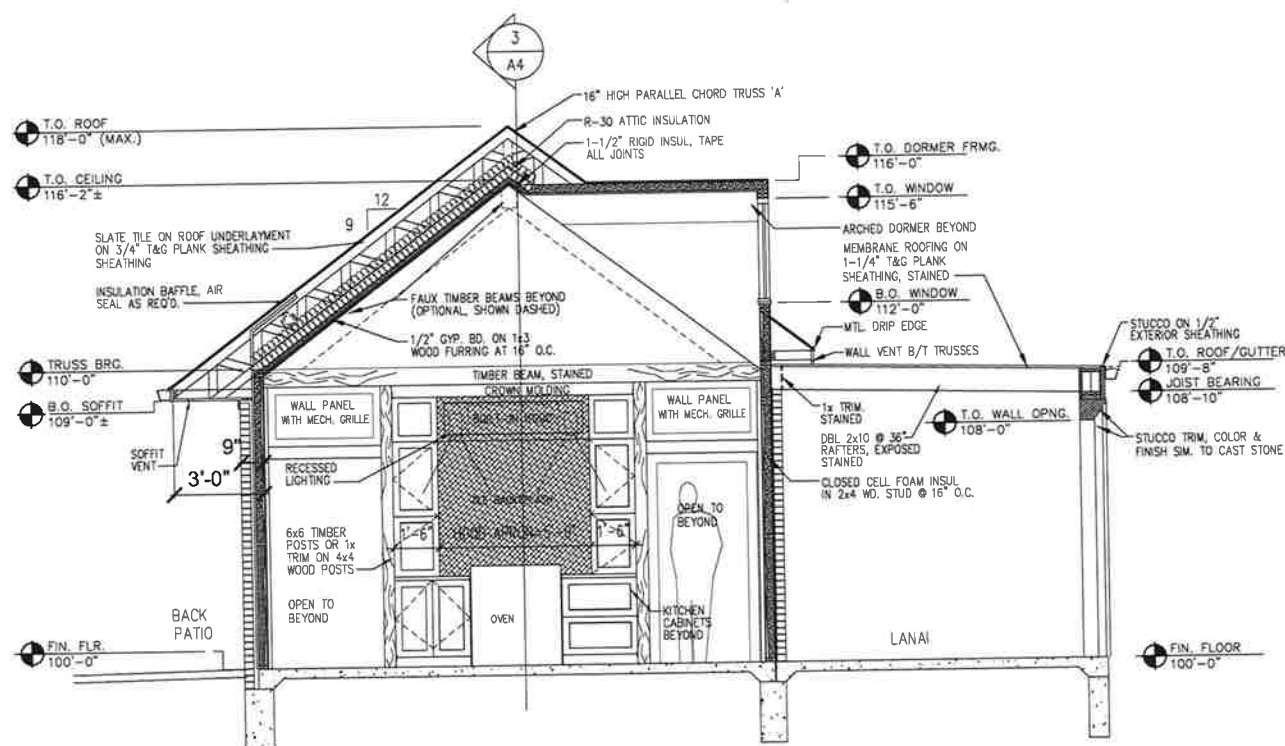
NEW ADDITION & ADU FOR
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2.17



1 A4 - BUILDING SECTION
Scale: 1/4" = 1'-0"

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6.19

NEW PLAN NOTES

- 1 NEW CONNECTION CORRIDOR TO BE CENTERED ON EXISTING CENTRAL WINDOW BEING REMOVED. CUT EXIST. BRICK BELOW REMOVED WINDOW FOR NEW CORRIDOR.
- 2 RELOCATE EXIST. MINI-SPLIT / VRF OUTDOOR UNIT AS REQUIRED FOR NEW ADDITION.
- 3 NEW CONCRETE PORCH AT GARAGE CONNECTION TO THE EXISTING HOUSE.
- 4 NEW RAMP INSIDE CONNECTION CORRIDOR AT 1:12 SLOPE AT LENGTH REQUIRED TO REACH FINISH FLOOR ELEVATION OF EXIST. MAIN HOUSE.
- 5 NEW 4x4 COLUMNS OR STACKED 2x FRAMING TO SUPPORT LVL TO CARRY BRICK ON UPPER WALL.

NEW ELEVATION NOTES

- 1 SLATE TILE ROOF. TRUSS MFR. TO SIZE TRUSSES ACCORDINGLY. ROOF EDGE DETAIL AT ALL HIPS AND RIDGES.
- 2 WALL MOUNTED LIGHT SCONCE.
- 3 SIUCCO ACCENT BANDS. COLOR AND TEXTURE TO LOOK LIKE CASI STONE. THIN SIZE AND PROFILES TO MATCH EXISTING HOUSE.
- 4 NEW PRE-FINISHED DOWNSPOUTS TO MATCH QUIETER DOWNSPOUTS.
- 5 CONT. PRE-FINISHED MTL. QUIETER. HALF-ROUND PROFILE & COLOR TO MATCH EXIST. HOUSE.
- 6 NEW FACE BRICK TO MATCH EXIST. HOUSE IN SIZE/ COLOR.
- 7 SOLDIER COURSE IN NEW BRICK TO MATCH ELEVATION & SIZE OF SOLDIER COURSE IN EXISTING MAIN HOUSE.
- 8 EXISTING HOUSE.

DOOR SCHEDULE

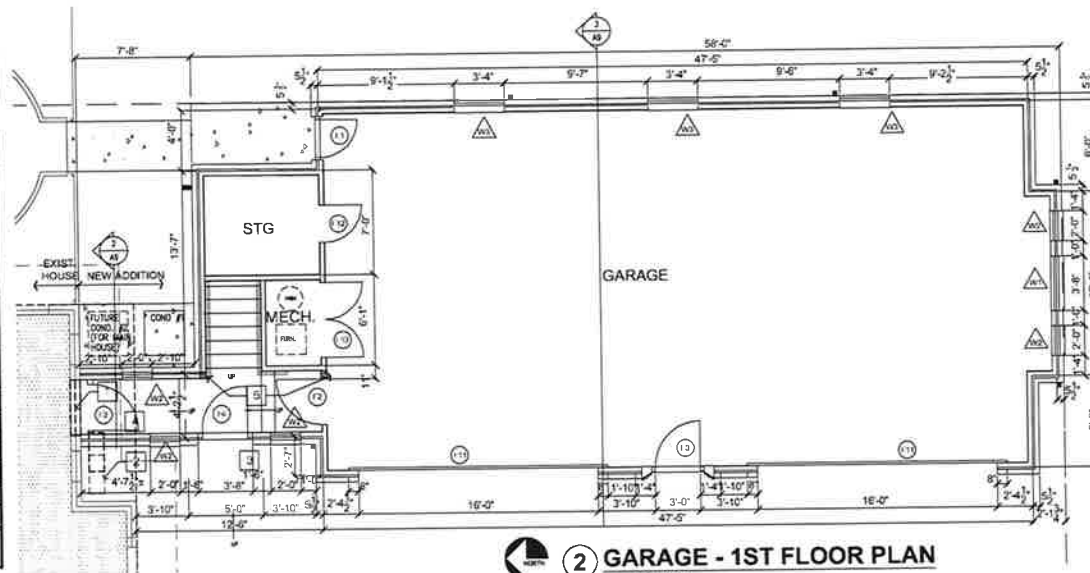
DOOR	W	H	V.P.	TYPE	FRAME	NOTES
F1	2'-6"	6'-8"	--	INSUL.	PVC	
F2	3'-0"	6'-8"	--	INSUL.	WD	PANELED
F3	3'-0"	6'-8"	--	INSUL.	PVC	REF. ELEV.
F4	3'-0"	6'-8"	YES	INSUL.	PVC	REF. ELEV.
F5	2'-8"	6'-8"	--	SCWD	WD	
F6	2'-4"	6'-8"	--	SCWD	WD	
F7	2'-0"	6'-8"	--	HCWD	WD	
F8	2'-0" PR	6'-8"	--	HCWD	WD	
F9	2'-0"	6'-8"	--	HCWD	WD	POCKET DR.
F10	2'-0"	6'-8"	--	SCWD	WD	
F11	18'-0"	9'-0"	--	OVERHC	WD	
F12	2'-6"	6'-8"	--	HCWD	WD	
F13	2'-8" PR	6'-8"	--	HCWD	WD	

NOTES:
 1. SCWD = SOLID CORE; HCWD = HOLLOW CORE; WD = WOOD; FBG = FIBERGLASS; INSUL. = INSULATED
 2. INSTALL POCKET DOOR AT BEDROOM CLOSET



1 GARAGE - FRONT ELEVATION

Scale: 1/8" = 1'-0"



2 GARAGE - 1ST FLOOR PLAN

Scale: 1/8" = 1'-0"

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NEW ADDITION & ADU FOR
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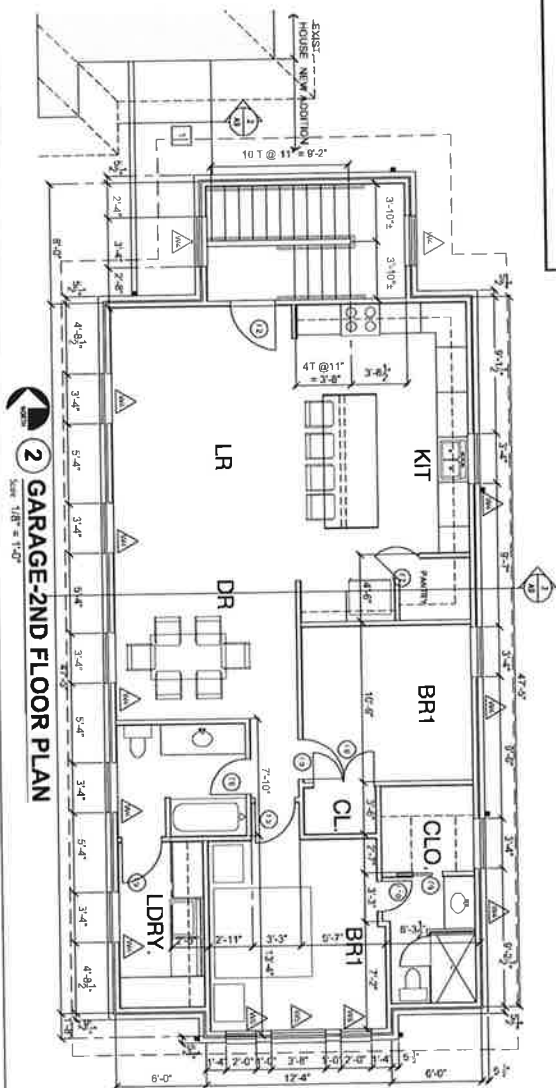
A6

NEW PLAN NO. 1015

1 NEW CONNECTION CORRIDOR ROOF BELOW.

NEW ELEVATION NOTES

- ① ACCORDINGLY, "HOOF RIDGE DE L'AILLAL" ALPHAS AND RIDGES.
- ② STUCCO, COAST STONES, COLOR AND LIVERY, IO MA, CH, CASI, STONE, "HAY STEE" AND PHOLOSIS IO MA, CH, BKS, ING, HOUSE.
- ③ NEW PHE-ANISHED DOWNSHOULS IO MA, CH, GUTTER DOWNSHOULS.
- ④ CONT' PRE-FINISHED WTL, GUTTER, HALF-ROUND PHOLOSIS, COLOR IO MA, CH, ING, HOUSE.
- ⑤ NEW-PHE BRICK IO MA, CH, BKS, "HOUSE IN SIZED COLOR.
- ⑥ SOLDIER COURSE IN NEW BRICK IO MA, CH, ELEVATION & SIZE OF, SOLDIER COURSE IN BKS, ING, MAIN HOUSE.
- ⑦ EXISTING HOUSE SHOWN FOR REFERENCE.
- ⑧ ALLOCAL, I/ R, P, US, BKS, ING IN SHAW, CHOLE, CASI, STONE DETAIL IN NEW LOCATION, OR BUILD NEW STUCCO ONE IO MA, CH.



1 GARAGE - REAR ELEVATION

$$\underline{D-1 = 9/1 \text{ mm}}$$

2 GARAGE-2ND FLOOR PLAN

Page 1 of 12

**NEW ADDITION & ADU FOR
MCQUARY RESIDENCE
1327 E. 27TH PLACE
TULSA, OKLAHOMA 74114**



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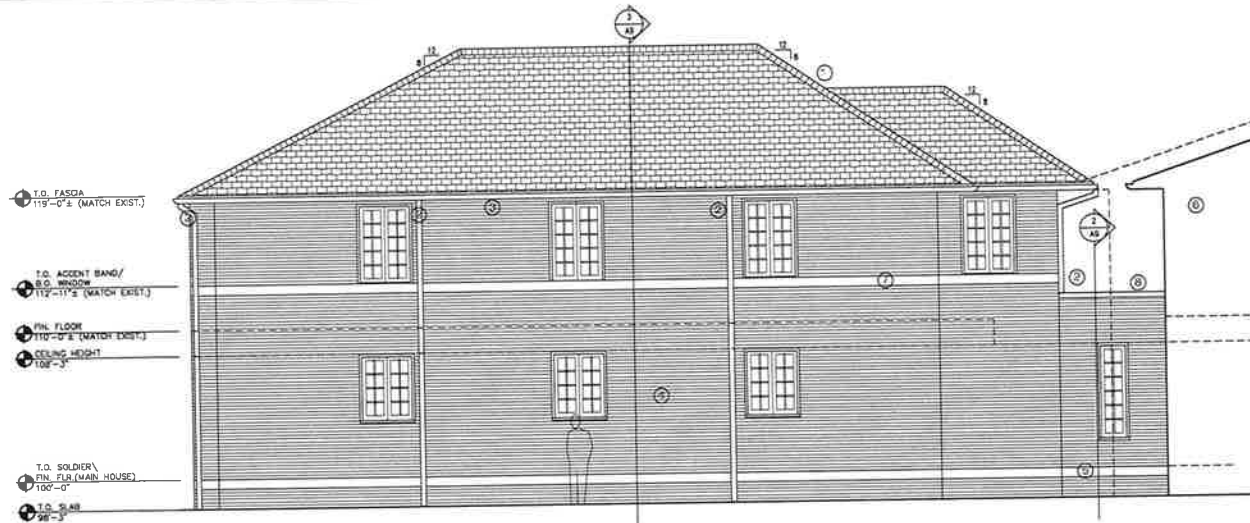
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6.20

NEW ELEVATION NOTES

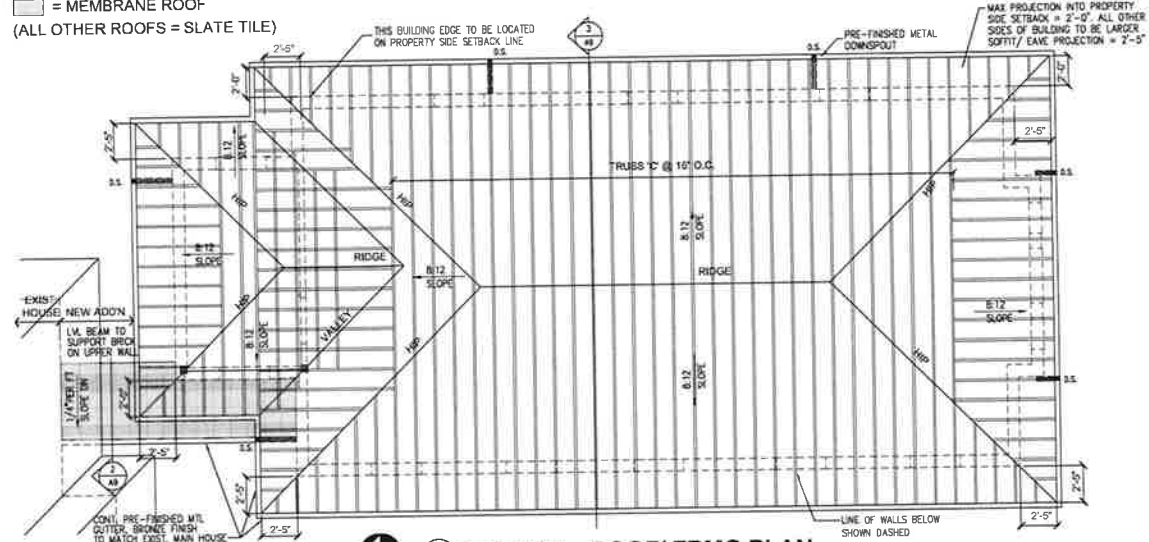
- ① SLATE TILE ROOF. TRUSS MH, TO SIZE TRUSSES ACCORDINGLY. ROOF EDGE DETAIL AT ALL HIPS AND RIDGES.
- ② NEW PRE-FINISHED DOWNSPOUTS TO MATCH GUTTER DOWNSPOUTS.
- ③ CONT. PRE-FINISHED MET. GUTTER, HALF-ROUND PROFILE & COLOR TO MATCH EXIST. HOUSE.
- ④ NEW FACE BRICK TO MATCH EXIST. HOUSE IN SIZE/COLOR.
- ⑤ SOLDER COURSE IN NEW BRICK TO MATCH ELEVATION & SIZE OF SOLDIER COURSE IN EXISTING MAIN HOUSE.
- ⑥ EXISTING HOUSE.
- ⑦ STUCCO ACCENT BANDS, COLOR AND TEXTURE TO LOOK LIKE CAST STONE. TRIM SIZE AND PROFILES TO MATCH EXISTING HOUSE.
- ⑧ METAL CAP AT BACK EDGE OF LOW SLOPE ROOF.



1 GARAGE - REAR ELEVATION
Scale: 1/8" = 1'-0"

ROOF MATERIALS LEGEND:

□ = MEMBRANE ROOF
(ALL OTHER ROOFS = SLATE TILE)



2 GARAGE - ROOF/ FRMG PLAN
Scale: 1/8" = 1'-0"

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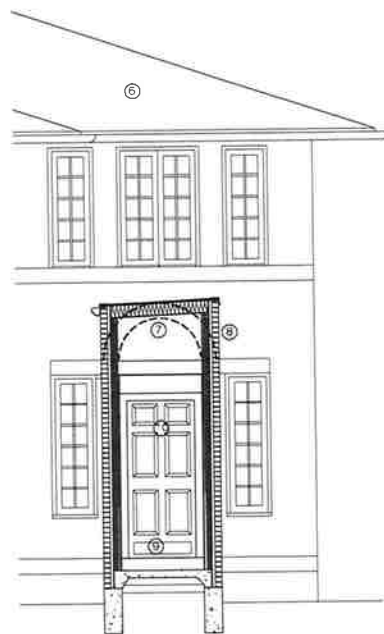
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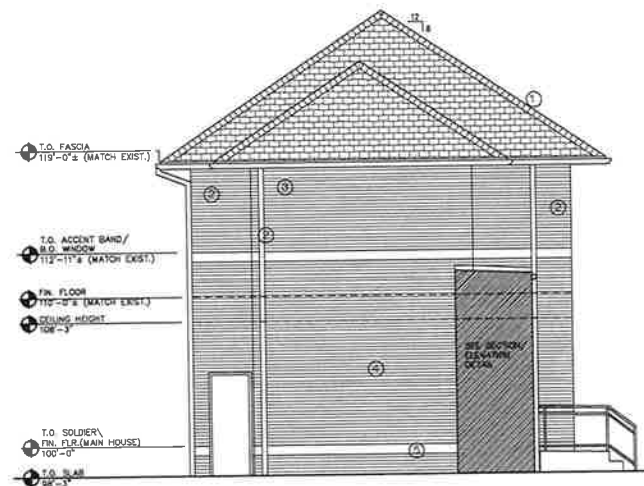
NEW ELEVATION NOTES

- ① SLATE TILE ROOF. TRUSS M-H. TO SIZE. RUSSES ACCORDINGLY. ROOF EDGE DETAIL AT ALL HIPS AND RIDGES.
- ② NEW PRE-FINISHED DOWNSPOUTS TO MATCH GUTTER/ DOWNSPOUTS.
- ③ CONJ. PRE-FINISHED MET. GUTTER. HALF-ROUND PROFILE & COLOR TO MATCH EXIST. HOUSE.
- ④ NEW FACE BRICK TO MATCH EXIST. HOUSE IN SIZE/ COLOR.
- ⑤ SOLDIER COURSE IN NEW BRICK TO MATCH ELEVATION & SIZE OF SOLDIER COURSE IN EXISTING MAIN HOUSE.
- ⑥ EXISTING HOUSE.
- ⑦ REMOVE EXISTING CASE STONE SEMI-CIRCLE DETAIL TO RE-USE AT NEW LOCATION.
- ⑧ NEW CONNECTION CORRIDOR TO BE CENTERED ON EXISTING CENTRAL WINDOW BEING REMOVED. OUT EXIST. BRICK BELOW REMOVED WINDOW FOR NEW CORRIDOR.
- ⑨ NEW RAMP INSIDE CONNECTION CORRIDOR AT 1:12 SLOPE AT LENGTH REQUIRED TO REACH FINISH FLOOR ELEVATION OF EXIST. MAIN HOUSE.
- ⑩ NEW PANELED DOOR BEYOND, AS SELECTED BY OWNER.



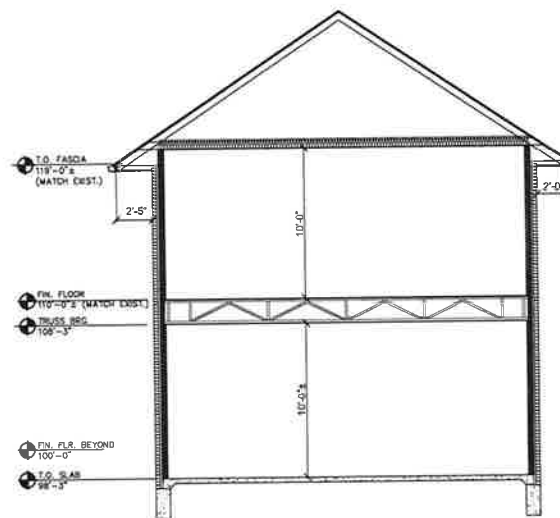
2 BUILDING SECTION

Scale 1/8" = 1'-0"



1 GARAGE - SIDE ELEVATION

Scale 1/8" = 1'-0"



3 GARAGE - BUILDING DIAGRAM

Scale 1/8" = 1'-0"

CENTERPOINT, LLC
6211 S. Yorktown Place
Tulsa, Oklahoma 74136
centerpointarch@gmail.com
PH 918.210.9832



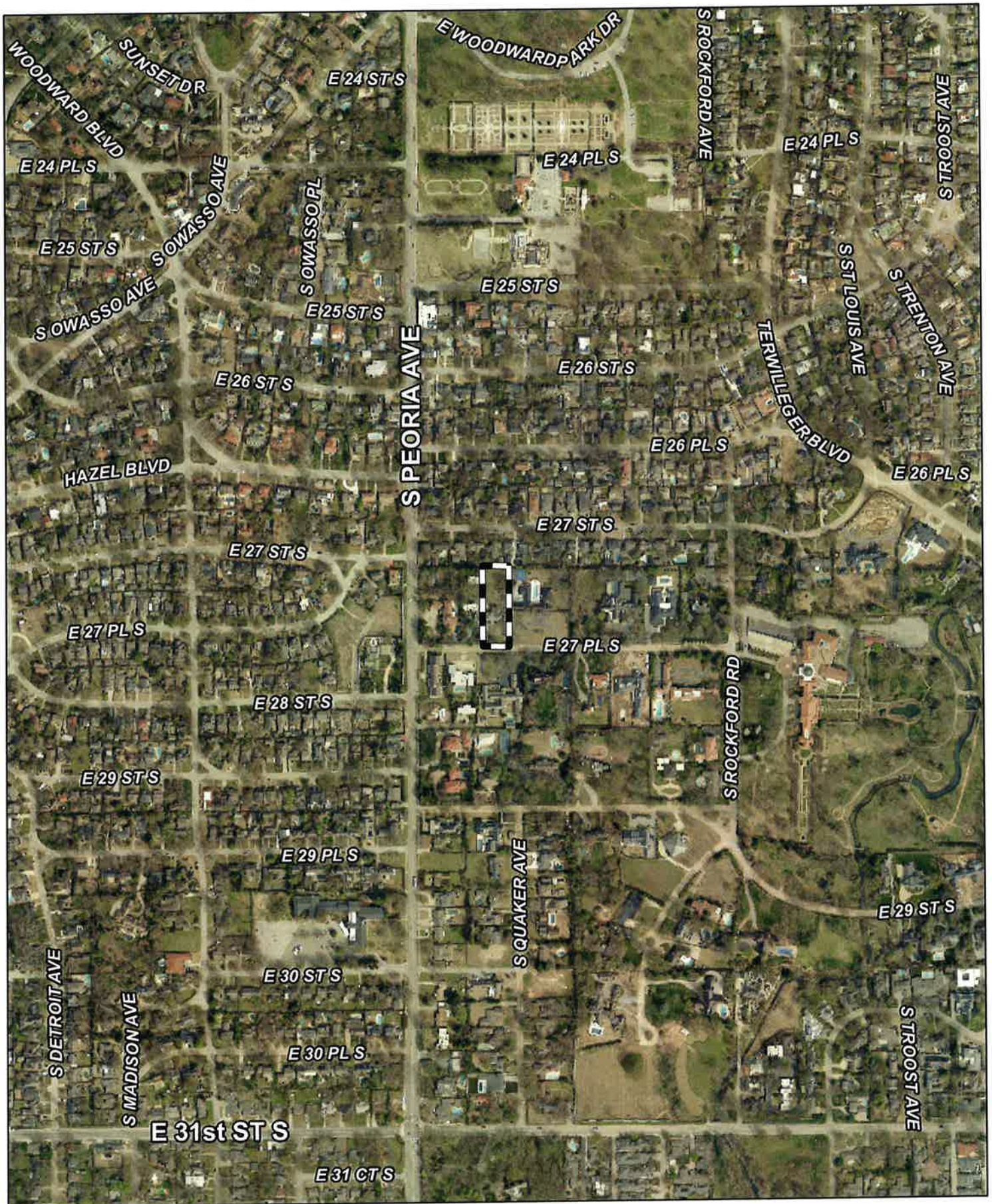
NEW ADDITION & ADU FOR
MCQUARY RESIDENCE
1327 E. 27TH PLACE
TULSA, OKLAHOMA 74114

JOB NO.:
721-10-01
DATE:
7-27-21
SUBMITTAL:
FOR PERMIT/ BIDDING
PERIODICAL

SHEET NO.

A9

6.22



0 Feet 250 500



Subject Tract

BOA-23179

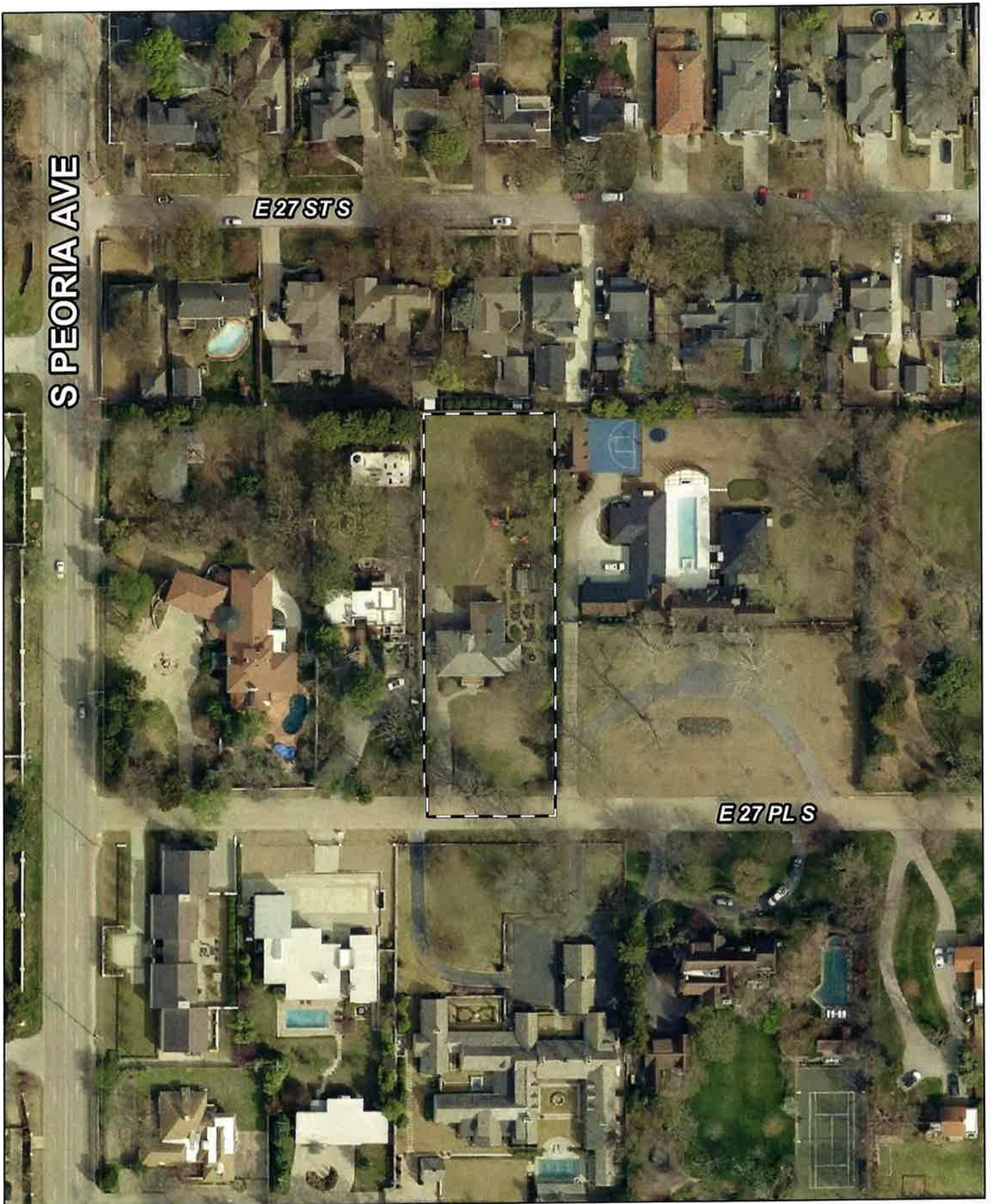
19-13 18

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



6.23



S PEORIA AVE

E 27 ST S

E 27 PL S

0 Feet 50 100



Subject Tract

BOA-23179

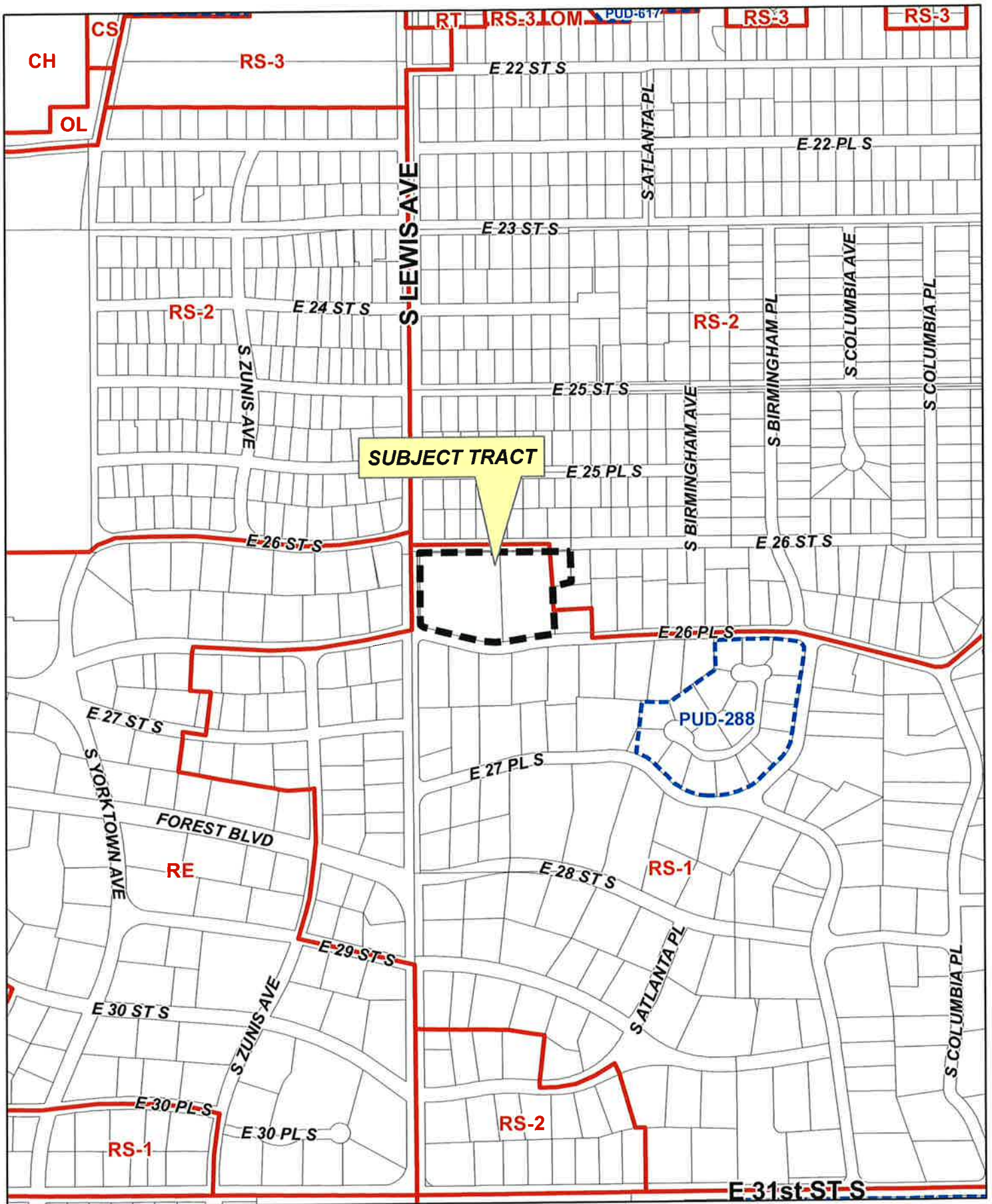
19-13 18

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



6.24



BOA-23180

19-13 17

7.1



BOARD OF ADJUSTMENT CASE REPORT

STR: 9317

Case Number: **BOA-23180**

CZM: 37

CD: 4

HEARING DATE: 09/14/2021 1:00 PM

APPLICANT: Tony Jordan

ACTION REQUESTED: Special Exception to allow a fence to exceed 4' in height in a front street setback (Sec. 45.080-A)

LOCATION: 2407 and 2405 E 26 PL S

ZONED: RS-1/RS-2

PRESENT USE: Residential

TRACT SIZE: 78425.75 SQ FT

LEGAL DESCRIPTION: PRT LTS 7 & 8 BEG 54.66W & 5S NWC LT 7 TH E280.72 S126.81 SW78.21 W78.21 S200 TO PT ON SL LT 7 CRVLF 26.65 SW125 TO SWC LT 7 CRVRT 41.15 NLY367.75 POB BLK 1 and PRT LT 8 54.66W 5S NEC LT 8 TH S367.75 CRV RT110.88 NW218.60 CRV RT32.84 N277.91 E333.33 TO POB BLK 1 , WOODY-CREST SUB, City of Tulsa, Tulsa County, State of Oklahoma

RELEVANT PREVIOUS ACTIONS: None.

RELATIONSHIP TO THE COMPREHENSIVE PLAN: The Tulsa Comprehensive Plan identifies the subject property as part of an "Existing Neighborhood" and an "Area of Stability".

An **Existing Neighborhood** is intended to preserve and enhance Tulsa's existing single-family neighborhoods. Development activities in these areas should be limited to the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects, as permitted through clear and objective setback, height, and other development standards of the zoning code.

The **Areas of Stability** include approximately 75% of the city's total parcels. Existing residential neighborhoods, where change is expected to be minimal, make up a large proportion of the Areas of Stability. The ideal for the Areas of Stability is to identify and maintain the valued character of an area while accommodating the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects. The concept of stability and growth is specifically designed to enhance the unique qualities of older neighborhoods that are looking for new ways to preserve their character and quality of life. The concept of stability and growth is specifically designed to enhance the unique qualities of older neighborhoods that are looking for new ways to preserve their character and quality of life.

ANALYSIS OF SURROUNDING AREA: The subject tract is located in between E. 26th St. S. and E. 26th St. Pl. along S. Lewis Ave. The subject property has frontage on both E. 26th St. S., E. 26th St. Pl., and S. Lewis Ave.

STAFF COMMENTS: The applicant is requesting a **Special Exception** to allow fence to exceed 4-feet height inside the street setback (Sec. 45.080-A)

7.2

45.080-A Fences and walls within required building setbacks may not exceed 8 feet in height, except that in required street setbacks fences and walls may not exceed 4 feet in height. However, in R zoned districts, fences up to 8 feet in height are permitted in side street setbacks of detached houses or duplexes located on corner lots and in street setbacks abutting the rear lot line of houses or duplexes located on double frontage lots. The board of adjustment is authorized to modify these fence and wall regulations in accordance with the special exception procedures of Section 70.120.

SAMPLE MOTION:

Move to _____ (approve/deny) a **Special Exception** to allow fence to exceed 4-feet height inside the street setback (Sec. 45.080-A)

- Per the Conceptual Plan(s) shown on page(s) _____ of the agenda packet.
- Subject to the following conditions (including time limitation, if any):

The Board finds that the requested Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.



Subject property

Jeff S. Taylor
Zoning Official
Plans Examiner III
TEL(918) 596-7637
jstaylor@cityoftulsa.org



DEVELOPMENT SERVICES

175 EAST 2nd STREET, SUITE 450
TULSA, OKLAHOMA 74103

ZONING CLEARANCE PLAN REVIEW

Tony Jordan
tonyjordanhomes@gmail.com

6/24/2021

APPLICATION NO: ZON LOD 76105

(PLEASE REFERENCE THIS NUMBER WHEN CONTACTING OUR OFFICE)

Project Location: 2407 E 26th PL

Description: Fence

INFORMATION ABOUT SUBMITTING REVISIONS

OUR REVIEW HAS IDENTIFIED THE FOLLOWING CODE OMISSIONS OR DEFICIENCIES IN THE PROJECT APPLICATION FORMS, DRAWINGS, AND/OR SPECIFICATIONS. THE DOCUMENTS SHALL BE REVISED TO COMPLY WITH THE REFERENCED CODE SECTIONS.

REVISIONS NEED TO INCLUDE THE FOLLOWING:

1. A COPY OF THIS DEFICIENCY LETTER
2. A WRITTEN RESPONSE AS TO HOW EACH REVIEW COMMENT HAS BEEN RESOLVED
3. THE COMPLETED REVISED/ADDITIONAL PLANS FORM (SEE ATTACHED)
4. BOARD OF ADJUSTMENT APPROVAL DOCUMENTS, IF RELEVANT

REVISIONS SHALL BE SUBMITTED DIRECTLY TO THE CITY OF TULSA PERMIT CENTER LOCATED AT 175 EAST 2nd STREET, SUITE 450, TULSA, OKLAHOMA 74103, PHONE (918) 596-9601. THE CITY OF TULSA WILL ASSESS A RESUBMITTAL FEE. DO NOT SUBMIT REVISIONS TO THE PLANS EXAMINERS.

SUBMITTALS FAXED / EMAILED TO PLANS EXAMINERS WILL NOT BE ACCEPTED.

IMPORTANT INFORMATION

1. SUBMIT TWO (2) SETS [4 SETS IF HEALTH DEPARTMENT REVIEW IS REQUIRED] OF REVISED OR ADDITIONAL PLANS. REVISIONS SHALL BE IDENTIFIED WITH CLOUDS AND REVISION MARKS.
2. INFORMATION ABOUT ZONING CODE, INDIAN NATION COUNCIL OF GOVERNMENT (INCOG), BOARD OF ADJUSTMENT (BOA), AND TULSA METROPOLITAN AREA PLANNING COMMISSION (TMAPC) IS AVAILABLE ONLINE AT WWW.INCOG.ORG OR AT INCOG OFFICES AT 2 W. 2nd ST., 8th FLOOR, TULSA, OK, 74103, PHONE (918) 584-7526.
3. A COPY OF A "RECORD SEARCH" ☐ IS ☒ IS NOT INCLUDED WITH THIS LETTER. PLEASE PRESENT THE "RECORD SEARCH" ALONG WITH THIS LETTER TO INCOG STAFF AT TIME OF APPLYING FOR BOARD OF ADJUSTMENT ACTION AT INCOG. UPON APPROVAL BY THE BOARD OF ADJUSTMENT, INCOG STAFF WILL PROVIDE THE APPROVAL DOCUMENTS TO YOU FOR IMMEDIATE SUBMITTAL TO OUR OFFICE. (See revisions submittal procedure above.).

(continued)

REVIEW COMMENTS

SECTIONS REFERENCED BELOW ARE FROM THE CITY OF TULSA ZONING CODE TITLE 42 AND CAN BE VIEWED AT <http://tulsaplanning.org/plans/TulsaZoningCode.pdf>

Note: As provided for in Section 70.130 you may request the Board of Adjustment to grant a variance from the terms of the Zoning Code requirements identified in the letter of deficiency below. Please direct all questions concerning variances, special exceptions, appeals of an administrative official decision, Master Plan Developments Districts (MPD), Planned Unit Developments (PUD), Corridor (CO) zoned districts, zoning changes, platting, lot splits, lot combinations, alternative compliance landscape and screening plans and all questions regarding (BOA) or (TMAPC) application forms and fees to an INCOG representative at 584-7526. It is your responsibility to submit to our offices documentation of any appeal decisions by an authorized decision making body affecting the status of your application so we may continue to process your application. INCOG does not act as your legal or responsible agent in submitting documents to the City of Tulsa on your behalf.

Staff review comments may sometimes identify compliance methods as provided in the Tulsa Zoning Code. The permit applicant is responsible for exploring all or any options available to address the noncompliance and submit the selected compliance option for review. Staff review makes neither representation nor recommendation as to any optimal method of code solution for the project.

1. **Site plan:** Your application did not include a complete site plan. The zoning clearance review for your permit application will resume after a complete site plan is submitted. Please note that additional deficiencies may be found and will need to be resolved prior to approval of your application. The site plan must show:

- Distances from all property lines to the proposed building or structures, and the distance from the proposed work to the centerline of the street;
- Identify any easements and public rights of way;

Revise and resubmit your site plan containing the information listed and resubmit the changes as a revision.

2. **45.080-A** Fences and walls within required building setbacks may not exceed 8 feet in height, except that in required street setbacks (front setback) fences and walls may not exceed 4 feet in height. However' in R zoned districts, fences up to 8 feet in height are permitted in side street setbacks of detached houses or duplexes located on corner lots and in street setbacks abutting the rear lot line of houses and duplexes located on double frontage lots. The board of adjustment is authorized to modify these fence and wall regulations in accordance with the special exception procedures of Section 70.120.

Review Comments- Provide documentation indicating the proposed fence located in the front street setback will not exceed 4' in height measured from grade or apply to BOA for a special exception to allow a fence to exceed 4' in height in a front street setback.

This letter of deficiencies covers Zoning plan review items only. You may receive additional letters from other disciplines such as Building or Water/Sewer/Drainage for items not addressed in this letter. A hard copy of this letter is available upon request by the applicant.

Please Notify Plans Examiner By Email When You Have Submitted A Revision. If you originally submit paper plans, revisions must be submitted as paper plans. If you submit online, revisions must be submitted online

END –ZONING CODE REVIEW

NOTE: THIS CONSTITUTES A PLAN REVIEW TO DATE IN RESPONSE TO THE SUBMITTED INFORMATION ASSOCIATED WITH THE ABOVE REFERENCED APPLICATION. ADDITIONAL ISSUES MAY DEVELOP WHEN THE REVIEW CONTINUES UPON RECEIPT OF ADDITIONAL INFORMATION REQUESTED IN THIS LETTER OR UPON ADDITIONAL SUBMITTAL FROM THE APPLICANT.

KEEP OUR OFFICE ADVISED OF ANY ACTION BY THE CITY OF TULSA BOARD OF ADJUSTMENT OR TULSA METROPOLITAN AREA PLANNING COMMISSION AFFECTING THE STATUS OF YOUR APPLICATION FOR A ZONING CLEARANCE PERMIT.

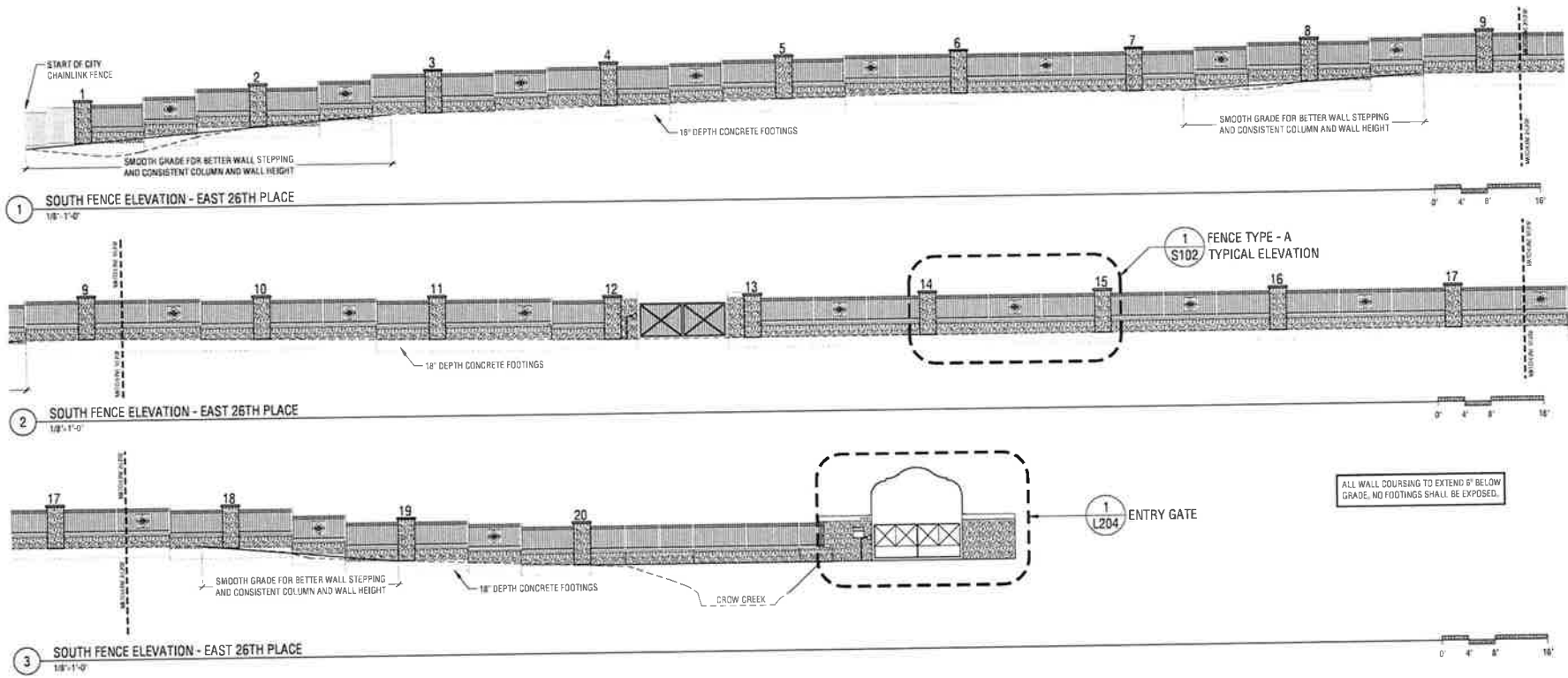
Chris and Keil Cadieux

2407 L. 20th Place
Tulsa, OK 74114



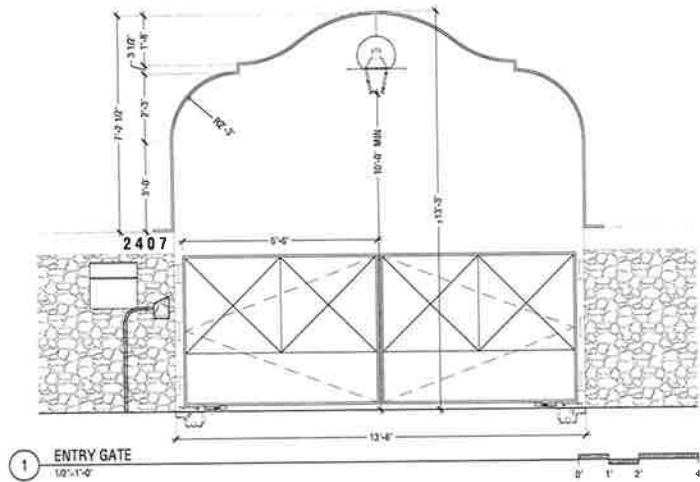
DATE: March 15 2021
REVIEW DRAWINGS
DRAWN BY: HGV CFC CFB S BY: HGV
CIT 1 NAME:
FENCE PROFILES
CIT 1 NUMBER:

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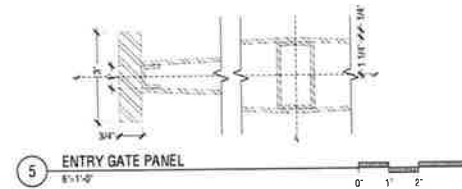
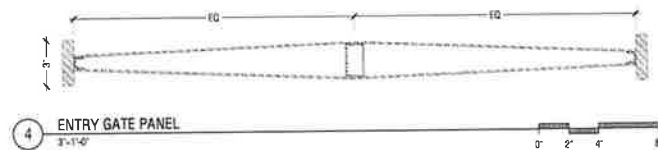
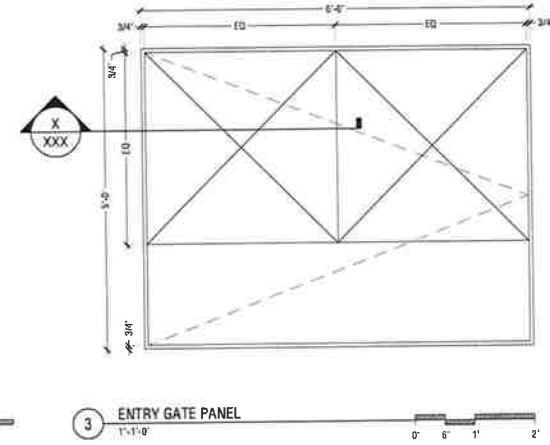


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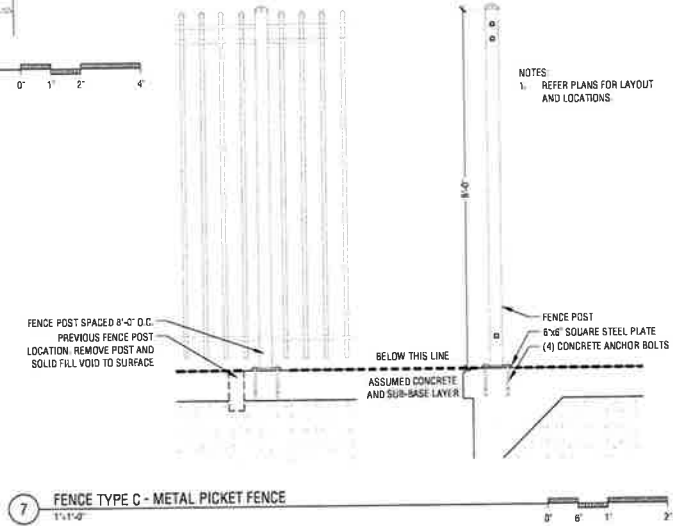
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INTENTIONALLY
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NOTE: GALVANIZED METAL MESH TO BE INCLUDED FOR GROWING VINES AND CLIMBING ROSES



Landscape Architects
howell & vancuren

1700 West 10th St. Oklahoma City, Oklahoma 73106
405.247.1711 | howellvancuren.com

OWNER
Walter Engineering
1000 N. Lincoln Ave.
1000 N. Lincoln Ave.
Tulsa, Oklahoma 74103

Chris and Kell Cadieux
CADIEUX RESIDENCE
2407 E. 26th Place
Tulsa, OK 74114

DESIGN/REVISION



DATE: 03/15/21
March 15, 2021

REVIEW DRAWINGS

DRAWN BY: HAV CHECKED BY: HAV
DATE: 03/15/21

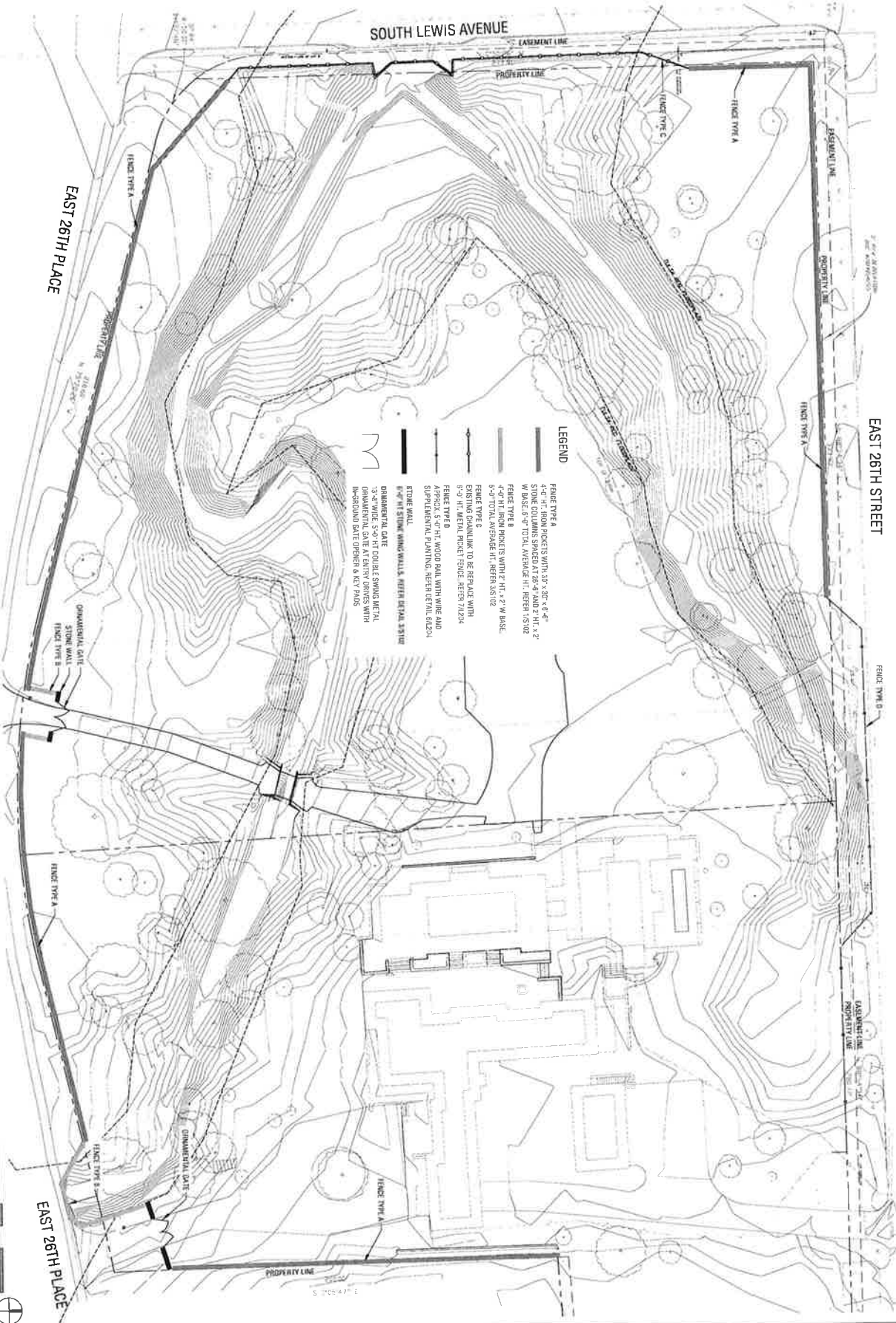
DETAILS

DATE: 03/15/21

L 2.04

11.2

1 PRELIMINARY FENCE LAYOUT
11-20-09



L 2.01

PRELIMINARY FENCE
DIAGRAM

DATE: 11/2/09

REVIEW: [Signature]

DATE: 11/2/09

DATE: 11/2/09

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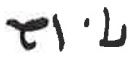
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DATE: 11/2/09

Chris and Keil Cadieux
CADIEUX RESIDENCE
2407 E. 26th Place
Tulsa, OK 74114

howell & hancuren
ARCHITECTS
2407 E. 26th Place
Tulsa, OK 74114
Phone: (918) 438-1111
Fax: (918) 438-1112
www.howellhancuren.com

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DEMOLITION NOTES

1. CONTRACTOR TO ASCERTAIN LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION AND BE RESPONSIBLE FOR DAMAGE TO UTILITIES RESULTING FROM DEMOLITION OPERATIONS. REPAIRS SHALL BE MADE AT NO COST TO THE OWNER.
2. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN ON THE SURVEY, CONTACT THE LOCAL UTILITY LOCATION SERVICES PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.
3. ALL SITE ELEMENTS AND TREES NOT NOTED TO BE REMOVED, ARE TO BE PROTECTED DURING DEMOLITION WORK.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ALL STRUCTURES, LANDSCAPING, PAVING AND OTHER ITEMS LOCATED WITHIN AND OUTSIDE WORK AREA. ANY DAMAGE TO PERMANENT ITEMS INCURRED BY THE CONTRACTOR THROUGH HIS WORK IN THIS CONTRACT SHALL BE REPAIRED TO ORIGINAL CONDITION BY THE CONTRACTOR AT HIS OWN EXPENSE. THIS INCLUDES BUT IS NOT LIMITED TO TOPDRESSING, OR FILLING WITH TOPSOIL AND RE-SODDING, AREAS DAMAGED BY DRIVING VEHICLES AND CONSTRUCTION EQUIPMENT ON LAWN AREAS.
5. CONTRACTOR TO MARK ALL TREES TO BE REMOVED AND REVIEW WITH THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO COMMENCING TREE REMOVAL OPERATIONS. ALL TREES TO REMAIN SHALL BE PROTECTED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION PERMITS, PERMIT FEES, LICENSES, LICENSE FEES, DUMP FEES, ETC.
7. ANY CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
8. CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
9. ALL REMOVED ITEMS NOT DESIGNATED FOR SALVAGE SHALL BECOME THE PROPERTY OF THE CONTRACTOR FOR PROPER DISPOSAL, UNLESS OTHERWISE NOTED.
10. CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF-SITE.
11. WITH PRIOR APPROVAL, CONTRACTOR MAY ESTABLISH AN ON-SITE STAGING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING STAGING AREA TO ITS ORIGINAL CONDITION. SECURITY OF STAGING AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
12. ON-SITE VEGETATION SHALL BE PROTECTED AS NOTED. WHERE THE CONTRACTOR DOES NOT PROTECT VEGETATION IN DESIGNATED PROTECTION AREAS AS NOTED, CONTRACTOR SHALL RESTORE VEGETATION TO EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER, TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.
13. GRIND STUMPS ON REMOVED TREES TO A MINIMUM DEPTH OF 6" BELOW FINISHED GRADE.
14. PROTECT VEGETATION FROM COMPACTION OF SOIL IN THE ROOT ZONE. CONTRACTOR SHALL PROVIDE CONSTRUCTION FENCING TO KEEP ALL CONSTRUCTION ACTIVITIES AND VEHICLE PARKING AWAY FROM AREAS DESIGNATED TO REMAIN UNDISTURBED.
15. CONSTRUCTION FENCING IS REQUIRED. CONTRACTOR IS RESPONSIBLE FOR DETERMINING LOCATION AND QUANTITY OF FENCE AND GATES, PROVIDE EMERGENCY ACCESS.
16. UTILITY OUTAGES WILL NOT BE PERMITTED WITHOUT PRIOR WRITTEN CONSENT FROM OWNER AND/OR ARCHITECT.
17. BY SUBMITTING A BID, THE CONTRACTOR ACKNOWLEDGES HAVING VISITED THE SITE AND BECOME FAMILIAR WITH THE CONDITIONS RELATED TO THE DEMOLITION OF EXISTING SITE IMPROVEMENTS.

TREE PROTECTION NOTES

1. ALL TREES AND NATURAL AREAS SHOWN ON THIS PLAN TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION. TEMPORARY FENCING TO BE INSTALLED AS SHOWN.
2. PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
3. EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIPLINES.
4. PROTECTIVE FENCES SHALL SURROUND THE TREES OR GROUP OF TREES, AND WILL BE LOCATED AT THE DRIPLINE. FOR NATURAL AREAS, PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE, IN ORDER TO PREVENT THE FOLLOWING:
 - A. SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT.
 - B. ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6") OR TRENCHING NOT REVIEWED BY OWNER'S REPRESENTATIVE.
 - C. WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT.
 - D. OTHER ACTIVITIES OF THREATENAL TO TREES SUCH AS CHEMICAL STORAGE, CONCRETE TRUCK CLEANING, AND TIRES.
5. EXCEPTIONS TO INSTALLING FENCES AT TREE DRIPLINES MAY BE PERMITTED IN THE FOLLOWING CASES:
 - A. WHERE THERE IS TO BE AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE, TREE WELL, OR OTHER SUCH SITE IMPROVEMENT.
 - B. WHERE PERMEABLE PAVING IS TO BE INSTALLED WITHIN A TREE'S DRIPLINE, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA (PRIOR TO SITE GRADING SO THAT THIS AREA IS GRADED SEPARATELY PRIOR TO PAVING INSTALLATION TO MINIMIZE ROOT DAMAGE).
 - C. WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE TO ALLOW 6 TO 10 FEET OF WORKSPACE BETWEEN THE FENCE AND THE BUILDING.
 - D. WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS.
6. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.
7. TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.
8. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOPSOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
9. ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
10. NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIPLINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE.
11. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC, AND EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS.
12. ALL FINISHED PRUNING MUST BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY. (REFERENCE THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES)

LAYOUT NOTES

1. CONTRACTOR TO ASCERTAIN LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION AND BE RESPONSIBLE FOR DAMAGE TO UTILITIES RESULTING FROM CONSTRUCTION OPERATIONS. REPAIRS SHALL BE MADE AT NO COST TO THE OWNER.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ALL STRUCTURES, LANDSCAPING, PAVING AND OTHER ITEMS LOCATED WITHIN AND OUTSIDE WORK AREA. ANY DAMAGE TO PERMANENT ITEMS INCURRED BY THE CONTRACTOR THROUGH HIS WORK IN THIS CONTRACT SHALL BE REPAIRED TO ORIGINAL CONDITION BY THE CONTRACTOR AT HIS OWN EXPENSE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION PERMITS, PERMIT FEES, LICENSES, LICENSE FEES, ETC.
4. ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF TULSA, STATE OF OKLAHOMA, AND NATIONAL CODES AND ORDINANCES.
5. NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE LANDSCAPE ARCHITECT OR ENGINEER FOR INTERPRETATION.
6. DIMENSIONS ARE PROVIDED FOR GENERAL LAYOUT. SIDEWALK LOCATION TO BE STAKED ALONG THE CENTERLINE FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION. SIDEWALK FORMWORK SHALL PROVIDE SMOOTH AND UNBROKEN CURVES IN HORIZONTAL AND VERTICAL ALIGNMENTS.
7. IF PAVEMENT JOINTS ARE NOT INDICATED ON THE PLAN, CONTRACTOR SHALL PROVIDE A SUBMITTAL FOR JOINT LAYOUT FOR APPROVAL BY LANDSCAPE ARCHITECT OR ENGINEER.
8. PROVIDE EXPANSION JOINTS IN CONCRETE SIDEWALK AT A MAXIMUM SPACING NOT EXCEEDING 50'. MAXIMUM SPACING BETWEEN EXPANSION JOINTS IN CONCRETE CURB AND GUTTER SHALL BE 150' OR AS DICTATED BY LOCAL GUIDELINES.

Landscape Architects

howell & vancuren

170 South 46th E., Suite 200 Tulsa, Oklahoma 74106
918.582.7043 | hvc@hvcarch.com

2020 LSAs
Landscape Architecture
Landscape Architecture
Landscape Architecture
Landscape Architecture
Landscape Architecture

Chris and Kell Cadieux

CADIEUX RESIDENCE

2407 E. 26th Place
Tulsa, OK 74114

NAUTYVORSE

PROFESSIONAL SEAL



SEAL DATE

March 15, 2021

REVIEW DRAWINGS

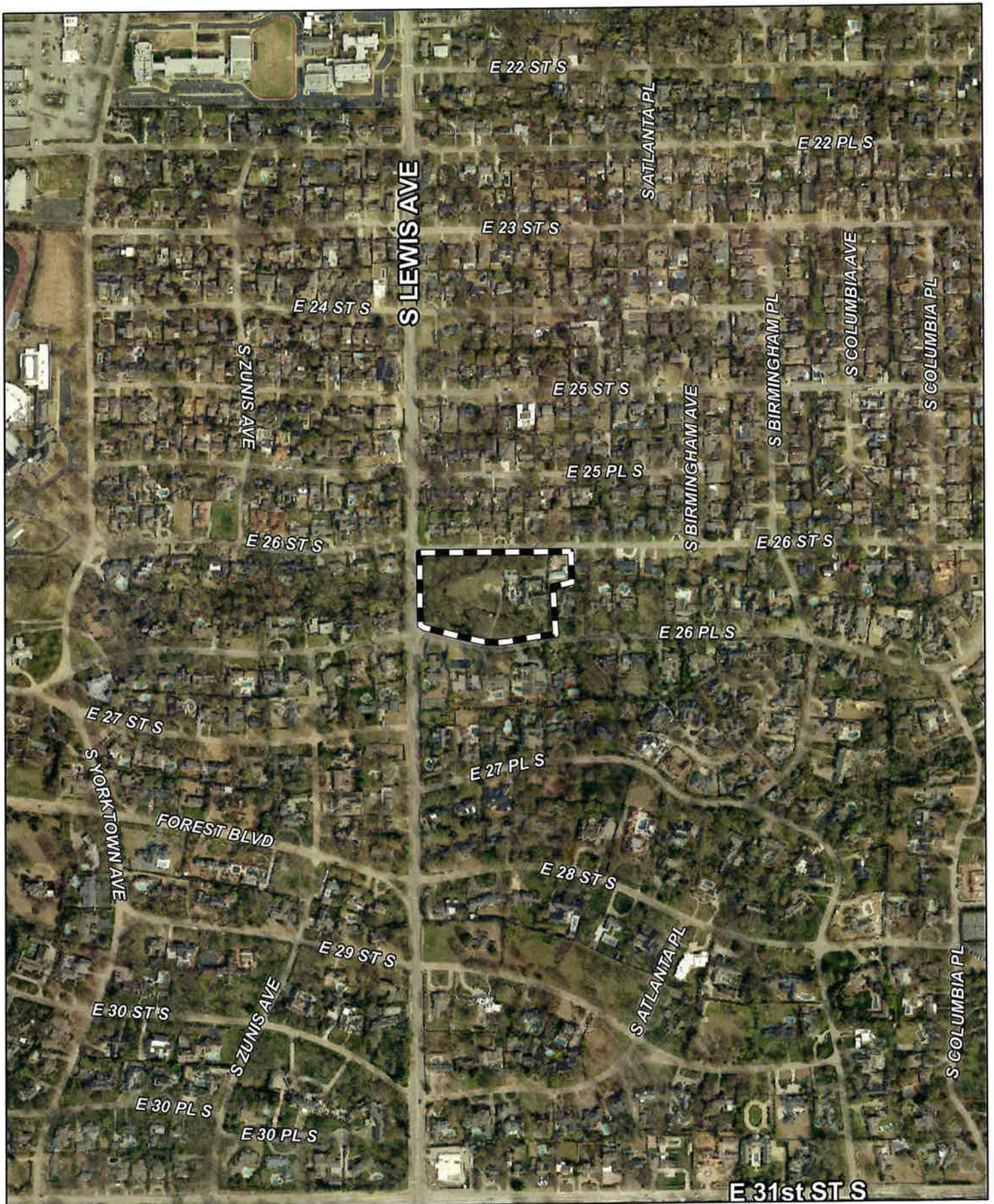
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Subject Tract

BOA-23180

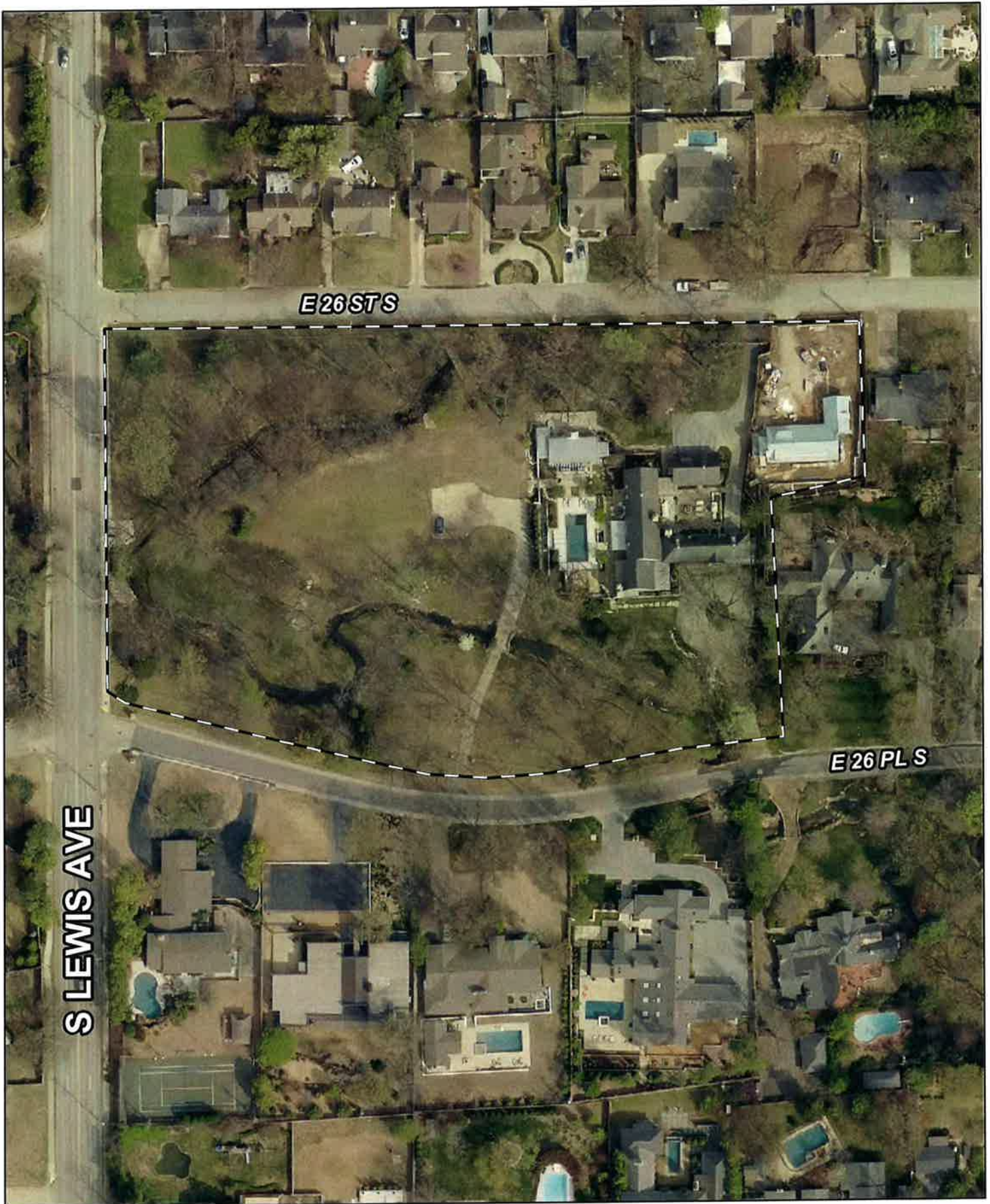
19-13 17

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



7.16



E 26 ST S

E 26 PL S

S LEWIS AVE

0 Feet 50 100



Subject Tract

BOA-23180

19-13 17

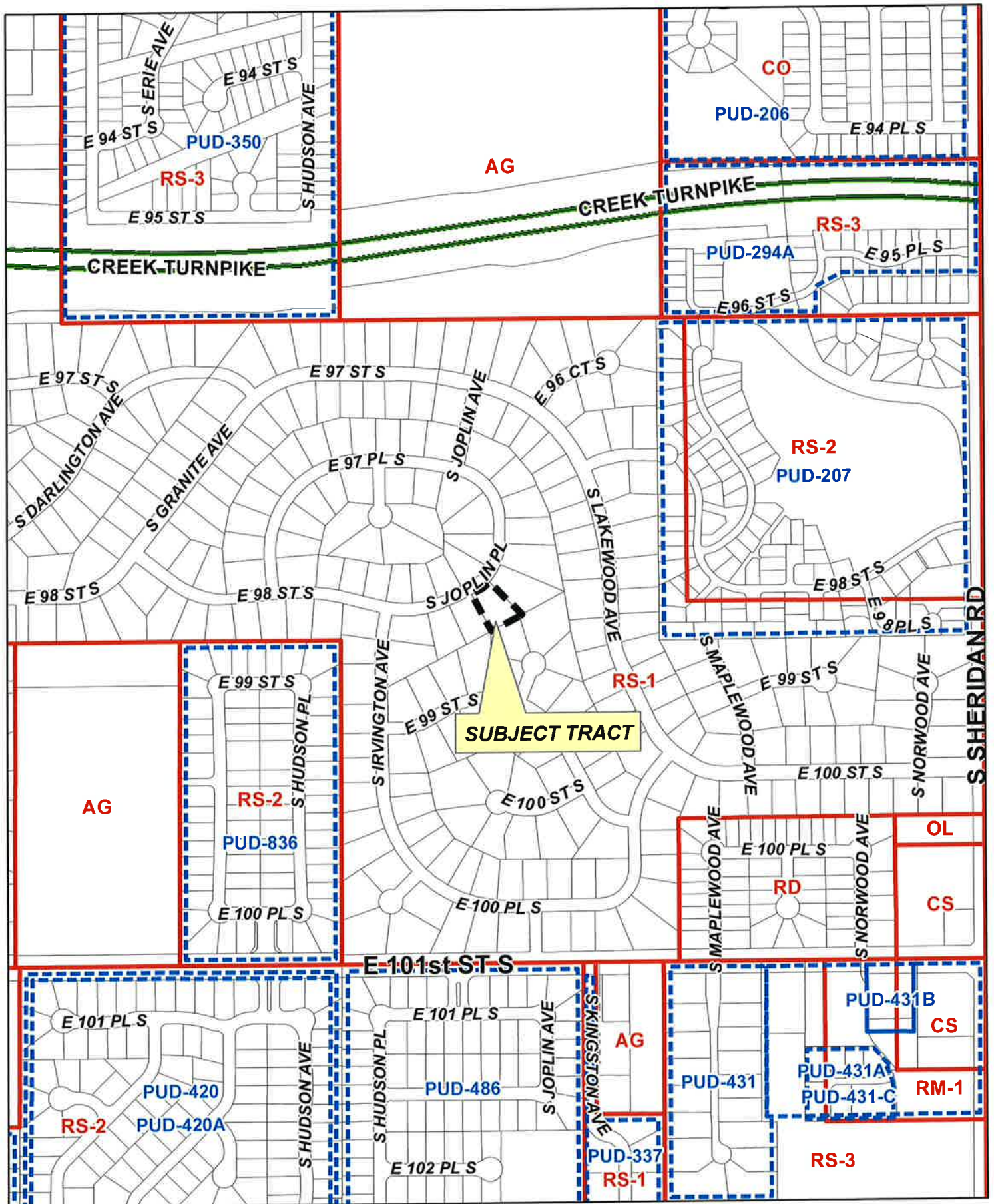
Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



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BOA-23181

18-13 22

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BOARD OF ADJUSTMENT CASE REPORT

STR: 8322

CZM: 57

CD: 8

Case Number: **BOA-23181**

HEARING DATE: 09/14/2021 1:00 PM

APPLICANT: Brad Davis

ACTION REQUESTED: Special Exception to increase the permitted driveway width in a Residential District (Section 55.090-F.3)

LOCATION: 5834 E 98 ST S

ZONED: RS-1

PRESENT USE: Residential

TRACT SIZE: 18865.91 SQ FT

LEGAL DESCRIPTION: LT 7 BLK 1, SUN MEADOW II

RELEVANT PREVIOUS ACTIONS: None.

RELATIONSHIP TO THE COMPREHENSIVE PLAN: The Tulsa Comprehensive Plan identifies the subject property as part of an "Existing Neighborhood" and an "Area of Stability".

An **Existing Neighborhood** is intended to preserve and enhance Tulsa's existing single-family neighborhoods. Development activities in these areas should be limited to the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects, as permitted through clear and objective setback, height, and other development standards of the zoning code.

The **Areas of Stability** include approximately 75% of the city's total parcels. Existing residential neighborhoods, where change is expected to be minimal, make up a large proportion of the Areas of Stability. The ideal for the Areas of Stability is to identify and maintain the valued character of an area while accommodating the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects. The concept of stability and growth is specifically designed to enhance the unique qualities of older neighborhoods that are looking for new ways to preserve their character and quality of life. The concept of stability and growth is specifically designed to enhance the unique qualities of older neighborhoods that are looking for new ways to preserve their character and quality of life.

ANALYSIS OF SURROUNDING AREA: The subject tract is located East of the SE/c of E. 98th Street S. (also identified as S. Joplin Pl.) and S. Irvington Ave.

STAFF COMMENTS: The applicant is requesting Special Exception to increase the permitted driveway width in a Residential District (Section 55.090-F.3)

3. In RE and RS zoning districts, driveways serving residential dwelling units may not exceed 50% of the lot frontage or the following maximum widths, whichever is less, unless a greater width is approved in accordance with the special exception procedures of [Section 70.120](#), or, if in a PUD, in accordance with the amendment procedures of [Section 30.010-1.2](#). (Refer to the City of Tulsa Standard Specifications and Details for Residential Driveways #701-704).

Maximum Driveway Width

Lot Frontage	75'+	60' - 74'	46' - 59'	30' - 45'	Less than 30' [2]
Driveway Within Right-of-Way (feet) [1]	27'	26'	22'	20'	12'
Driveway Within Street Setback (feet)	30'	30'	--	--	--

The applicant is seeking a driveway that would be 33' wide both on the lot and inside the right-of-way.

SAMPLE MOTION: Move to _____ (approve/deny) a Special Exception to increase the permitted driveway width in a Residential District (Section 55.090-F.3)

- Per the Conceptual Plan(s) shown on page(s) _____ of the agenda packet.
- Subject to the following conditions (including time limitation, if any):

- *Suggested Condition: Applicant to obtain permit for construction in the right-of-way.*

The Board finds that the requested Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.



Subject property and location of proposed driveway addition



Existing Driveway on property to remain



Subject property

Jeff S. Taylor
Zoning Official
Plans Examiner III
TEL (918) 596-7637
jstaylor@cityoftulsa.org



DEVELOPMENT SERVICES
175 EAST 2nd STREET, SUITE 450
TULSA, OKLAHOMA 74103

ZONING CLEARANCE PLAN REVIEW

Brad Davis
bdavis@ridgelineok.com

8/10/2021

APPLICATION NO: ZCO 2304 (PLEASE
REFERENCE THIS NUMBER WHEN CONTACTING OUR OFFICE)
Project Location: 5834 E 98th St S
Description: Driveway Expansion

INFORMATION ABOUT SUBMITTING REVISIONS

OUR REVIEW HAS IDENTIFIED THE FOLLOWING CODE OMISSIONS OR DEFICIENCIES IN THE PROJECT APPLICATION FORMS, DRAWINGS, AND/OR SPECIFICATIONS. THE DOCUMENTS SHALL BE REVISED TO COMPLY WITH THE REFERENCED CODE SECTIONS.

REVISIONS NEED TO INCLUDE THE FOLLOWING:

1. A COPY OF THIS DEFICIENCY LETTER
2. A WRITTEN RESPONSE AS TO HOW EACH REVIEW COMMENT HAS BEEN RESOLVED
3. THE COMPLETED REVISED/ADDITIONAL PLANS FORM (SEE ATTACHED)
4. BOARD OF ADJUSTMENT APPROVAL DOCUMENTS, IF RELEVANT

REVISIONS SHALL BE SUBMITTED DIRECTLY TO THE CITY OF TULSA PERMIT CENTER LOCATED AT 175 EAST 2nd STREET, SUITE 450, TULSA, OKLAHOMA 74103, PHONE (918) 596-9601. THE CITY OF TULSA WILL ASSESS A RESUBMITTAL FEE. DO NOT SUBMIT REVISIONS TO THE PLANS EXAMINERS.

SUBMITTALS FAXED / EMAILED TO PLANS EXAMINERS WILL NOT BE ACCEPTED.

IMPORTANT INFORMATION

1. SUBMIT TWO (2) SETS [4 SETS IF HEALTH DEPARTMENT REVIEW IS REQUIRED] OF REVISED OR ADDITIONAL PLANS. REVISIONS SHALL BE IDENTIFIED WITH CLOUDS AND REVISION MARKS.
2. INFORMATION ABOUT ZONING CODE, INDIAN NATION COUNCIL OF GOVERNMENT (INCOG), BOARD OF ADJUSTMENT (BOA), AND TULSA METROPOLITAN AREA PLANNING COMMISSION (TMAPC) IS AVAILABLE ONLINE AT WWW.INCOG.ORG OR AT INCOG OFFICES AT 2 W. 2nd ST., 8th FLOOR, TULSA, OK, 74103, PHONE (918) 584-7526.
3. A COPY OF A "RECORD SEARCH" ☐ IS ☒ IS NOT INCLUDED WITH THIS LETTER. PLEASE PRESENT THE "RECORD SEARCH" ALONG WITH THIS LETTER TO INCOG STAFF AT TIME OF APPLYING FOR BOARD OF ADJUSTMENT ACTION AT INCOG. UPON APPROVAL BY THE BOARD OF ADJUSTMENT, INCOG STAFF WILL PROVIDE THE APPROVAL DOCUMENTS TO YOU FOR IMMEDIATE SUBMITTAL TO OUR OFFICE. (See revisions submittal procedure above.).

(continued)

REVIEW COMMENTS

SECTIONS REFERENCED BELOW ARE FROM THE CITY OF TULSA ZONING CODE TITLE 42 AND CAN BE VIEWED AT <http://tulsaplanning.org/plans/TulsaZoningCode.pdf>

Note: As provided for in Section 70.130 you may request the Board of Adjustment to grant a variance from the terms of the Zoning Code requirements identified in the letter of deficiency below. Please direct all questions concerning variances, special exceptions, appeals of an administrative official decision, Master Plan Developments Districts (MPD), Planned Unit Developments (PUD), Corridor (CO) zoned districts, zoning changes, platting, lot splits, lot combinations, alternative compliance landscape and screening plans and all questions regarding (BOA) or (TMAPC) application forms and fees to an INCOG representative at 584-7526. It is your responsibility to submit to our offices documentation of any appeal decisions by an authorized decision making body affecting the status of your application so we may continue to process your application. INCOG does not act as your legal or responsible agent in submitting documents to the City of Tulsa on your behalf. Staff review comments may sometimes identify compliance methods as provided in the Tulsa Zoning Code. The permit applicant is responsible for exploring all or any options available to address the noncompliance and submit the selected compliance option for review. Staff review makes neither representation nor recommendation as to any optimal method of code solution for the project.

Maximum Driveway Width

Lot Frontage	75'+	60' - 74'	46' - 59'	30' - 45'	Less than 30' [2]
Driveway Within Right-of-Way (feet) [1]	27'	26'	22'	20'	12'
Driveway Within Street Setback (feet)	30'	30'	--	--	--

[1] Maximum width applies to the composite of all driveways if multiple curb cuts are provided.

55.090-F3 Surfacing. In RE and RS zoning districts, driveways serving residential dwelling units may not exceed the following maximum widths unless a greater width is approved in accordance with the special exception procedures of Section 70.120. Maximum Driveway Width allowed in the Right Of Way (ROW) is 27' and 30' outside of ROW.

Review Comments: The submitted site plan proposes two driveways with a combined driveway width of more than 30' in width on the lot in the street setback and more than 27' combined width in the ROW which exceeds the maximum allowable driveway widths both within and outside of the ROW. Revise plans to indicate the combined driveway widths shall not exceed the maximum allowable widths or apply to the BOA for a special exception, one for the proposed combined driveway widths within the ROW and also for the proposed combined driveway widths outside of the ROW.

This letter of deficiencies covers Zoning plan review items only. You may receive additional letters from other disciplines such as Building or Water/Sewer/Drainage for items not addressed in this letter. A hard copy of this letter is available upon request by the applicant.

Please Notify Plans Examiner By Email When You Have Submitted A Revision. If you originally submit paper plans, revisions must be submitted as paper plans. If you submit online, revisions must be submitted online



0 Feet 250 500



Subject Tract

BOA-23181

18-13 22

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



8.9



0 Feet 50 100



Subject
Tract

BOA-23181

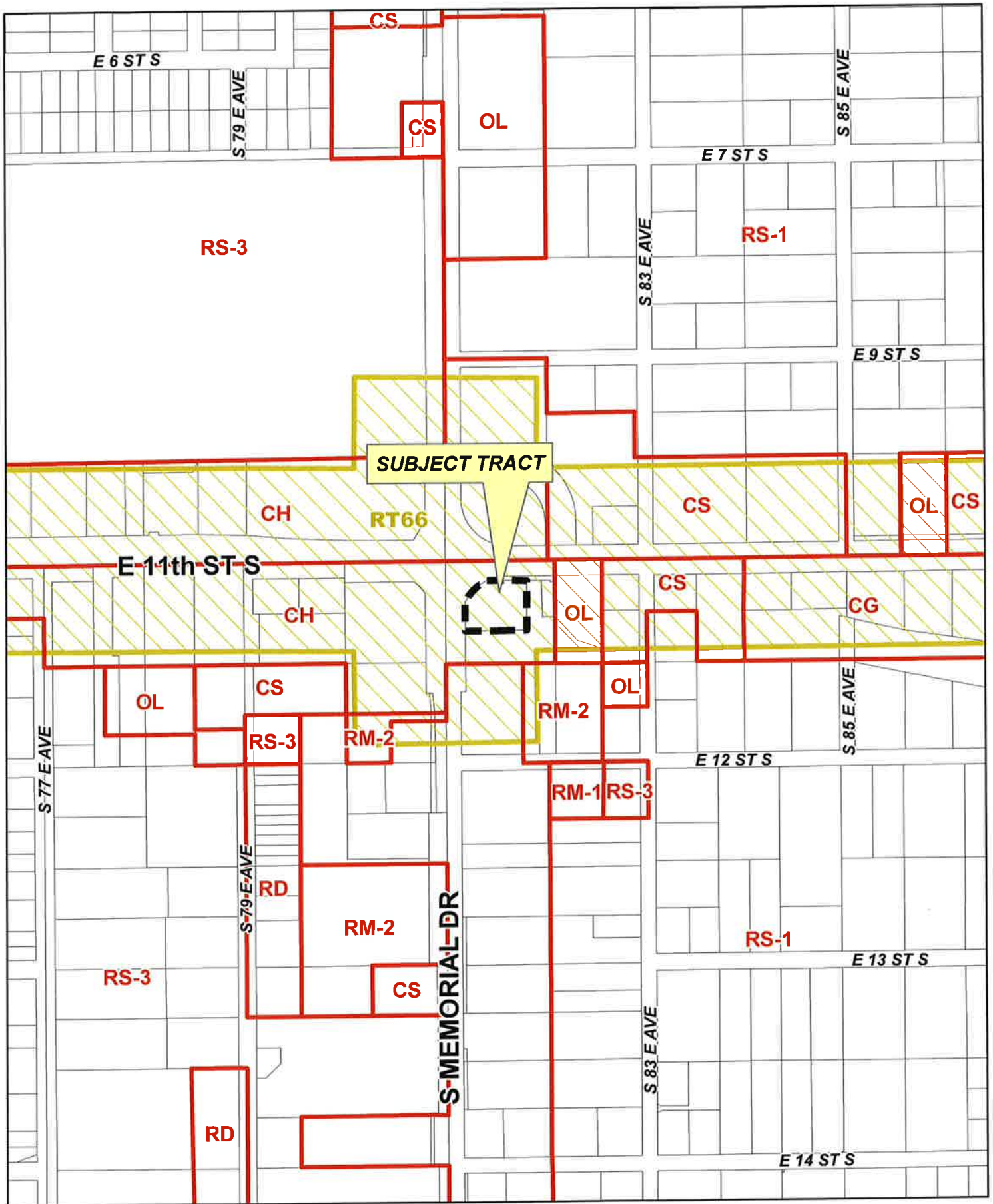
18-13 22

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



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BOA-23182

19-13 12

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BOARD OF ADJUSTMENT CASE REPORT

STR: 9312

Case Number: **BOA-23182**

CZM: 38

CD: 5

HEARING DATE: 09/14/2021 1:00 PM

APPLICANT: Dawn Bennyhoff and Shaun Steen c/o Jack in the Box

ACTION REQUESTED: Variance to allow a drive-through facilities to be located on the street-facing side of the property (Section 55.100-C. 2) Variance to allow drive-through signs that exceed the maximum area of 36 square feet for the primary signs and 15 square feet for the secondary signs and to allow two secondary drive-through signs (Sec. 60.030-B.2)

LOCATION: 8102 E 11 ST S

ZONED: CH

PRESENT USE: Commercial

TRACT SIZE: 29146.12 SQ FT

LEGAL DESCRIPTION: PRT LTS 7 & 8 BEG 109.80N & 15E SWC LT 8 TH E200 N163 TO SL RD R/W W125.82 SWLY ON CRV TO PT S88.69 POB BLK 2, FOREST ACRES

RELEVANT PREVIOUS ACTIONS:

Subject Property: None.

Surrounding Properties:

BOA-14737; On 02.04.88 the board **approved** a variance to allow a roof sign. Property located 133-H South Memorial.

RELATIONSHIP TO THE COMPREHENSIVE PLAN: The Tulsa Comprehensive Plan identifies the subject property as part of a "Town Center" and an "Area of Growth".

Town Centers are medium-scale, one to five story mixed-use areas intended to serve a larger area of neighborhoods than Neighborhood Centers, with retail, dining, and services and employment. They can include apartments, condominiums, and townhouses with small lot single family homes at the edges. A Town Center also may contain offices that employ nearby residents. Town centers also serve as the main transit hub for surrounding neighborhoods and can include plazas and squares for markets and events. These are pedestrian-oriented centers designed so visitors can park once and walk to number of destinations.

The purpose of **Areas of Growth** is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority. A major goal is to

9.2

increase economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

ANALYSIS OF SURROUNDING AREA: The subject tract is located at the SE/c of E. 11th St. S. and S. Memorial Dr.

STAFF COMMENTS: The applicant is requesting Variance to allow a drive-through facilities to be located on the street-facing side of the property (Section 55.100-C. 2) Variance to allow drive-through signs that exceed the maximum area of 36 square feet for the primary signs and 15 square feet for the secondary signs and to allow two secondary drive-through signs (Sec. 60.030-B.2)

60.030-B Drive-through Signs

Drive-through signs are permitted in conjunction with drive-through uses, in accordance with the following regulations.

1. Location

Drive-through signs must be located within 10 feet of a drive-through lane.

2. Number and Dimensions

One primary drive-through sign not to exceed 36 square feet in area or 8 feet in height is allowed per order station up to a maximum of 2 primary drive-through signs per lot. One secondary drive-through sign not to exceed 15 square feet in area or 6 feet in height is allowed per lot.

55.100-C Location and Design

1. Stacking lanes must be located on the subject property. They may not be located within required driveways or drive aisles, parking spaces or loading areas and may not interfere with access to parking and ingress and egress from the street.
2. All areas associated with drive-through facilities, including drive-through signs, stacking lanes, trash receptacles, loudspeakers and service windows must be located to the rear or on the non-street-facing side of the property. Drive-through lanes must be set back at least 10 feet from abutting R- or AG-R- zoned lots, and a screening wall or fence must be provided along the common lot line in accordance with the F1 screening fence or wall standards of §65.070-C.

STATEMENT OF HARDSHIP: We are requesting relief from the provision listed to be allowed to have the drive thru lane and window face 11th street. All other elements listed such as trash enclosure, speaker boards, etc comply with the ordinance. Please note, that if the building was to be sited per the ordinance, then it would force the parking lot driveway to be very close to the intersection of Memorial and 11th Street and could potentially cause traffic flow.

There is an additional exhibit addressing a hardship for the signage.

SAMPLE MOTION:

Move to _____ (approve/deny) a **Variance** to allow a drive-through facilities to be located on the street-facing side of the property (Section 55.100-C. 2) **Variance** to allow drive-through signs that exceed the maximum area of 36 square feet for the primary signs and 15 square feet for the secondary signs and to allow two secondary drive-through signs (Sec. 60.030-B.2)

- Finding the hardship(s) to be _____.
- Per the Conceptual Plan(s) shown on page(s) _____ of the agenda packet.
- Subject to the following conditions _____.

In granting the **Variance** the Board finds that the following facts, favorable to the property owner, have been established:

- a. That the physical surroundings, shape, or topographical conditions of the subject property would result in unnecessary hardships or practical difficulties for the property owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;*
- b. That literal enforcement of the subject zoning code provision is not necessary to achieve the provision's intended purpose;*
- c. That the conditions leading to the need of the requested variance are unique to the subject property and not applicable, generally, to other property within the same zoning classification;*
- d. That the alleged practical difficulty or unnecessary hardship was not created or self-imposed by the current property owner;*
- e. That the variance to be granted is the minimum variance that will afford relief;*
- f. That the variance to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property; and*
- g. That the variance to be granted will not cause substantial detriment to the public good or impair the purposes, spirit, and intent of this zoning code or the comprehensive plan."*

JACK IN THE BOX

August 10, 2021

Hardship letter

"Jack in the Box is excited to share that this new restaurant project, J6155 @ 8112 E 11th St, is the first test location in the company which incorporates this new building prototype and drive-thru design. As part of the sign package approval process, it has been determined that a variance is needed for Jack in the Box to be able to install the company's standard drive-thru menu board configuration. As with many companies during the pandemic, Jack in the Box developed strategies to better accommodate our guests' needs for more convenience, less direct interaction, and more social distancing. One of the outcomes of those learnings culminated in this test of a new restaurant prototype design and drive-thru configuration.

It is our understanding that there are (2) two concerns regarding the drive-thru menu board configuration that has been requested which is resulting in this variance request:

1. The primary speaker menu boards being submitted for approval are slightly larger in total cabinet SF area than what is allowable.
2. Full size preview menu board cabinets are no longer permitted.

In regard to the first concern, JIB uses standard size, printed, menu inserts for the drive-thru menu boards in all +2200 restaurants in the system. The menu boards already existing in the Tulsa restaurants will use the same size printed materials as the menu boards being submitted for variance approval – the surface area of the imagery is exactly the same. The reason the new menu boards are larger in total overall square-footage is that the former menu board design was flawed because they are prone to wind blowing-out the clear panels and printed menu board inserts. These new menu boards have been designed with a cabinet door system to eliminate the possibility of wind blow-outs. To reiterate, the actual image surface area of the printed menu board inserts are the same in this new menu board design as they are in the other menu boards existing in Jack in the Box restaurants in Tulsa.

In regard to the second concern, all existing JIB restaurants in Tulsa (as well as almost all in the system) use a full-size menu board for the both the preview board and speaker board positions in the drive-thru lane. As previously mentioned, Jack in the Box uses standard size printed materials that work across all restaurants. Customers have expressed their desire to have faster drive-thru service at quick serve restaurants, and many companies like Jack in the Box have responded to that need by developing a second drive-thru ordering positions. As mentioned above, this particular restaurant will be the first in the country for Jack in the Box to test both a new building prototype and dual lane drive-thru configuration. Jack in the Box is asking for approval to equip both drive thru lanes with the same type of equipment that all other single lane drive-thru Jack in the Box restaurants have in Tulsa.

Jack in the Box looks forward to being able to test our new guest convenience initiatives in the Tulsa market!

Case No. 14736 (continued)

Board Action:

On **MOTION** of **WHITE**, the Board voted 3-0-0 (Chappelle, White, Smith "aye"; no "nays"; no "abstentions"; Bradley, Quarles, "absent") to **APPROVE** a **Variance** (Section 430.1 - Bulk and Area Requirements in Residential Districts - Use Unit 1206) of setback from the centerline of Utica Avenue from 85' to 60' to allow for an existing carport; finding that the carport aligns with the front of the house, and that there are other structures that are as close to the street as the one in question; on the following described property:

Lot 5, Block 5, Hackathorn Addition, City of Tulsa, Tulsa County, Oklahoma.

Case No. 14737

Action Requested:

Variance - Section 1221.3(k) - General Use Conditions for Business Signs - Use Unit 1221 - Request a variance to allow for an existing roof sign, located 1133-H South Memorial.

Presentation:

The applicant, Raymond Wolf, 1133 South Memorial, Tulsa, Oklahoma, stated that he recently purchased a new sign for his business and asked the Board to allow a roof installation. He informed that all of the shops in the complex have roof signs. Photographs (Exhibit T-1) were submitted.

Comments and Questions:

Mr. Gardner asked the applicant if the old sign was installed on the roof, and Mr. Wolf replied that the new sign will replace the old roof sign, but is two feet longer.

Ms. White asked if the sign is lighted, and Mr. Wolf answered in the affirmative.

Protestants: None.

Board Action:

On **MOTION** of **WHITE**, the Board voted 3-0-0 (Chappelle, White, Smith "aye"; no "nays"; no "abstentions"; Bradley, Quarles, "absent") to **APPROVE** a **Variance** (Section 1221.3(k) - General Use Conditions for Business Signs - Use Unit 1221) to allow for an existing roof sign; as shown in submitted photographs; finding that the previous sign was installed on the roof, as are all other signs in the strip; on the following described property:

Lot 9 and the west 51' of Lot 10, Block 2, Forrest Acres Addition, City of Tulsa, Tulsa County, Oklahoma.



Facing East on 11th St.



Subject property



Intersection of 11th and Memorial Dr.



Subject property

DANNY WHITEMAN
SIGN PLANS EXAMINER
TEL (918) 596-9664
EMAIL dwhiteman@cityoftulsa.org



DEVELOPMENT SERVICES

175 EAST 2nd STREET, SUITE 450
TULSA, OKLAHOMA 74103-3227

SIGN PLAN REVIEW

July 8, 2021

LOD Number: 1

Phone: 405-604-3636

Shaun Steen
1634 SE 23rd St.
Oklahoma City, OK 73129

APPLICATION NO: **S-2140 and S-2141** (PLEASE REFERENCE WHEN CONTACTING OUR OFFICE)

Location: 8102 E. 11th St.

Description: Freestanding sign

INFORMATION ABOUT SUBMITTING REVISIONS

OUR REVIEW HAS IDENTIFIED THE FOLLOWING CODE OMISSIONS OR DEFICIENCIES IN THE PROJECT APPLICATION FORMS, DRAWINGS, AND/OR SPECIFICATIONS. THE DOCUMENTS SHALL BE REVISED TO COMPLY WITH THE REFERENCED CODE SECTIONS.

REVISIONS NEED TO INCLUDE THE FOLLOWING:

1. A COPY OF THIS DEFICIENCY LETTER
2. A WRITTEN RESPONSE AS TO HOW EACH REVIEW COMMENT HAS BEEN RESOLVED
3. THE COMPLETED REVISED/ADDITIONAL PLANS FORM (SEE ATTACHED)

REVISIONS SHALL BE SUBMITTED DIRECTLY TO THE CITY OF TULSA PERMIT CENTER LOCATED AT 175 EAST 2nd STREET, SUITE 450, TULSA, OKLAHOMA 74103, PHONE (918) 596-9601. THE CITY OF TULSA WILL ASSESS A \$55 RESUBMITTAL FEE. DO NOT SUBMIT REVISIONS TO THE PLANS EXAMINERS.

SUBMITTALS FAXED / EMAILED TO PLANS EXAMINERS WILL NOT BE ACCEPTED.

IMPORTANT INFORMATION

1. SUBMIT TWO (2) SETS OF REVISED OR ADDITIONAL PLANS. REVISIONS SHALL BE IDENTIFIED WITH CLOUDS AND REVISION MARKS.
2. INFORMATION ABOUT ZONING CODE, THE INDIAN NATION COUNCIL OF GOVERNMENT (INCOG), BOARD OF ADJUSTMENT (BOA), AND THE TULSA METROPOLITAN AREA PLANNING COMMISSION (TMAPC) IS AVAILABLE ONLINE AT WWW.INCOG.ORG OR AT INCOG OFFICES AT 2 WEST 2ND STREET, 8TH FLOOR, TULSA, OK, 74103 OR TELEPHONE (918) 584-7526.
3. PRESENT THIS LETTER TO INCOG WHEN APPLYING FOR BOARD OF ADJUSTMENT OR PLANNING COMMISSION ACTION.

(Continued)

REVIEW COMMENTS

SECTIONS REFERENCED BELOW ARE FROM THE CITY OF TULSA ZONING CODE TITLE 42 AND CAN BE VIEWED AT WWW.INCOG.ORG

Application No. S-2140, S-2141

8102 E. 11th St.

July 8, 2021

This letter of deficiencies covers Sign Plan Review items only.

For ground, monument, pole & outdoor advertising structure sign applications only, you may receive additional letters from other disciplines such as Water/Sewer/Drainage for additional deficiencies regarding Utility Easement placement which are not addressed in this letter.

1. 60.030-B.2 Drive-through Signs

Number and Dimensions

One primary drive-through sign not to exceed 36 square feet in area or 8 feet in height is allowed per order station up to a maximum of 2 primary drive-through signs per lot. One secondary drive-through sign not to exceed 15 square feet in area or 6 feet in height is allowed per lot.

Review Comments: Only one secondary drive through sign is permitted per lot. You may cancel one of these permits and remove one of the secondary drive through signs, or you may pursue a variance from the BOA to have two secondary drive through signs on one lot.

In addition, each of the proposed 32 square foot secondary drive through signs exceeds the permitted 15 square feet. You may reduce the sign area to 15 square feet or less, or you may seek a variance from the BOA to permit a secondary drive through sign to exceed the maximum surface area from 15 square feet to 32 square feet.

NOTE: Please direct all questions concerning variances, special exceptions, appeals of an administrative official, Planned Unit Developments (PUD), Corridor (CO) zoned districts, zoning changes, platting, lot splits, lot combinations, alternative compliance landscape plans and all questions regarding (BOA) or (TMAPC) application forms and fees to an INCOG representative at 584-7526. It is your responsibility to send the decision of any actions by the BOA or TMAPC affecting the status of your application for a Sign Permit to our office so we may continue to process your application. INCOG does not act as your legal or responsible agent in submitting documents to the City of Tulsa on your behalf.

END – ZONING CLEARANCE AND SIGN CODE REVIEW

NOTE: THIS CONSTITUTES A PLAN REVIEW TO DATE IN RESPONSE TO THE SUBMITTED INFORMATION ASSOCIATED WITH THE ABOVE REFERENCED APPLICATION. ADDITIONAL ISSUES MAY DEVELOP WHEN THE REVIEW CONTINUES UPON RECEIPT OF ADDITIONAL INFORMATION REQUESTED IN THIS LETTER OR UPON ADDITIONAL SUBMITTAL FROM THE APPLICANT.

KEEP OUR OFFICE ADVISED OF ANY ACTION BY THE CITY OF TULSA BOARD OF ADJUSTMENT OR TULSA METROPOLITAN AREA PLANNING COMMISSION AFFECTING THE STATUS OF YOUR APPLICATION FOR A CITY OF TULSA SIGN PERMIT.



JACK IN THE BOX #6155
8112 E 11th St Tulsa, OK 74112 USA

PERMIT

ORIGINAL DESIGN: 6/2/21-JMc
R1: Removed preview menus (not part of this scope), 8/4/21-JMc

JACK IN THE BOX

J6155
8112 E 11th St Tulsa, OK 74112 USA

This design is the exclusive property of Signtech and cannot be reproduced in whole or in part, without their prior written approval.

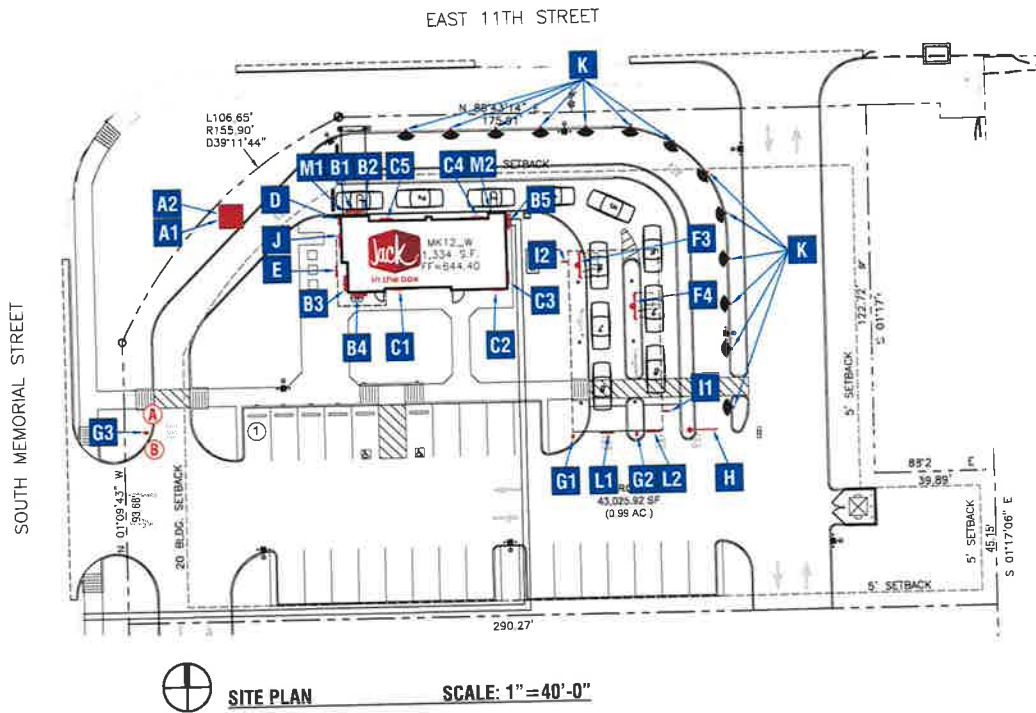
Sales: Bob McCarter
Coordinator: Steve Wood
Design: JMc
Engineering:

date: 6/2/21
drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: JIB_6155_5



4444 Federal Blvd San Diego, CA 92102
(619) 527-6100 signtech.com

9.11



SIGN LEGEND				
SIGN #	DESCRIPTION	SIGN TYPE	SF	QTY
A1	8'x8' CUBE PYLON SIGN	JITB-PYL-96x96x300	64.0	1
A2	CUSTOM READERBOARD	JITB-RB-36x96-CUSTOM THREE-SIDED	24.0	1
B1	J40 WALL SIGN	JITB-J40	37.0	1
B2	J40 WALL SIGN HALO KIT	JITB-J40-HALO KIT	N/A	1
B3	J30 WALL SIGN	JITB-J30	27.76	1
B4	J30 WALL SIGN	JITB-J30	27.76	1
B5	J30 WALL SIGN	JITB-J30	27.76	1
C1	POSTER MARQUEE - SINGLE	JITB-WC-60x49-MARQUEE	20.5	1
C2	POSTER MARQUEE - SINGLE	JITB-WC-60x49-MARQUEE	20.5	1
C3	POSTER MARQUEE - SINGLE	JITB-WC-60x49-MARQUEE	20.5	1
C4	POSTER MARQUEE - SINGLE	JITB-WC-60x49-MARQUEE	20.5	1
C5	POSTER MARQUEE - SINGLE	JITB-WC-60x49-MARQUEE	20.5	1
D	ILLUM. ADDRESS CABINET	JITB-WC-16x42-ADDRESS-8112	4.7	1
E	NEIGHBORHOOD LETTERS	JITB-FCO-AL-IL-9	N/A	1
F3	SPEAKER MENU	MANUFACTURED BY OTHERS	19.9	1
F4	SPEAKER MENU	MANUFACTURED BY OTHERS	19.9	1
G1	DIR. SIGN - "DRIVE-THRU"	JITB-DIR-17x17x48-DRIVETHRU-LEFT/RIGHT	2.3	1
G2	DIR. SIGN - "DRIVE-THRU"	JITB-DIR-17x17x48-DRIVETHRU-LEFT/RIGHT	2.3	1
G3	DIR. SIGN - "TY/DNE"	JITB-DIR-17x17x48-THANKYOU/DONOTENTER	2.3	1
H	"ONLINE ORDER" LANE SIGN	JITB-H-BAR-120-ONLINE ORDERS	N/A	1
I1	JACK HEAD BLADE SIGN	JITB-BLD-DF-24x17	2.8	1
I2	JACK HEAD BLADE SIGN	JITB-BLD-DF-24x17	2.8	1
J	ILLUM. JACK HEAD LOGO	JITB-CL-JACK HEAD	N/A	1
K	ILLUMINATED BOLLARDS	JITB-DIR-30x4	N/A	13
L1	CANOPY LANE ID SIGN	JITB-WS-10x96	N/A	1
L2	CANOPY LANE ID SIGN	JITB-WS-10x96	N/A	1
M1	"PICK UP" BLADE SIGN	JITB-BLD-42x7	N/A	1
M2	"PAY HERE" BLADE SIGN	JITB-BLD-42x7	N/A	1



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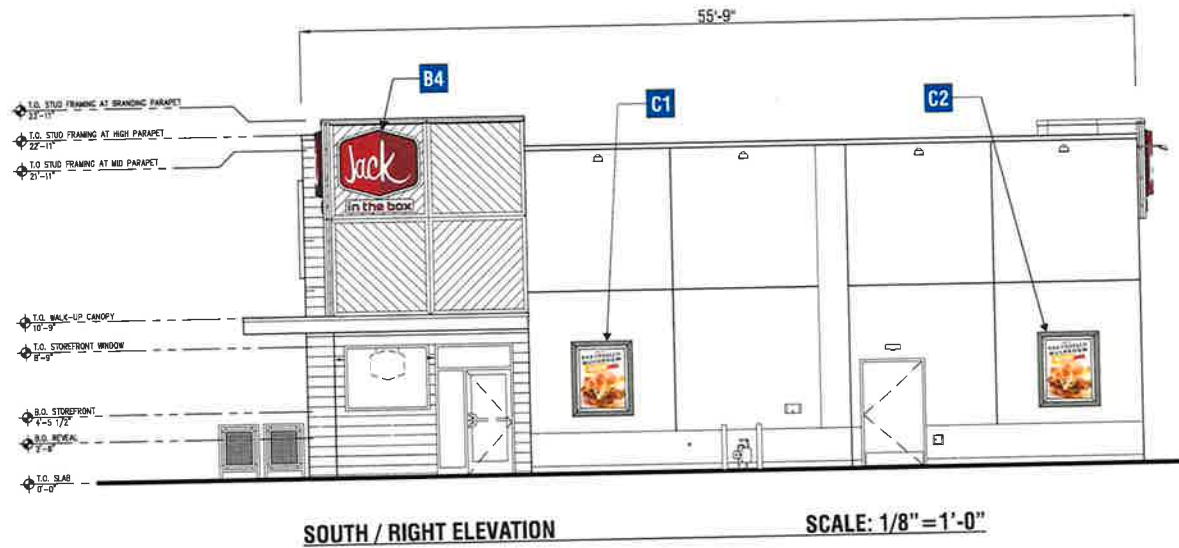
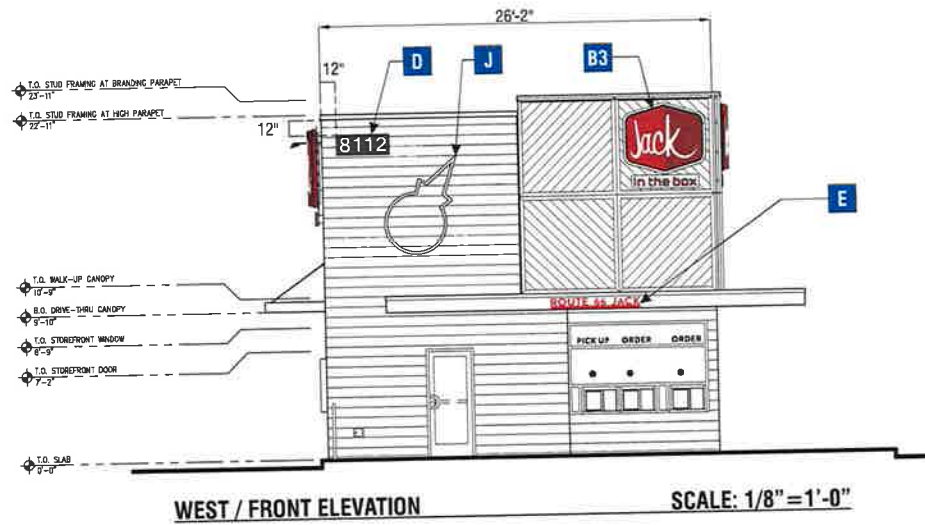
JACK IN THE BOX

J6155
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Sales: Bob McCarter
Coordinator: Steve Wood
Design: JMc
Engineering:

date: 6/2/21
drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: JIB_6155_5



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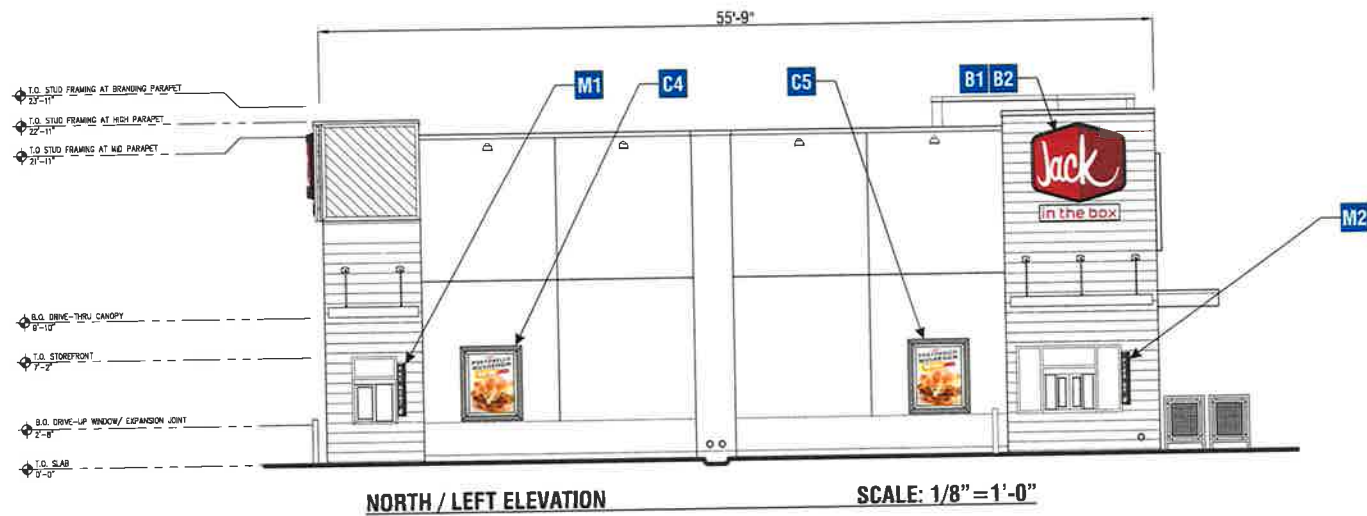
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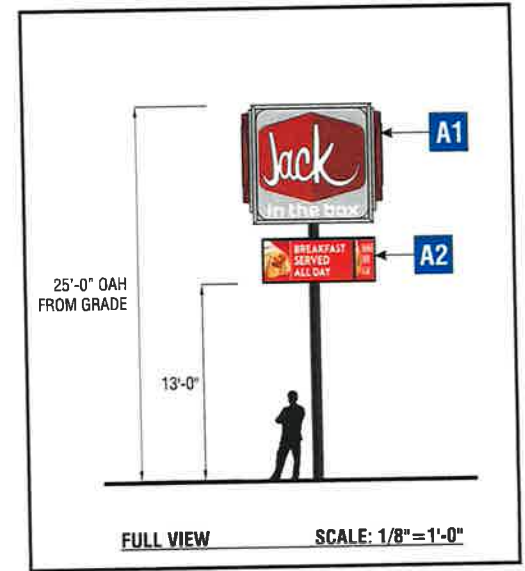
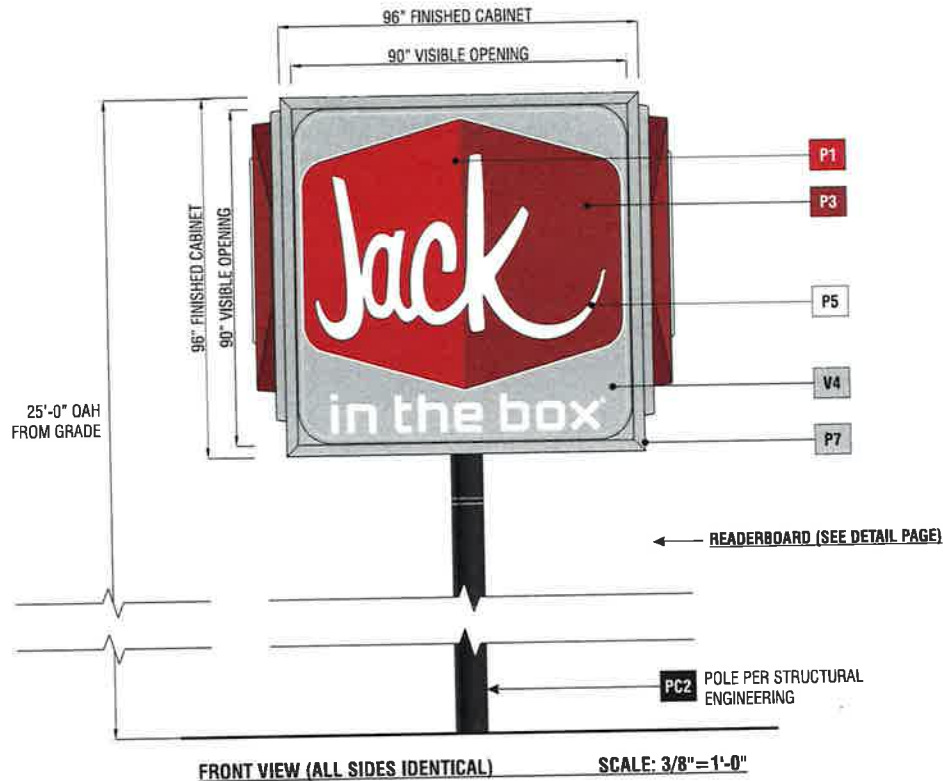
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drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: JIB_6155_5



A1 SIGNTYPE JIB-PYL-96x96x300

MANUFACTURE AND INSTALL ONE (1) D/F INTERNALLY ILLUMINATED J67 PYLON SIGN

CABINET: FABRICATED ALUMINUM WITH INTERNAL LED ILLUMINATION

FACES: FORMED LEXAN WITH SECOND SURFACE GRAPHICS

POLE: STEEL POLE PER STRUCTURAL ENGINEERING

ILLUMINATION: LED - SLOAN PRISM 6500K WHITE

PAINT

P1 TO MATCH LACRYL SERIES 400
LW-5-9404-1 TRANSLUCENT PAINT

P2 TO MATCH MP 64691 'JIB RED'
OPAQUE PAINT

P3 TO MATCH LACRYL SERIES 400
443 'DEEP RED' TRANSLUCENT PAINT

P5 TO MATCH LACRYL SERIES 400
L-403-W TRANSLUCENT PAINT

P7 TO MATCH MP 02065 'SLATE GRAY

VINYL

V4 3M 3630-61 'SLATE GRAY'

JACK IN THE BOX

J6155

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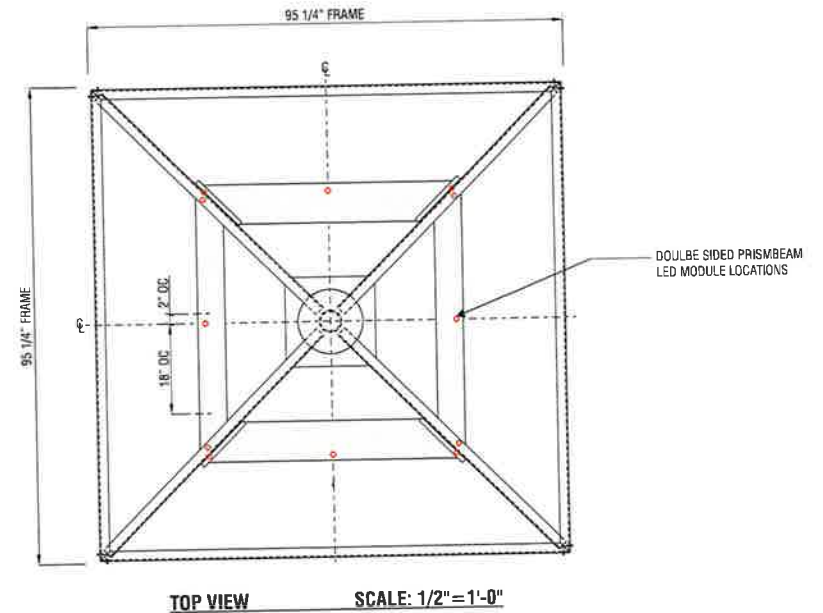
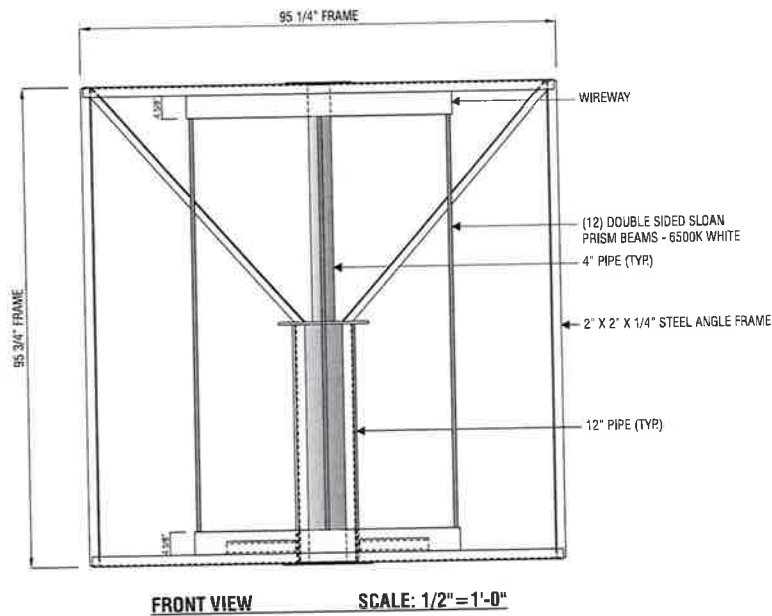
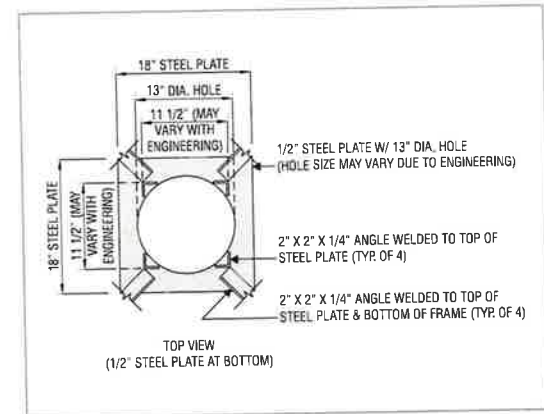
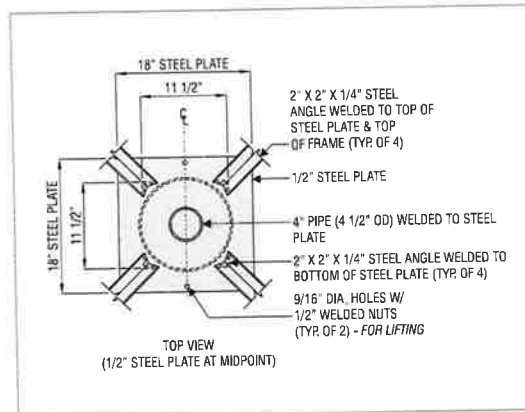
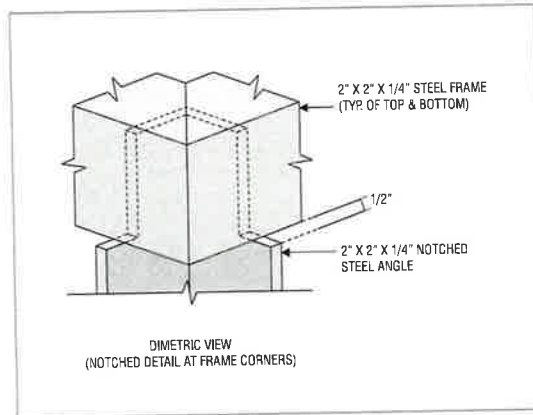
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Sales: Bob McCarter
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Design: JMc
Engineering:

date: 6/2/21
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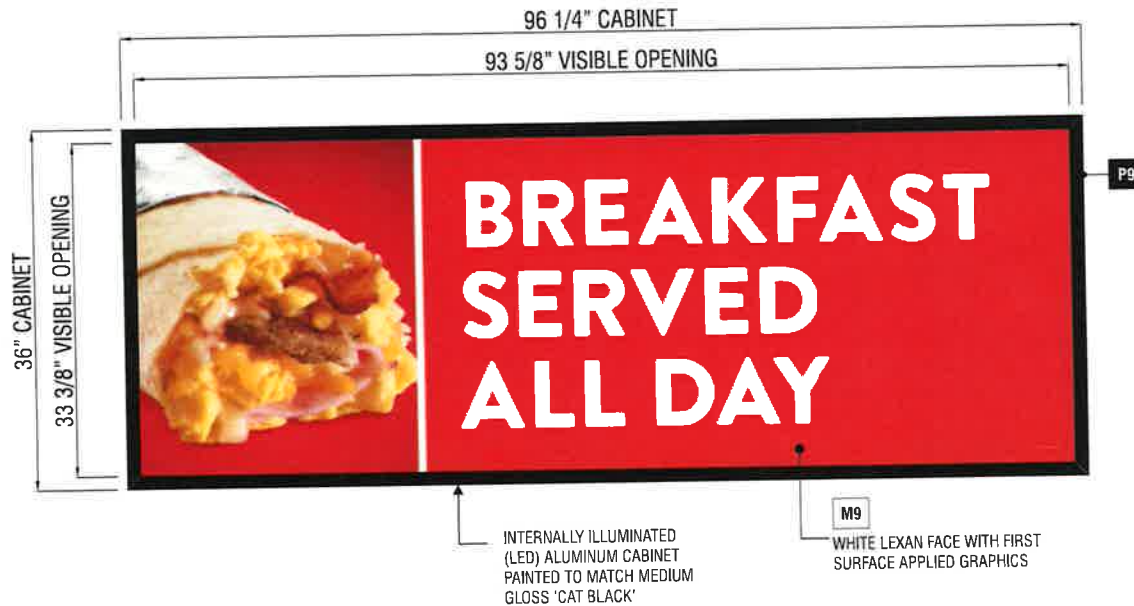
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Design: JMc
Engineering:

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drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: JIB_6155_5



FRONT VIEW SCALE: 1" = 1'-0"

A2 SIGNTYPE J1TB-RB-36x96-CUSTOM THREE-SIDED

MANUFACTURE AND INSTALL THREE (3) INTERNALLY ILLUMINATED S/F READERBOARD CABINETS TO BE MOUNTED ON PYLON

CABINET BODY: SIGNCOMP ALUM. EXTRUSION PART NO. 2034, WITH INTERNAL LED ILLUMINATION

CABINET RETAINERS: SIGNCOMP ALUM. EXTRUSION PART NO. 2056, PAINTED TO MATCH "P1"

FACES: .150" THICK WHITE MODIFIED ACRYLIC FACE WITH FIRST SURFACE PRINTED DIGITAL GRAPHICS

CABINET BACK: .063" ALUM. PRE-PAINTED WHITE, PAINT BACK SIDE TO MATCH "P1"

ILLUMINATION: LED - SLOAN PRISM 5700K WHITE

PAINT

P9 TO MATCH MP SV923 BLACK W/ SATIN FINISH

MATERIALS

M9 WHITE LEXAN W/ FIRST SURFACE DIGITALLY PRINTED GRAPHICS



ATTACHMENT OF THREE-SIDED READERBOARD TO POLE TO BE DISCUSSED WITH ENGINEERING DEPARTMENT - OTHER EXISTING SIGN PICTURED (DARK PHOTO CONDITIONS, BOTTOM FRAME TRACED IN RED.)

JACK IN THE BOX

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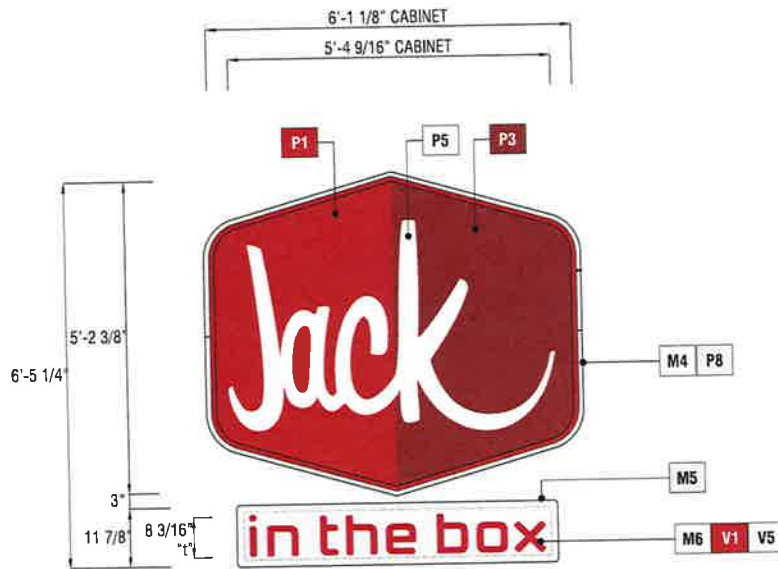
Sales: Bob McCarter
Coordinator: Steve Wood
Design: JMc
Engineering:

date: 6/2/21
drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: J1B_6155_5



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2.17



FRONT VIEW SCALE: 1/2"=1'-0"
27.76 SQ. FT.



SIDE VIEW SCALE: 1/2"=1'-0"

B1 SIGNTYPE J1TB-J40

MANUFACTURE AND INSTALL ONE (1) S/F INTERNALLY ILLUMINATED J30 WALL SIGN(S)

UPPER CABINET: FABRICATED ALUMINUM WITH INTERNAL LED ILLUMINATION AND UL APPROVED DISCONNECT SWITCH

LOWER CABINET: FABRICATED ALUMINUM WITH INTERNAL LED ILLUMINATION

UPPER FACE: FORMED POLYCARBONATE WITH SECOND SURFACE GRAPHICS

LOWER FACE: ROUTED ACM WITH PUSH-THRU ACRYLIC COPY

LOGO BORDER: ACM

ILLUMINATION: LED

MATERIALS

- M3** 3 1/2" CHANNEL LETTER COIL PRE-COATED MP 64691 'JIB RED' WITH SATIN FINISH
- M4** 3MM WHITE ACM (0.118" SKIN)
- M5** 3MM SILVER ACM (0.118" SKIN)
- M6** 3/4" CLEAR ACRYLIC

PAINT

- P1** TO MATCH LACRYL SERIES 400 LW-5-9404-1 TRANSLUCENT PAINT
- P3** TO MATCH LACRYL SERIES 400 443 'DEEP RED' TRANSLUCENT PAINT
- P5** TO MATCH LACRYL SERIES 400 L-403-W TRANSLUCENT PAINT
- P8** TO MATCH MP 30136 'BRUSHED ALUMINUM'

VINYL

- V1** 3M 3630-73 'DARK RED'
- V5** 3M 3635-70 '60% DIFFUSER'

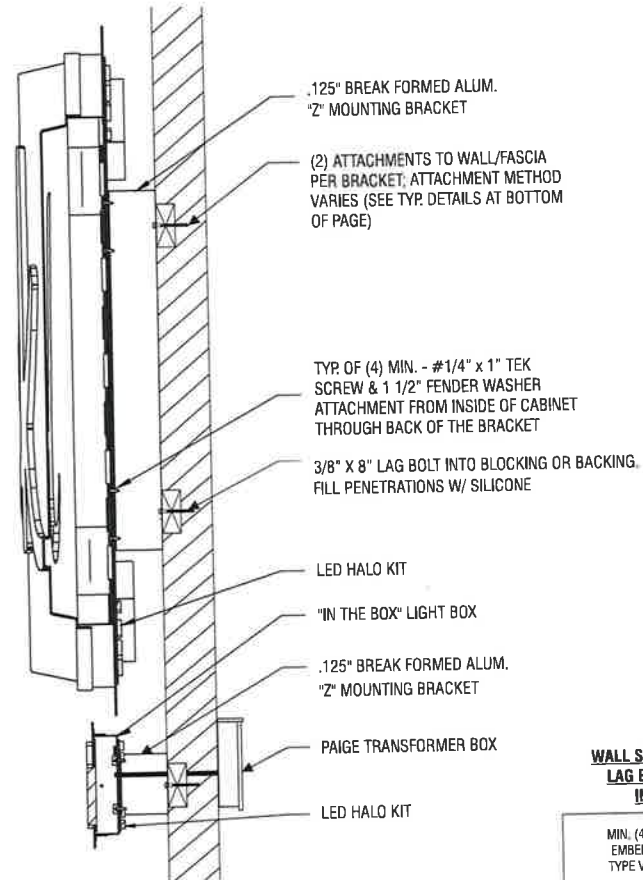
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Coordinator: Steve Wood
Design: JMc
Engineering:

date: 6/2/21
drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: JIB_6155_5



**WALL SIGN SECTION DETAIL
LAG BOLT ATTACHMENT
INTO BLOCKING**

MIN. (4) PER CABINET/ 2 1/2"
EMBEDMENT (ATTACHMENT
TYPE VARIES PER SURFACE):

STUCCO:	3/8" SSTL. BOLT W/ NYLON ANCHOR
WOOD:	3/8" WOOD SCREW
CONCRETE:	3/8" EXPANSION ANCHOR
DRYWALL:	3/8" TOGGLE BOLT

B1

VERTICAL SECTION

Scale: 1" = 1'-0"



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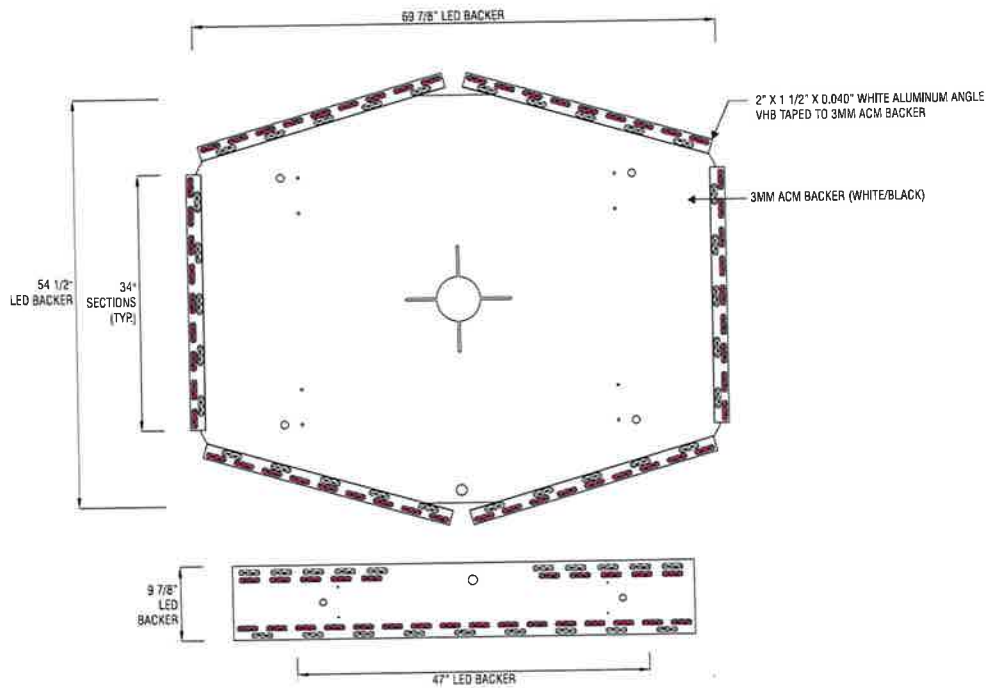
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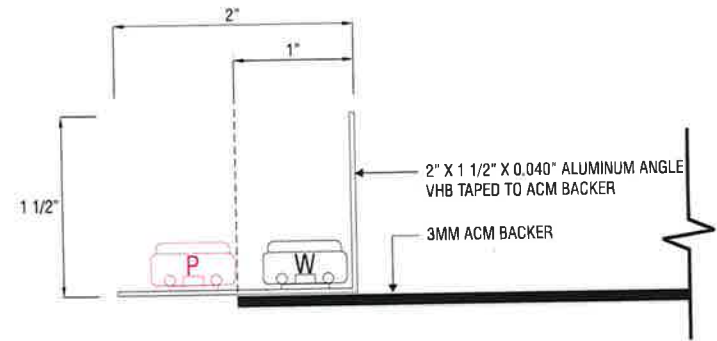
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Sales: Bob McCarter
Coordinator: Steve Wood
Design: JMc
Engineering:

date: 6/2/21
drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: JIB_6155_5



FRONT VIEW (FACING BACK SIDE OF J40 SIGN)
SCALE: 3/4" = 1'-0"



BAFFLE SECTION **SCALE: FULL SIZE**

B2 SIGNTYPE J40-HALO KIT

MANUFACTURE AND INSTALL ONE (1) J40 LED HALO KIT

BACKER: 3MM ACM (WHITE/BLACK)

BAFFLE: 2" X 1 1/2" X 0.040" PRE-COATED WHITE ALUMINUM ANGLE

ILLUMINATION: WHITE AND PURPLE LED



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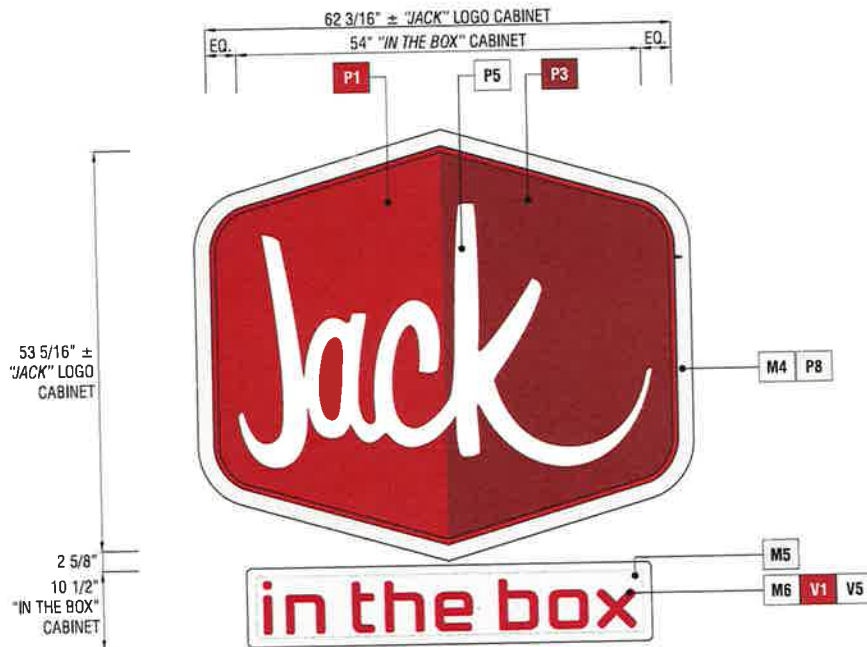
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 Coordinator: Steve Wood
 Design: JMc
 Engineering:

date: 6/2/21
 drawing: PERMIT rev: R1-8/4/21-JMc
 quote:
 project ID: JIB_6155_5



FRONT VIEW SCALE: 3/4"=1'-0"
27.76 SQ. FT.



END VIEW SCALE: 3/4"=1'-0"

B3 B4 B5 SIGNTYPE JITB-J30

MANUFACTURE AND INSTALL THREE (3) S/F INTERNALLY ILLUMINATED J30 WALL SIGN(S)
UPPER CABINET: FABRICATED ALUMINUM WITH INTERNAL LED ILLUMINATION AND UL APPROVED DISCONNECT SWITCH
LOWER CABINET: FABRICATED ALUMINUM WITH INTERNAL LED ILLUMINATION
UPPER FACE: FORMED POLYCARBONATE WITH SECOND SURFACE GRAPHICS
LOWER FACE: ROUTED ACM WITH PUSH-THRU ACRYLIC COPY
LOGO BORDER: ACM
ILLUMINATION: LED

MATERIALS

- M3** 3 1/2" CHANNEL LETTER COIL PRE-COATED MP 64691 "JIB RED" WITH SATIN FINISH
- M4** 3MM WHITE ACM (0.118" SKIN)
- M5** 3MM SILVER ACM (0.118" SKIN)
- M6** 3/4" CLEAR ACRYLIC

PAINT

- P1** TO MATCH LACRYL SERIES 400 LW-5-9404-1 TRANSLUCENT PAINT
- P3** TO MATCH LACRYL SERIES 400 443 'DEEP RED' TRANSLUCENT PAINT
- P5** TO MATCH LACRYL SERIES 400 L-403-W TRANSLUCENT PAINT
- P8** TO MATCH MP 30136 'BRUSHED ALUMINUM'

VINYL

- V1** 3M 3630-73 'DARK RED'
- V5** 3M 3635-70 '60% DIFFUSER'



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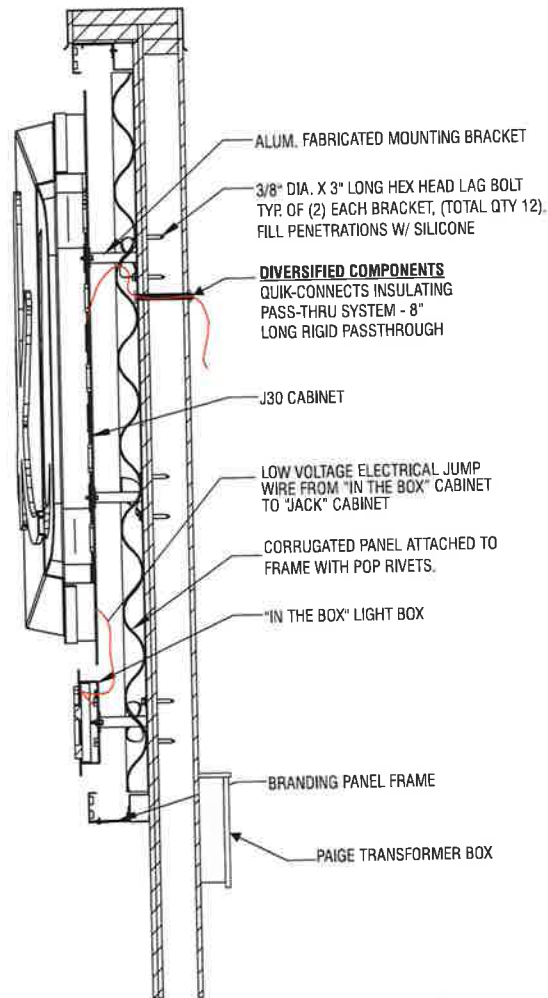
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Coordinator: Steve Wood
Design: JMc
Engineering:

date: 6/2/21
drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: JIB_6155_5



B3 B4 B5

INSTALLATION VERTICAL SECTION

Scale: 1" = 1'-0"

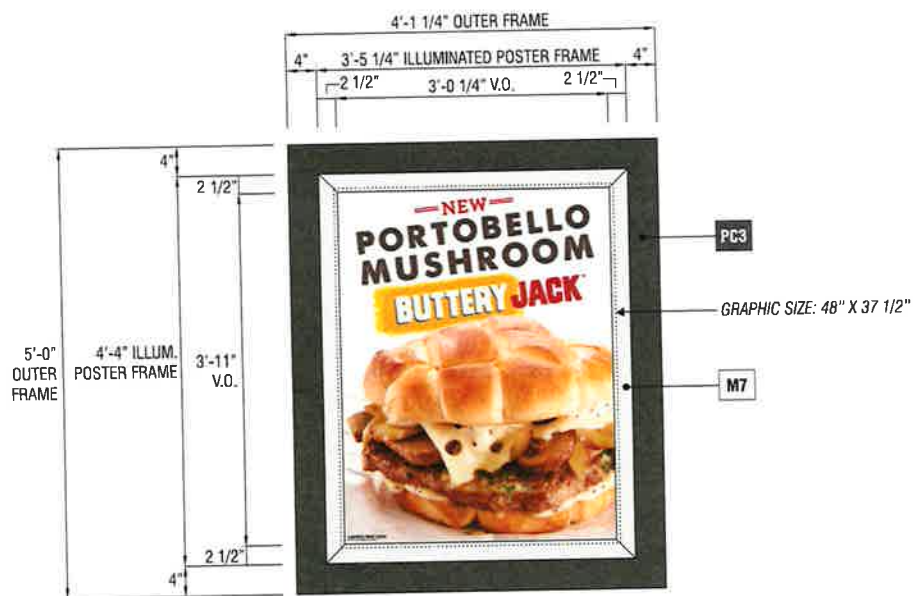
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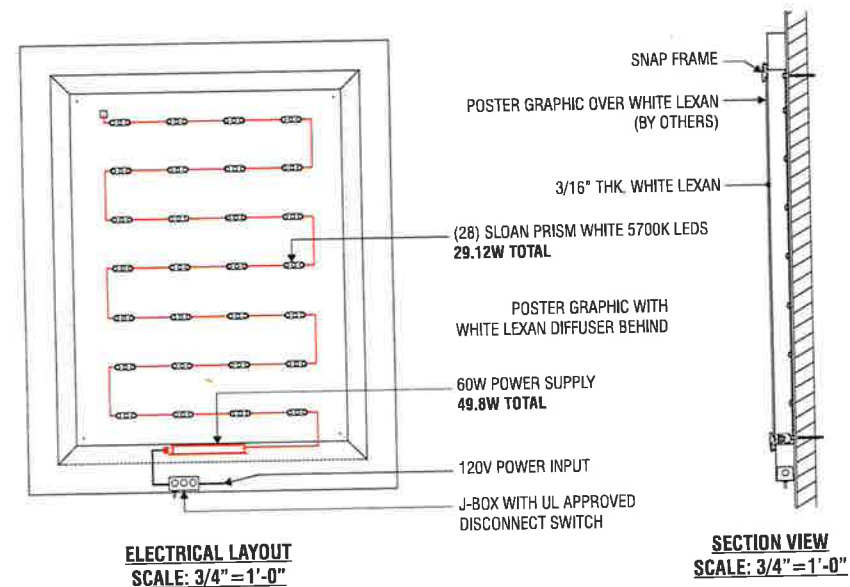
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date: 6/2/21
drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: JIB_6155_5



FRONT VIEW SCALE: 3/4"=1'-0"
20.5 SQ. FT.



C1 C2 C3 C4 C5 SIGNTYPE JITB-WC-60x49-MARQUEE

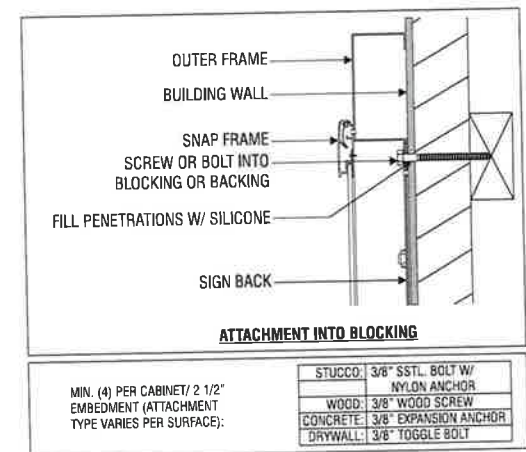
MANUFACTURE AND INSTALL FIVE (5) ILLUMINATED SINGLE POSTER MARQUEE PANEL(S)
FACE: ROUTED 3/16" WHITE LEXAN WITH ATTACHED SNAP FRAME, INSERTS BY OTHERS
OUTER FRAME: FABRICATED .063" THICK ALUMINUM
ILLUMINATION: INTERNAL LED ILLUMINATION AND UL APPROVED DISCONNECT SWITCH

POWDER COAT

PC3 TO MATCH RAL7022 W/ SATIN FINISH
'UMBRA GREY'

MATERIALS

M7 ALUMINUM SNAP FRAME W/ CLEAR ANODIZED SATIN FINISH



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Design: JMc
Engineering:

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drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: JIB_6155_5



FRONT VIEW SCALE: 1 1/2" = 1'-0"



END VIEW SCALE: 1 1/2" = 1'-0"

D SIGNTYPE JTB-WC-16x42-ADDRESS-8112

MANUFACTURE AND INSTALL ONE (1) PLEX FACE INTERNALLY ILLUMINATED ADDRESS CHANNEL LETTER

FACE: .177" THICK #7328 WHITE ACRYLIC WITH 3M NIMBUS GREY 101 (GERBER 220-41) ON FIRST SURFACE.

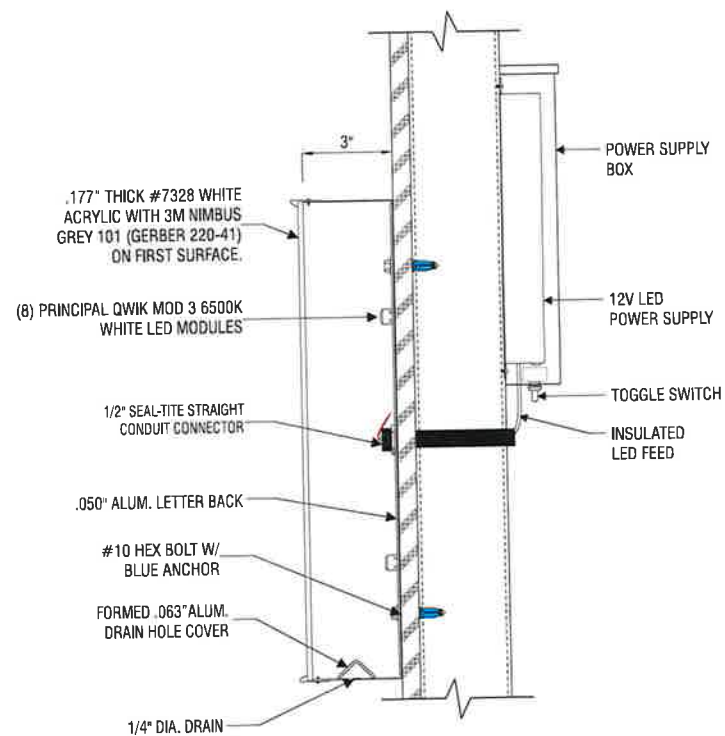
TRIMCAP: 1" BLACK JEWELITE

RETURNS: .040" x 3" DEEP PRE-PAINTED SATIN BLACK ALUM. COIL.

BACKS: .050" PRE-PAINTED WHITE ALUM.

ILLUMINATION: PRINCIPAL QWIK MOD 3 6500K WHITE

STUCCO:	1/4" SSTL. BOLT W/ NYLON ANCHOR
WOOD:	1/4" LAG WOOD SCREW
CONCRETE:	1/4" EXPANSION ANCHOR
DRYWALL:	1/4" TOGGLER BOLT



SECTION VIEW SCALE: 3" = 1'-0"



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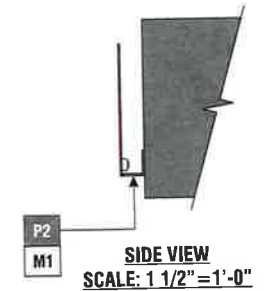
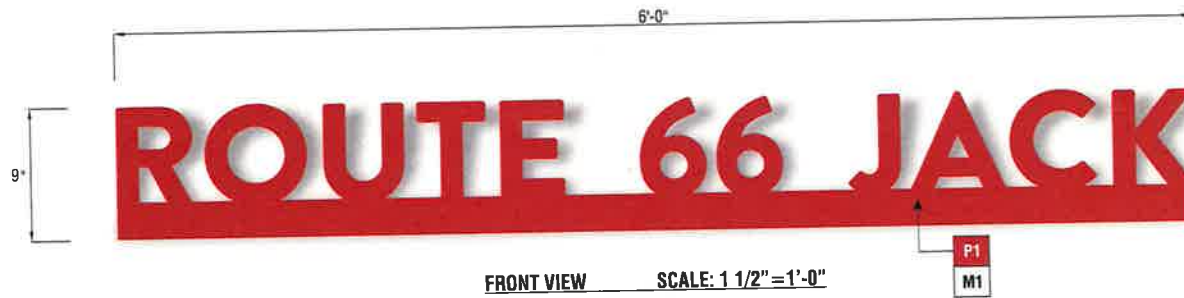
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Design: JMc
Engineering:

date: 6/2/21
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quote:
project ID: JIB_6155_5

h2.4

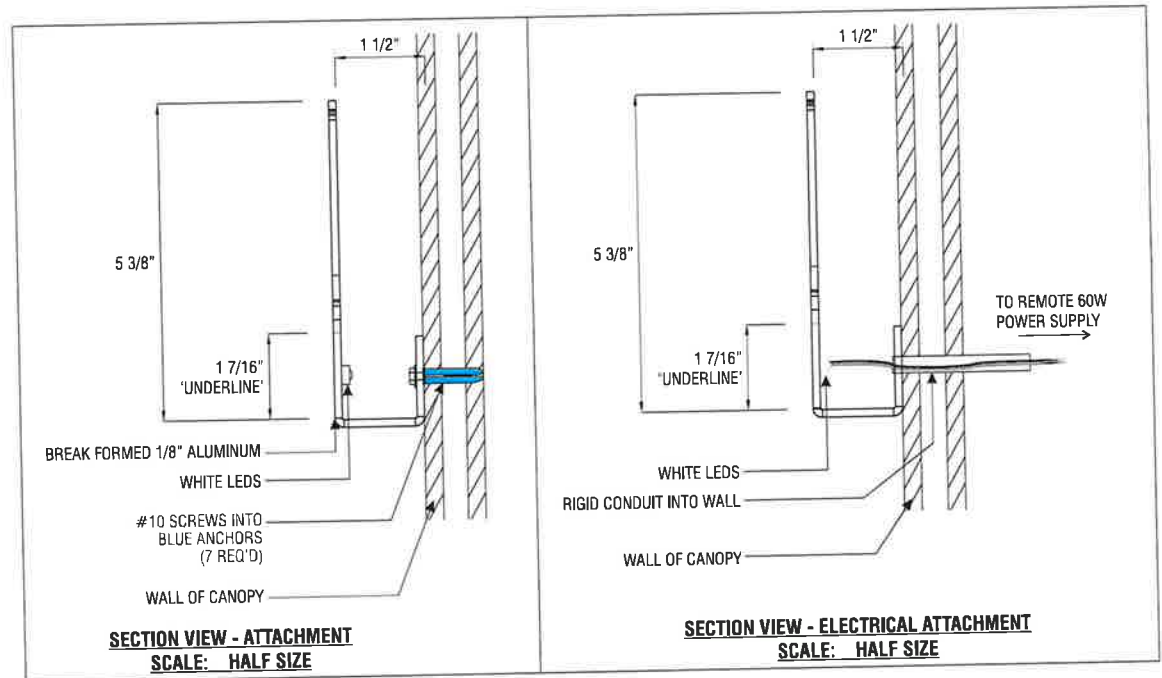


E SIGNTYPE J1TB-FCO-AL-IL-9

**MANUFACTURE AND INSTALL ONE (1) CANOPY MOUNTED
FLAT CUT-OUT HALO-ILLUMINATED SIGN**

LETTERS: 1/8" WATERJET CUT ALUMINUM
ILLUMINATION: SLOAN PRISM 4000K LED WITH 60W POWER SUPPLY
TO BE INSTALLED INSIDE CANOPY

PAINT	
P1	PAINT TO MATCH MP 64691 "J18" RED W/ SATIN FINISH
P2	PAINT TO MATCH WALL EXACT COLOR TBV
MATERIALS	
M1	1/8" ALUMINUM



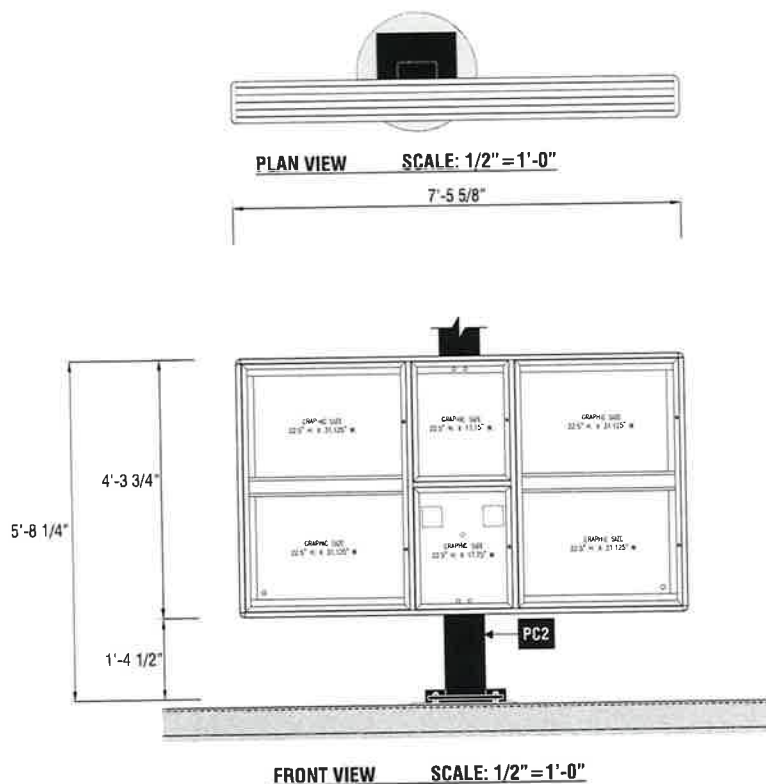
JACK IN THE BOX

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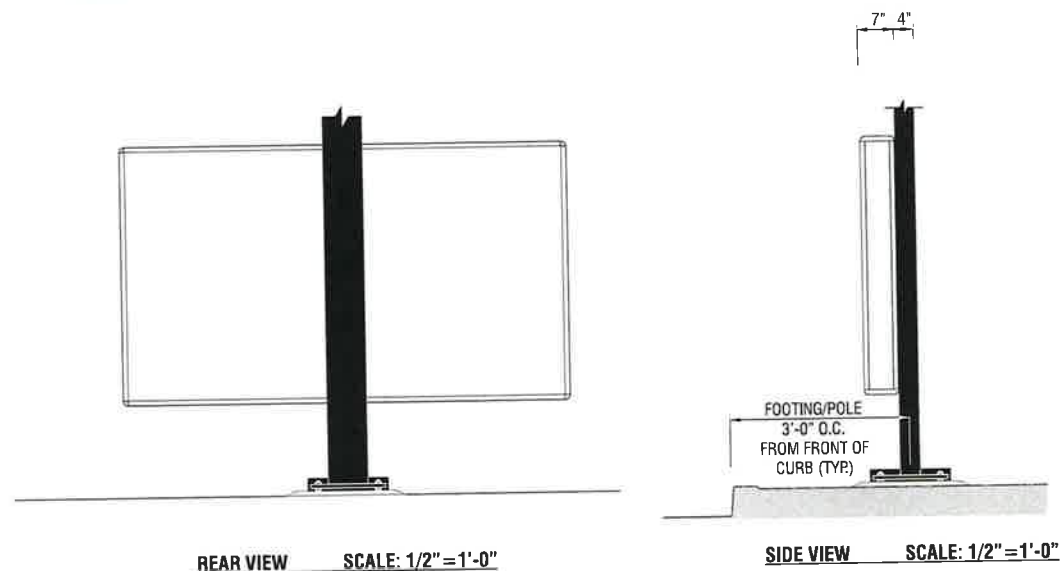
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Coordinator: Steve Wood
Design: JMc
Engineering:

date: 6/2/21
drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: J1B_6155_5



NOTE: MENU LUG-ON HARDWARE MUST BE SPACED CORRECTLY FOR GRAPHICS TO FIT.



F3 F4 SIGNTYPE SPEAKER MENU BY OTHERS
INSTALL ONE (1) SPEAKER MENU BY OTHERS WITH LUG-ON HARDWARE PANELS

CABINET: MANUFACTURED BY NATIONAL SIGNS
POLE: 4"x8" STEEL RECTANGULAR TUBE (SEE MENU CANOPY)

POWDER COAT
PC2 TO MATCH RAL 9004 'SIGNAL BLACK' W/ SATIN FINISH

A	B	A
C	C	C

① 21 1/2" X 30 1/4" V.O. / 4.5 SQ. FT. (x2) = 9 SQ. FT.

② 21 1/2" X 17" V.O. / 2.5 SQ. FT. (x1) = 2.5 SQ. FT.

③ 21 1/2" X 14 5/16" V.O. / 2.1 SQ. FT. (x4) = 8.4 SQ. FT.

TOTAL: 19.9 SQ. FT

SQUARE FOOTAGE CALCULATIONS
SCALE: 3/8" = 1'-0"



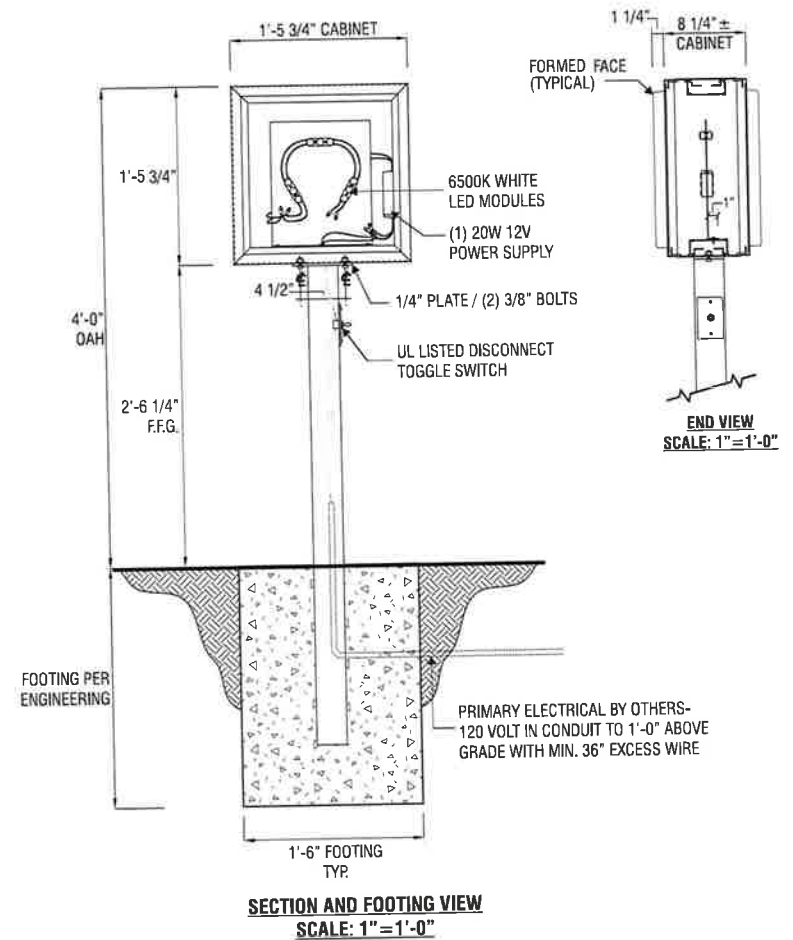
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Engineering:

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quote:
project ID: JIB_6155_5



POWDER COAT

PC2 TO MATCH RAL 9004 'SIGNAL BLACK'
W/ SATIN FINISH

MATERIALS

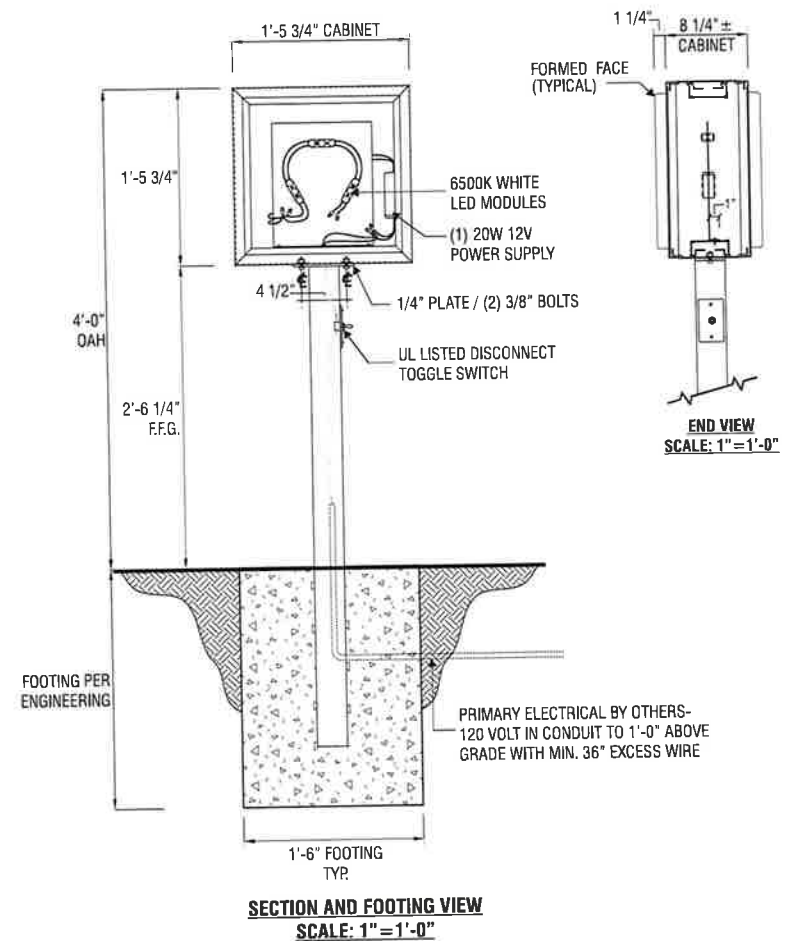
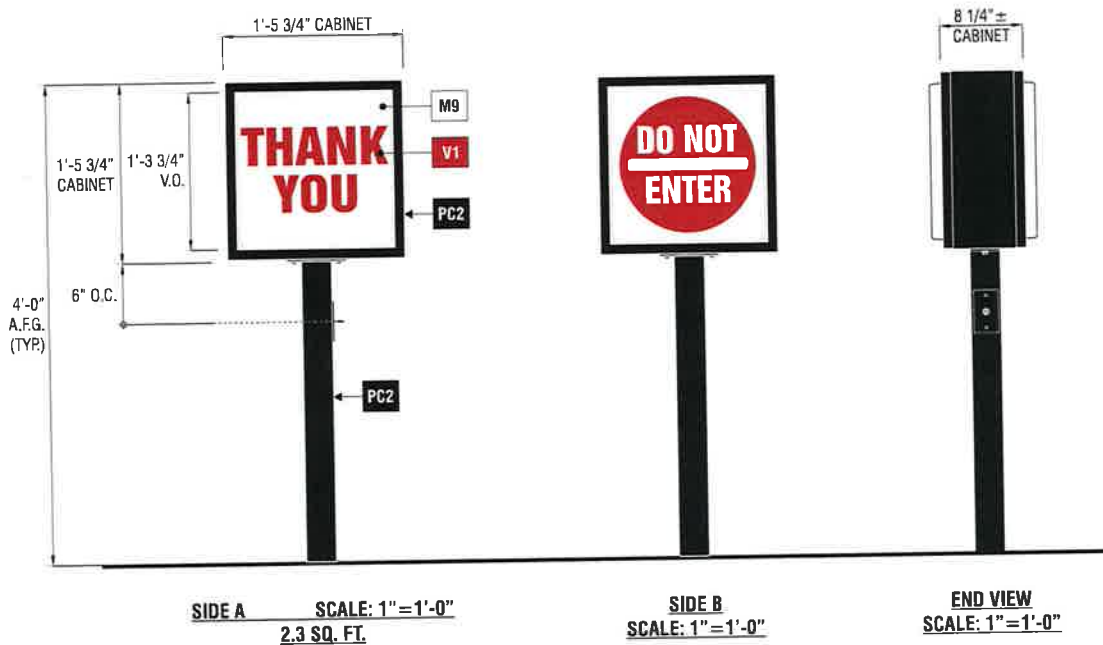
M9 .093" WHITE LEXAN

VINYL

V1 3M 3630-73 'DARK RED'

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drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: JIB_6155_5



G3 SIGNTYPE JITB-DIR-17x17x48-THANKYOU/DONOTENTER

MANUFACTURE AND INSTALL ONE (1) D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN(S)

CABINET: EXTRUDED ALUMINUM

POLE: 3"x3" STEEL SQUARE TUBE

ILLUMINATION: LED - PRINCIPAL QWIK MOD 3 6500K WHITE



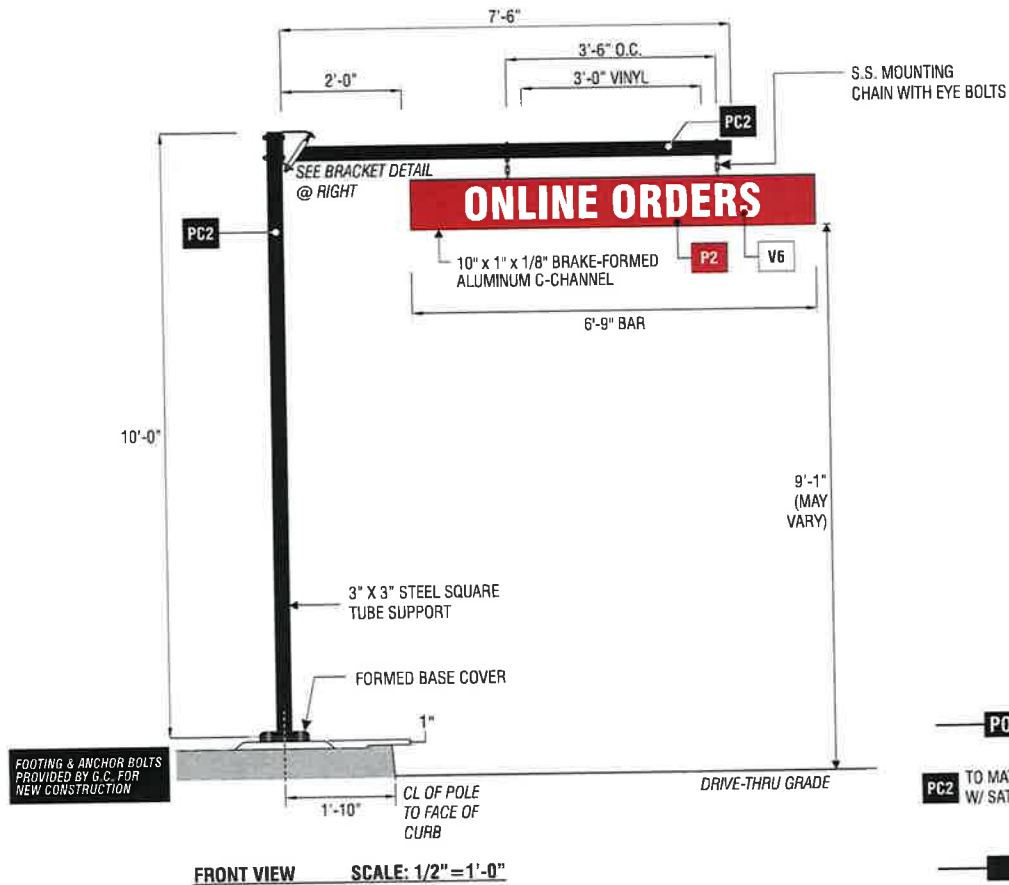
JACK IN THE BOX

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 Engineering:

date: 6/2/21
 drawing: PERMIT rev: R1-8/4/21-JMc
 quote:
 project ID: JIB_6155_5

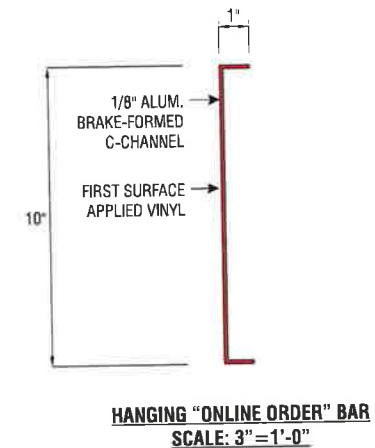
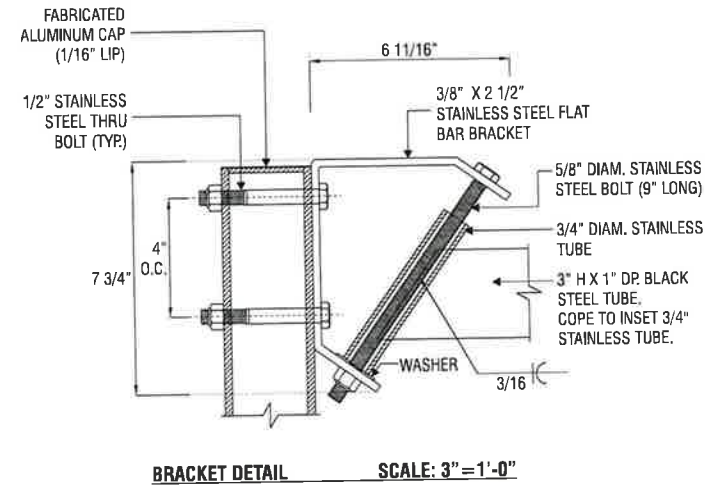
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H SIGTYPE JITB-H-BAR-120-ONLINE ORDER

MANUFACTURE AND INSTALL ONE (1) ORDER PICKUP SIGN

POLE: 3"x3" STEEL SQUARE TUBE
ARM: 5"x2" STEEL RECTANGULAR TUBE



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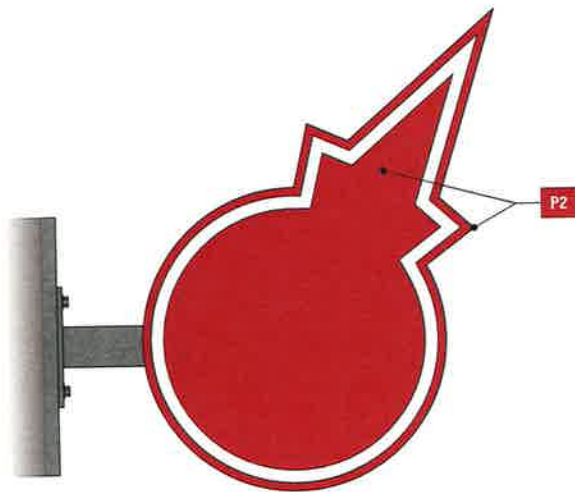
JACK IN THE BOX

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8112 E 11th St Tulsa, OK 74112 USA

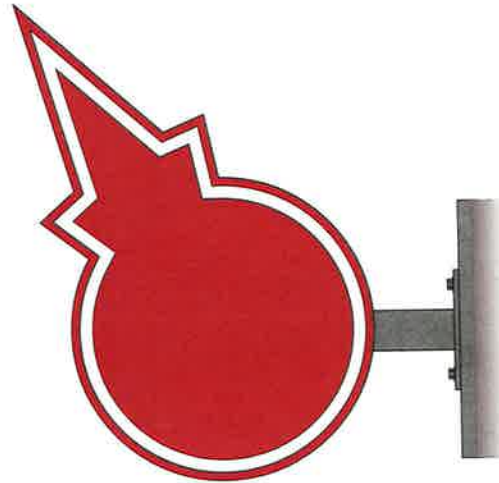
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Sales: Bob McCarter
Coordinator: Steve Wood
Design: JMc
Engineering:

date: 6/2/21
drawing: PERMIT rev: R1-B/4/21-JMc
quote:
project ID: JIB_6155_5



FRONT VIEW
SCALE: 1:6



BACK VIEW
SCALE: 1:6



END VIEW
SCALE: 1:6

11 12 JIB-BLD-DF-24X17

MANUFACTURE AND INSTALL TWO (2) D/F INTERNALLY ILLUMINATED BLADE SIGNS WITH ROUTED AND BACKED FACES

CABINET: ALUM. FABRICATION

FACES: .125" ALUM.

WHITE/PURPLE RING: .177" THICK CLEAR ACRYLIC W/ FIRST AND SECOND SURFACE VINYL

RETURNS: .063" X 5" ALUM. STACK WELDED TO FRONT TRIM.

SUPPORT: 2" x 2" x 3/16" ALUM. SQUARE TUBE WELDED TO ATTACHMENT PLATE

ATTACHMENT PLATE: 1/4" ALUM. PLATE - *PLATE DETAILS TBV*

ILLUMINATION: LEDs (WHITE AND PURPLE ON TIMER) WITH REMOTE POWER SUPPLY

PAINT

P2 TO MATCH MP 64691 'JIB RED'
W/ SATIN FINISH



NIGHT VIEW - WHITE LED
SCALE: 1"=1'-0"



NIGHT VIEW - PURPLE LED
SCALE: 1"=1'-0"

JACK IN THE BOX

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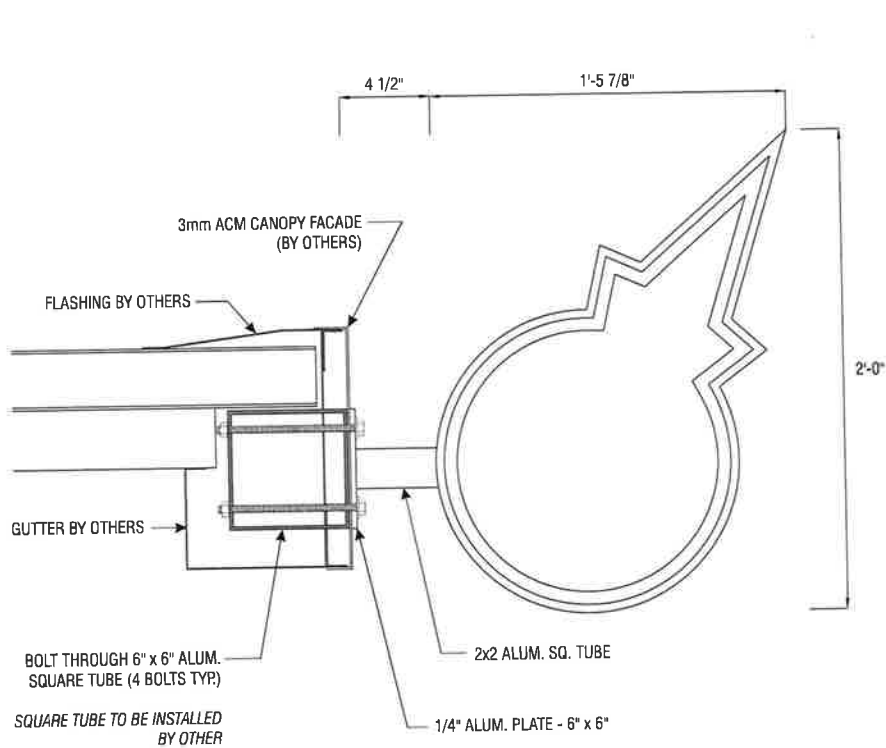
Sales: Bob McCarter
Coordinator: Steve Wood
Design: JMc
Engineering:

date: 6/2/21
drawing: PERMIT rev: R1-B/4/21-JMc
quote:
project ID: JIB_6155_5

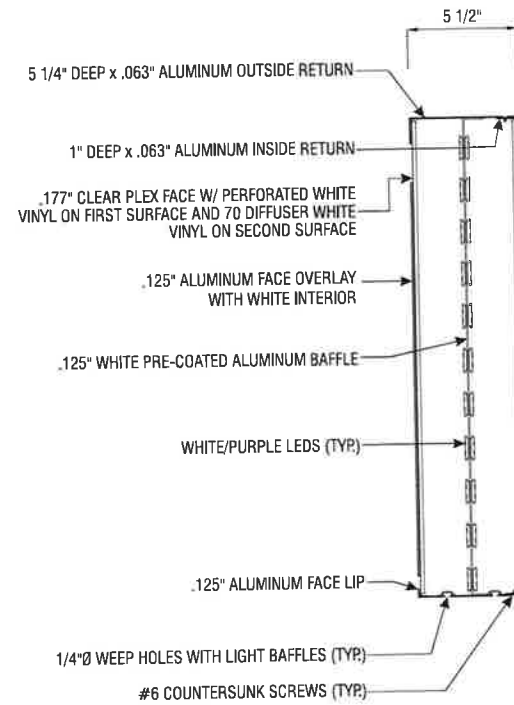
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FRONT VIEW
SCALE: 1:6



END VIEW
SCALE: 1:6



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Design: JMc
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drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: JIB_6155_5



J SIGNTYPE J1TB-CL-JACK HEAD

MANUFACTURE AND INSTALL ONE (1) INTERNALLY ILLUMINATED JACK HEAD LOGO CHANNEL SIGN



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JACK IN THE BOX

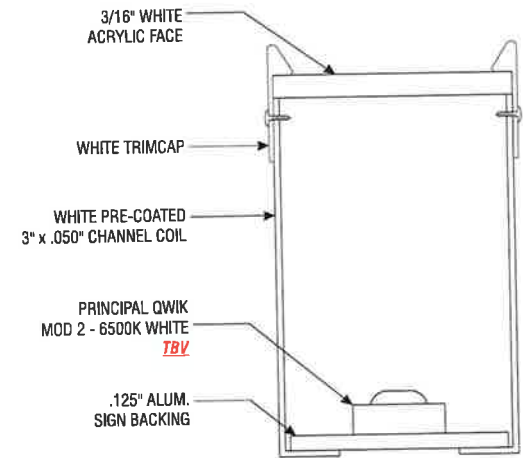
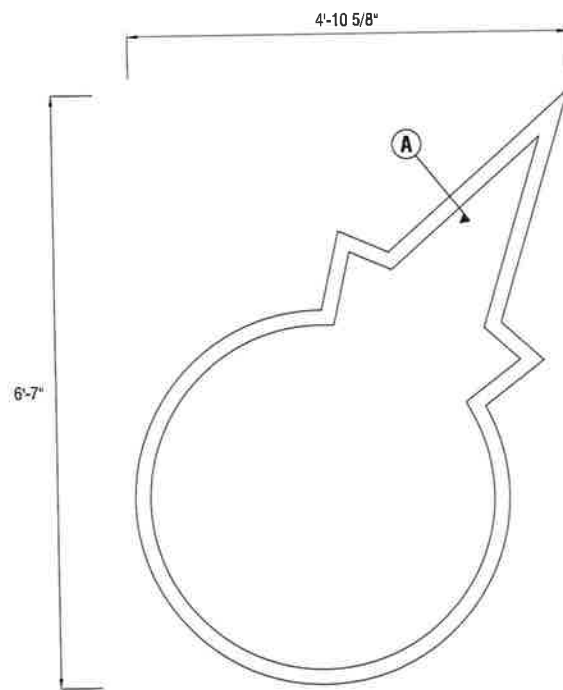
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Coordinator: Steve Wood
Design: JMc
Engineering:

date: 6/2/21
drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: JIB_6155_5

9.32



A SECTION VIEW FULL SIZE



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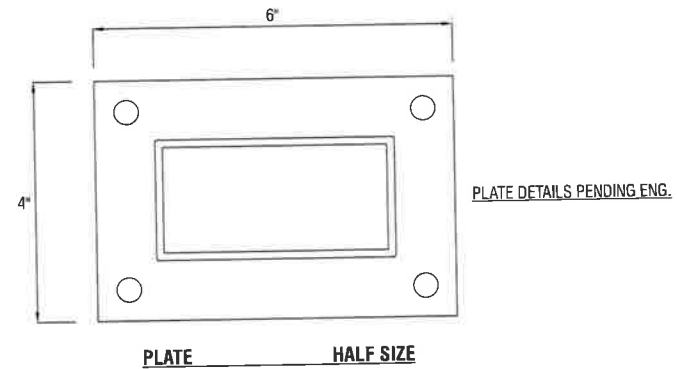
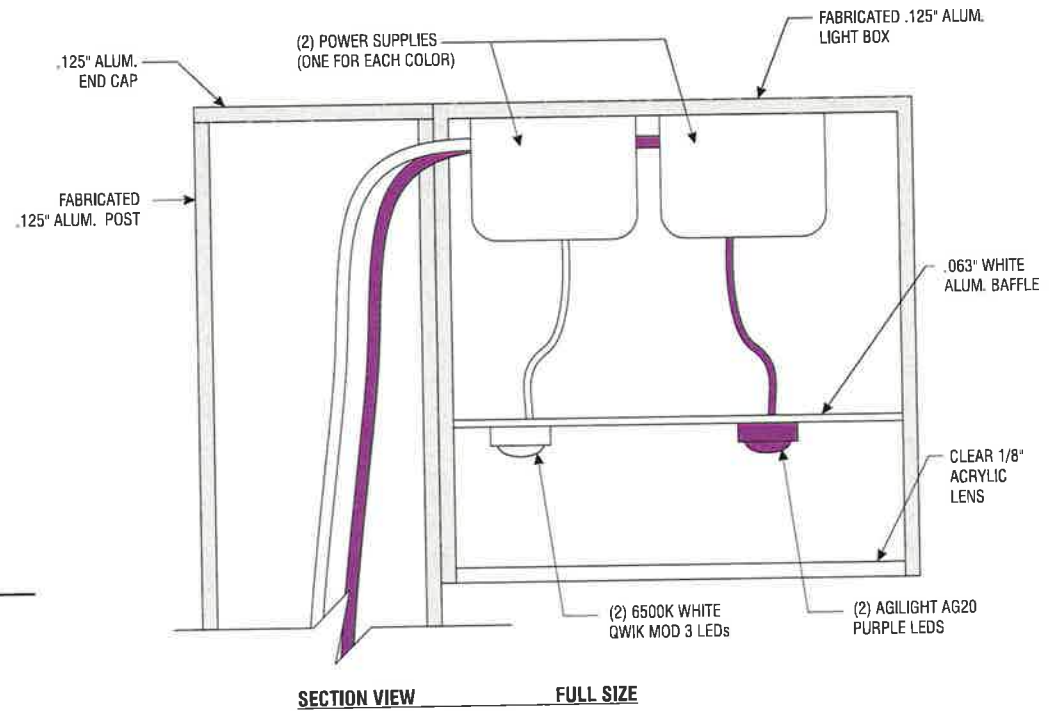
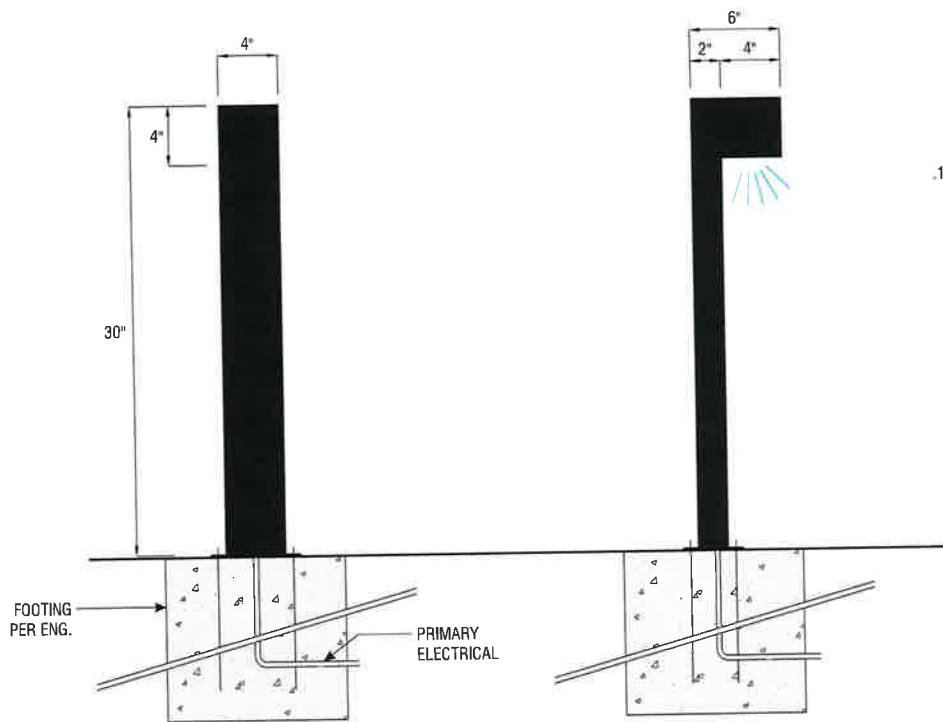
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Coordinator: Steve Wood
Design: JMc
Engineering:

date: 6/2/21
drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: JIB_6155_5



K SIGTYPE J1TB-DIR-30x4

MANUFACTURE AND INSTALL THIRTEEN (13) ILLUMINATED BOLLARDS

POST: FABRICATED 1/8" ALUM.

LIGHT BOX: FABRICATED 1/8" ALUM.

LENS: CLEAR 1/8" ACRYLIC

ILLUMINATION: WHITE AND PURPLE LED MODULES

POWDER COAT

PC2 TO MATCH RAL 9004 'SIGNAL BLACK' W/ SATIN FINISH

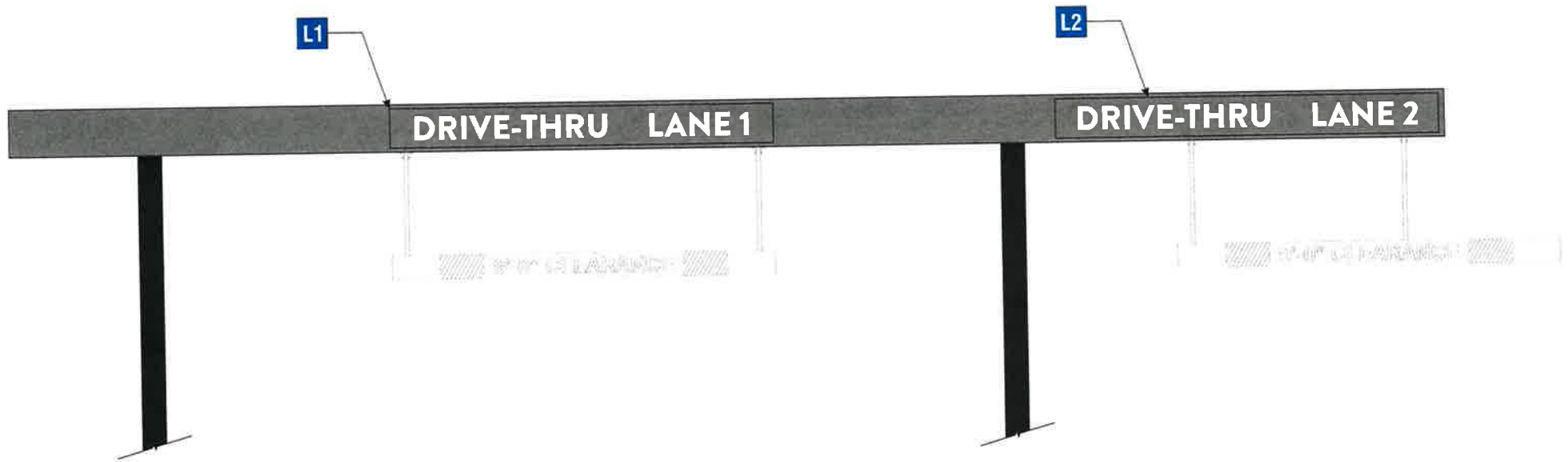
JACK IN THE BOX

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8112 E 11th St Tulsa, OK 74112 USA

Sales: Bob McCarter
Coordinator: Steve Wood
Design: JMc
Engineering:

date: 6/2/21
drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: JIB_6155_5

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CANOPY (BY OTHERS) WITH PROPOSED SIGNAGE

SCALE: 1/2"=1'-0"



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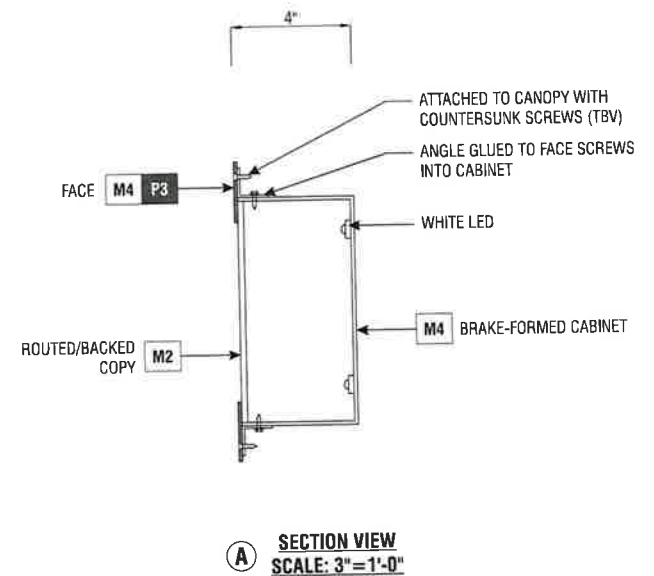
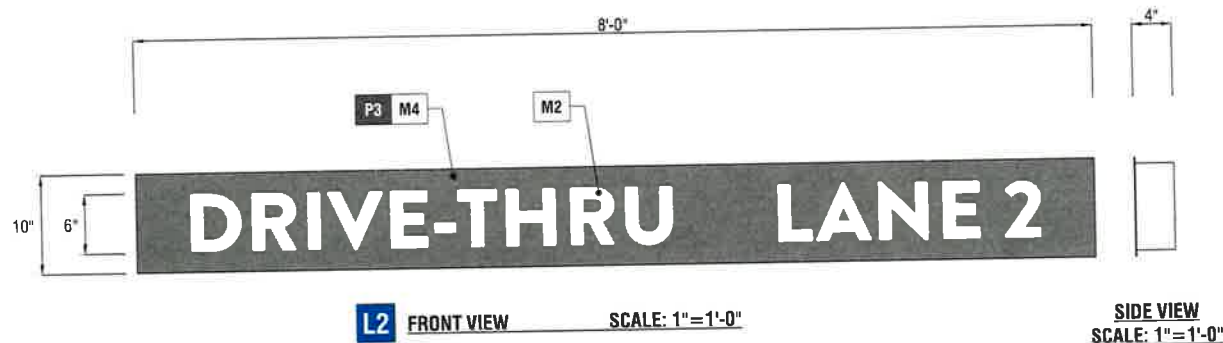
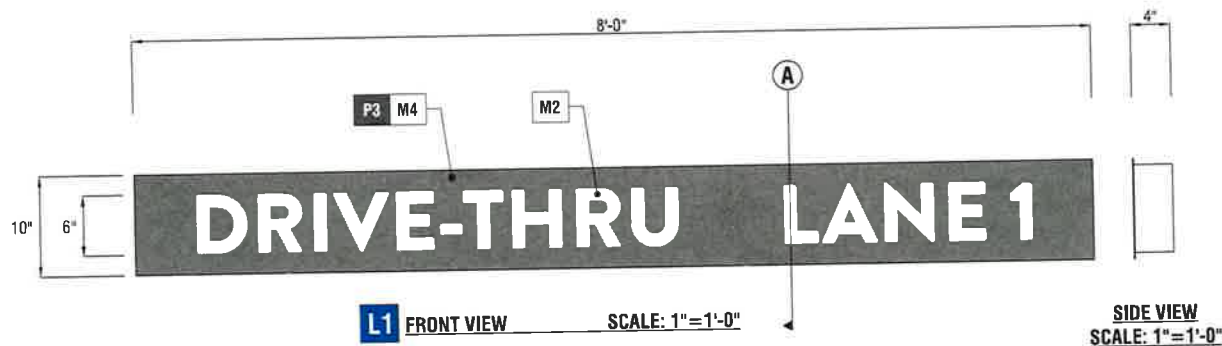
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Engineering:

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drawing: PERMIT rev: R1-8/4/21-JMc
quote:
project ID: JIB_6155_5



L1 L2 SIGNTYPE J1TB-WS-10x96

MANUFACTURE AND INSTALL TWO (2) INTERNALLY ILLUMINATED EMBEDDED CANOPY SIGNS
SIGN SLIDES INTO CAVITY IN CANOPY BY OTHERS AND SCREWS INTO FACE OF CANOPY WITH COUNTERSUNK SCREWS

PAINT

P3 TO MATCH RAL7022 W/ SATIN FINISH
'UMBRA GREY' *TBV*

MATERIALS

M2 TRANSLUCENT ACRYLIC
#7328 WHITE SG ACRYLIC

M4 3MM WHITE ACM (0.118")



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JACK IN THE BOX

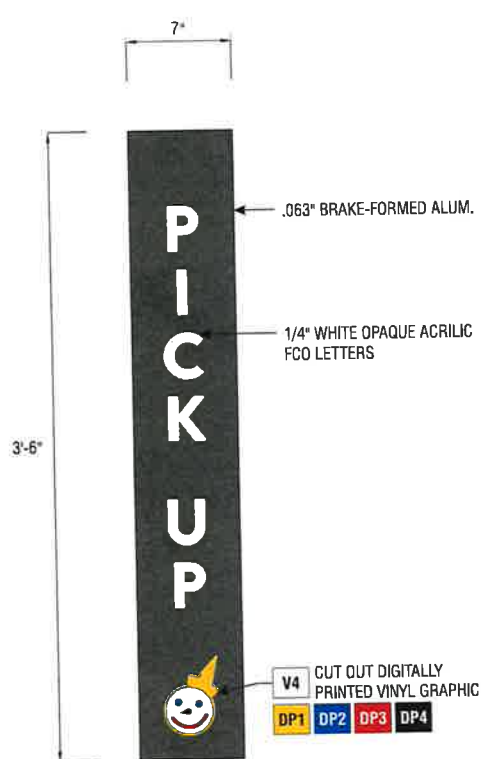
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Coordinator: Steve Wood
Design: JMc
Engineering:

date: 6/2/21
drawing: PERMIT rev: R1-B/4/21-JMc
quote:
project ID: JIB_6155_5

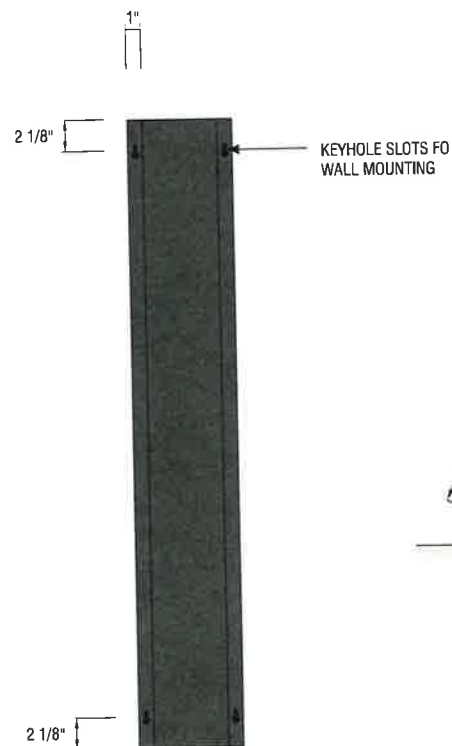
9.36



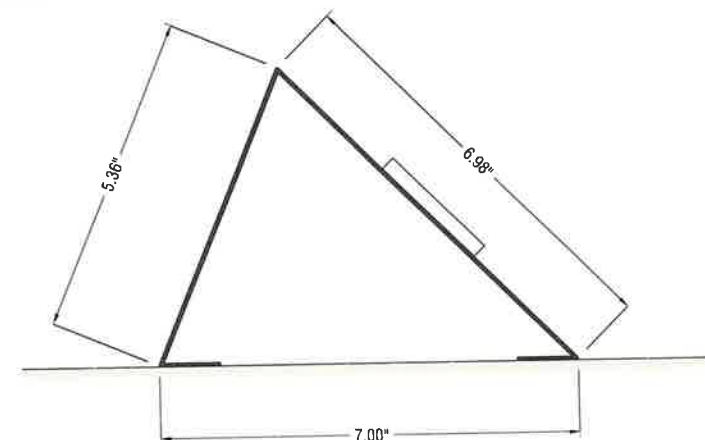
M1 FRONT VIEW
SCALE: 1 1/2"=1'-0"



M2 FRONT VIEW
SCALE: 1 1/2"=1'-0"



BACK VIEW
SCALE: 1 1/2"=1'-0"



TOP VIEW
SCALE: 1 1/2"=1'-0"

PAINT	
P3	TO MATCH RAL7022 W/ SATIN FINISH 'UMBRA GREY'
VINYL	
V4	DIGITALLY PRINTED WHITE VINYL

COLORS	
DP1	DIGITALLY PRINTED WHITE VINYL
DP2	DIGITALLY PRINTED WHITE VINYL
DP3	DIGITALLY PRINTED WHITE VINYL
DP4	DIGITALLY PRINTED WHITE VINYL

M1 M2 SIGNTYPE J1TB-BLD-42x7

MANUFACTURE AND INSTALL ONE (1) NON-ILLUMINATED PICK-UP BLADE SIGN

JACK IN THE BOX

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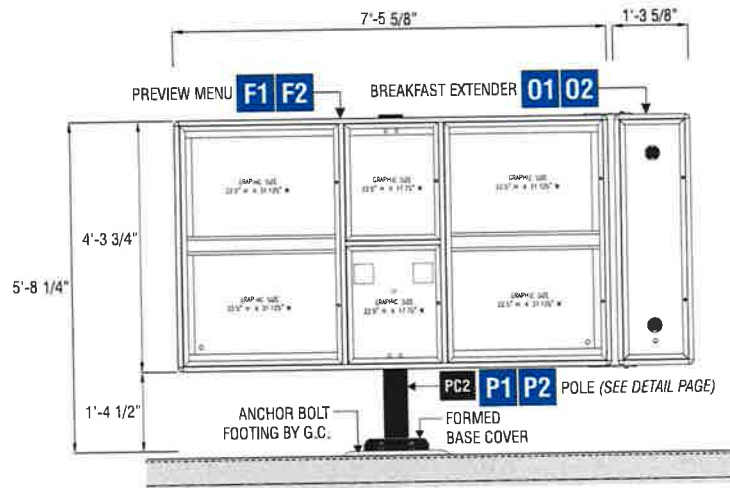
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Design: JMc
Engineering:

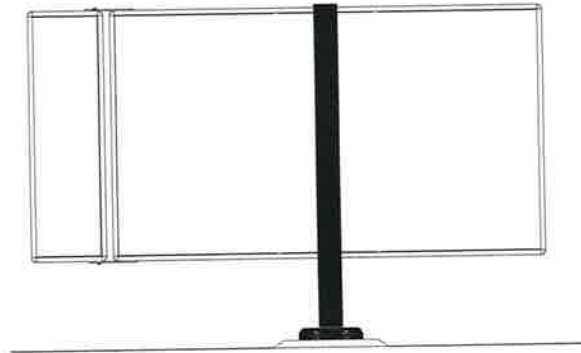
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quote:
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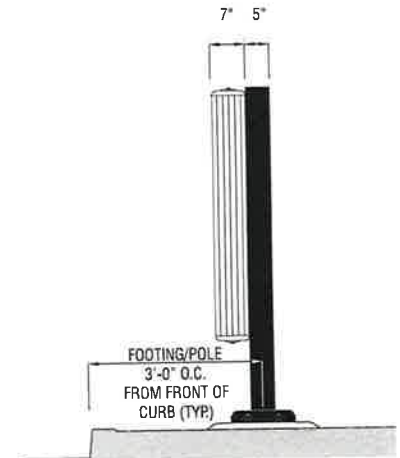
PLAN VIEW SCALE: 1/2"=1'-0"



FRONT VIEW SCALE: 1/2"=1'-0"



REAR VIEW SCALE: 1/2"=1'-0"



SIDE VIEW SCALE: 1/2"=1'-0"

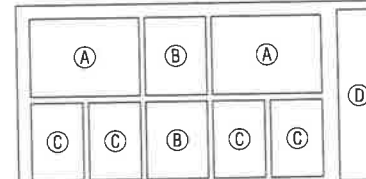
F1	F2	SIGTYPE	PREVIEW MENU BY OTHERS
O1	O2	SIGTYPE	MENU EXTENDER BY OTHERS

INSTALL TWO (2) PREVIEW MENU BY OTHERS WITH TWO (2) BREAKFAST EXTENDER BY OTHERS

CABINET: MANUFACTURED BY NATIONAL SIGNS
POLE: 5" STEEL SQUARE TUBE

POWDER COAT

PC2 TO MATCH RAL 9004 'SIGNAL BLACK' W/ SATIN FINISH



- (A) 21 1/2" X 30 1/4" V.O. / 4.5 SQ. FT. (x2) = 9 SQ. FT.
- (B) 21 1/2" X 17" V.O. / 2.5 SQ. FT. (x2) = 5 SQ. FT.
- (C) 21 1/2" X 14 5/16" V.O. / 2.1 SQ. FT. (x4) = 8.4 SQ. FT.
- (D) 47 1/4" X 11" V.O. / 3.6 SQ. FT. (x1) = 3.6 SQ. FT.

TOTAL: 26 SQ. FT

SQUARE FOOTAGE CALCULATIONS
SCALE: 3/8" = 1'-0"



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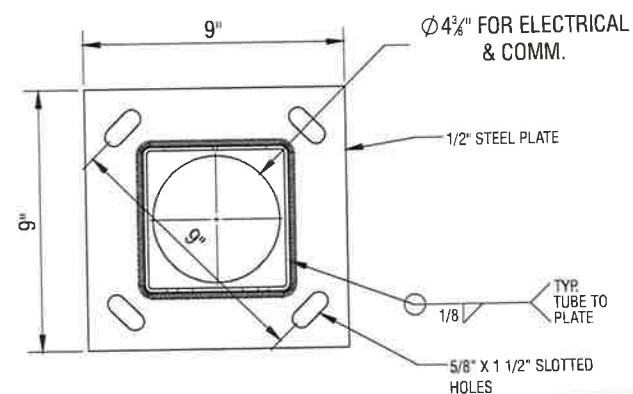
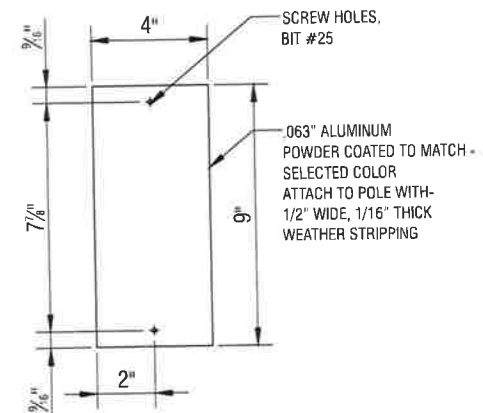
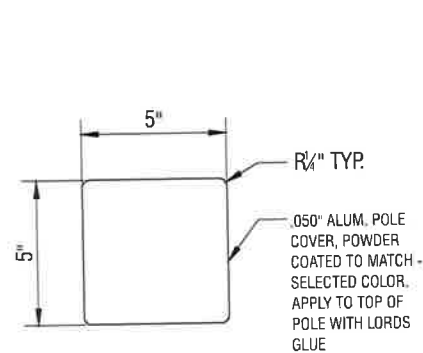
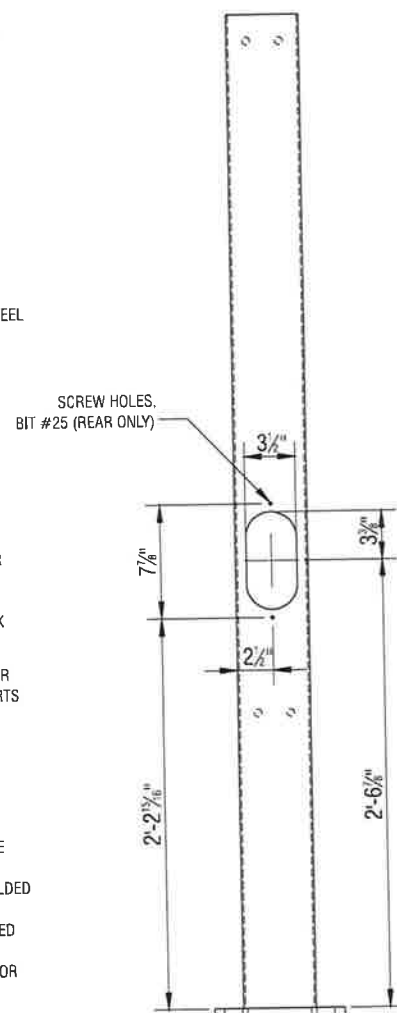
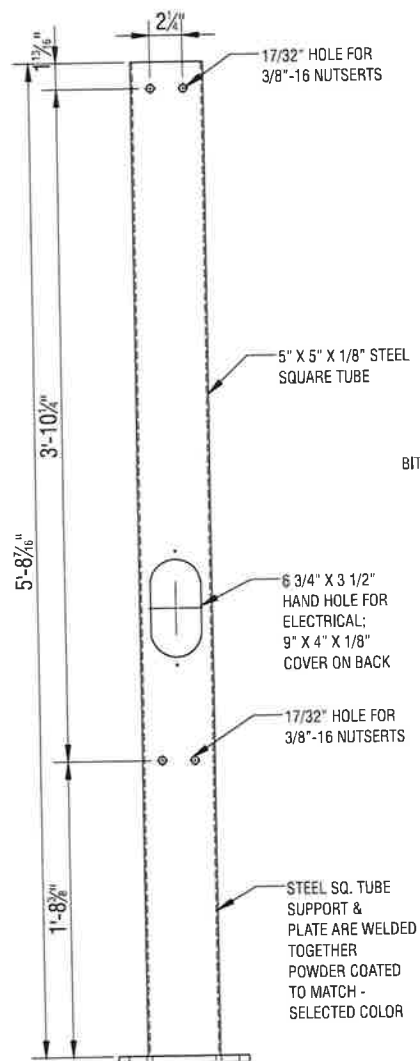
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Coordinator: Steve Wood
Design: JMc
Engineering:

date: 6/2/21
drawing: 21-00865 rev:XX
quote:
project ID: JIB_6155_5



COLOR SPECIFICATIONS		
APPROVED PAINT COLORS Mk9		
SELECT	POWDER COATED TO MATCH DUPONT "CAT BLACK" W/ MEDIUM GLOSS FINISH	QTY.

FRONT ELEVATION
SCALE: 1/4"=1'-0"

REAR ELEVATION
SCALE: 1/4"=1'-0"

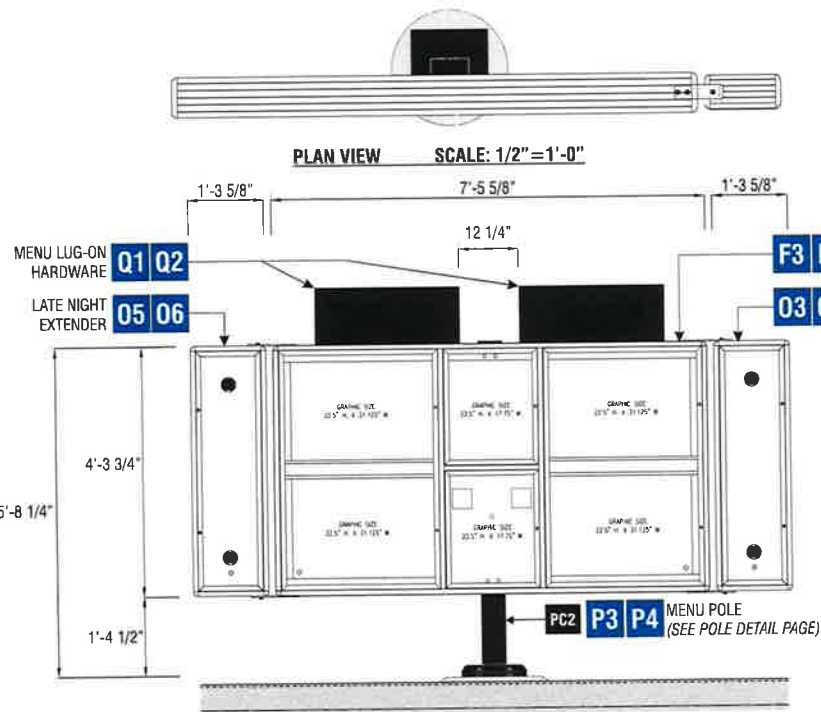
JACK IN THE BOX

Sales: Bob McCarter
Coordinator: Steve Wood
Design: JMc
Engineering:

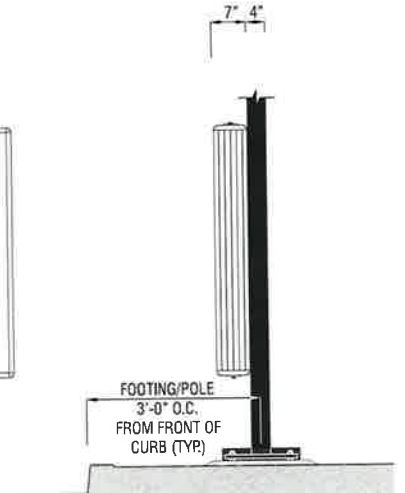
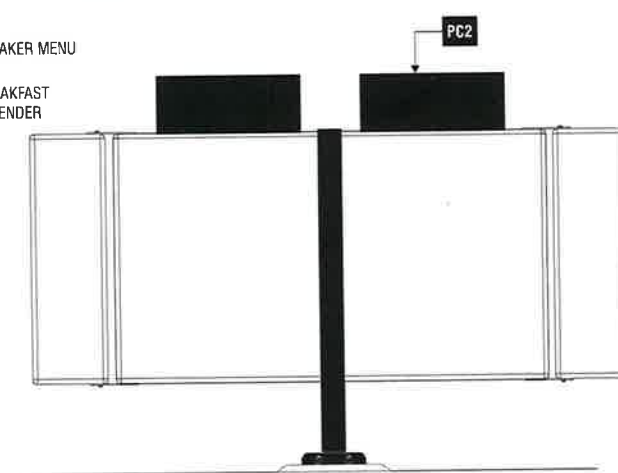
date: 6/2/21
drawing: 21-00865 rev:XX
quote:
project ID: JIB_6155_5

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17



NOTE: MENU LUG-ON HARDWARE MUST BE SPACED CORRECTLY FOR GRAPHICS TO FIT.



FRONT VIEW SCALE: 1/2"=1'-0"

REAR VIEW SCALE: 1/2"=1'-0"

SIDE VIEW SCALE: 1/2"=1'-0"

F3	F4	SIGTYPE	SPEAKER MENU BY OTHERS		
03	04	05	06	SIGTYPE	MENU EXTENDERS BY OTHERS
Q1	Q2	SIGTYPE	LUG-ON PANELS BY OTHERS		

INSTALL TWO (2) SPEAKER MENUS BY OTHERS WITH TWO (2) BREAKFAST EXTENDER & TWO (2) LATE NIGHT EXTENDER BY OTHERS & FOUR (4) MENU LUG-ON HARDWARE PANELS BY OTHERS

CABINET: MANUFACTURED BY NATIONAL SIGNS
POLE: 4"x8" STEEL RECTANGULAR TUBE (SEE MENU CANOPY)
LUG-ON HARDWARE: FABRICATED ALUMINUM

POWDER COAT

PC2 TO MATCH RAL 9004 'SIGNAL BLACK' W/ SATIN FINISH

(A)	21 1/2" X 30 1/4" V.O. / 4.5 SQ. FT. (x2) = 9 SQ. FT.
(B)	21 1/2" X 17" V.O. / 2.5 SQ. FT. (x1) = 2.5 SQ. FT.
(C)	21 1/2" X 14 5/16" V.O. / 2.1 SQ. FT. (x4) = 8.4 SQ. FT.
(D)	47 1/4" X 11" V.O. / 3.6 SQ. FT. (x2) = 7.2 SQ. FT.
TOTAL: 27.1 SQ. FT.	

SQUARE FOOTAGE CALCULATIONS
 SCALE: 3/8" = 1'-0"



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 Design: JMc
 Engineering:

date: 6/2/21
 drawing: 21-00865 rev:XX
 quote:
 project ID: JIB_6155_5



0 Feet 200 400



Subject Tract

BOA-23182

19-13 12

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



9.41



S MEMORIAL DR

E 11th ST S

0 Feet 50 100



Subject
Tract

BOA-23182

19-13 12

Note: Graphic overlays may not precisely
align with physical features on the ground.

Aerial Photo Date: 2020/2021



9.42

BOARD OF ADJUSTMENT CASE REPORT

STR: 9209
CZM: 35
CD: 1

Case Number: **BOA-23183**

HEARING DATE: 09/14/2021 1:00 PM

APPLICANT: Mark Capron

ACTION REQUESTED: Variance to allow parking inside the City of Tulsa planned Right-of-Way (Sec. 90.090-A)

LOCATION: 4008 W CHARLES PAGE BV S

ZONED: CH

PRESENT USE: Vacant

TRACT SIZE: 17500.08 SQ FT

LEGAL DESCRIPTION: W 46' LT 9 & ALL LTS 10 & 11 BLK 1, HOME GARDENS SECOND ADDN - TULSA

RELEVANT PREVIOUS ACTIONS:

Surrounding Properties:

BOA-22746; On 10.08.2019 the Board **approved** a Special Exception to allow an Assembly and Entertainment use (less than 250-person capacity) to serve alcohol within 150' of an R district and a Special Exception to permit an Outdoor Assembly and Entertainment use.

RELATIONSHIP TO THE COMPREHENSIVE PLAN: The Tulsa Comprehensive Plan identifies the subject property as part of a "Mixed-use Corridor " and an "Area of Growth".

Mixed-Use Corridors are Tulsa's modern thoroughfares that pair high-capacity transportation facilities with housing, commercial, and employment uses. Off the main travel route, land uses include multifamily housing, small lot, and townhouse developments, which step down intensities to integrate with single family neighborhoods. Mixed-Use Corridors usually have four or more travel lanes, and sometimes additional lanes dedicated for transit and bicycle use. The pedestrian realm includes sidewalks separated from traffic by street trees, medians, and parallel parking strips. Pedestrian crossings are designed so they are highly visible and make use of the shortest path across a street. Buildings along Mixed-Use Corridors include windows and storefronts along the sidewalk, with automobile parking generally located on the side or behind.

ANALYSIS OF SURROUNDING AREA: The subject tract is located East of the SE/c of Charles Page Boulevard and S. 41st W. Ave.

STAFF COMMENTS: The applicant is requesting a **Variance** to allow parking inside the City of Tulsa planned Right-of-Way (Sec. 90.090-A)

10.2

90.090-A Measurement

Required setbacks are measured from the applicable lot line, right-of-way, planned right-of-way or location referred to below. Building setbacks are measured to the nearest exterior building wall. Minimum setbacks that apply to other features (parking areas, fences, storage areas) are measured from the nearest point of the area or feature for which a setback is required. See §90.090-C for information on structures and building features that are allowed to occupy setback and yard areas in R zoning districts. Unless otherwise expressly stated, no part of any structure may be located within the street right-of-way, nor within the planned right-of-way of streets shown on the major street and highway plan, nor within 25 feet of the centerline of the right-of-way on streets not shown on the major street and highway plan. If a variance of the prohibition against location of a structure within the right of way or planned right of way is granted by the Board of Adjustment, no part of any structure may be located within the street right-of-way, nor within the planned right-of-way of streets shown on the major street and highway plan, nor within 25 feet of the centerline of the right-of-way on streets not shown on the major street and highway plan, unless a license has been granted by the city, in the case of the right-of-way, or a removal agreement has been entered into, in the case of the planned right-of-way.

The Major Street and Highway plan designates Charles Page Boulevard a Primary Arterial which call for 60' of right-of-way on either side of the section line. Currently there is only 25' dedicated South of the Section line. The applicant is seeking to build parking inside the additional 35' prescribed by the Major Street and Highway Plan. If approved the code would require the applicant to execute a removal agreement with the City of Tulsa for the improvements make inside the right-of-way.

STATEMENT OF HARDSHIP: The applicant believes that the designation of Primary Arterial is not appropriate for not only the subject property but other properties along Charles Page Boulevard. Such a dedication would take 25% of the property and make many properties very shallow and undevelopable.

SAMPLE MOTION:

Move to _____ (approve/deny) a **Variance** to allow parking inside the City of Tulsa planned Right-of-Way (Sec. 90.090-A)

Finding the hardship(s) to be _____.

- Per the Conceptual Plan(s) shown on page(s) _____ of the agenda packet.
- Subject to the following conditions _____.
- **Suggested Condition:** Applicant to execute a removal agreement with the City of Tulsa for any improvements made inside the right-fo-way.

In granting the **Variance** the Board finds that the following facts, favorable to the property owner, have been established:

a. That the physical surroundings, shape, or topographical conditions of the subject property would result in unnecessary hardships or practical difficulties for the property owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;

- b. That literal enforcement of the subject zoning code provision is not necessary to achieve the provision's intended purpose;*
- c. That the conditions leading to the need of the requested variance are unique to the subject property and not applicable, generally, to other property within the same zoning classification;*
- d. That the alleged practical difficulty or unnecessary hardship was not created or self-imposed by the current property owner;*
- e. That the variance to be granted is the minimum variance that will afford relief;*
- f. That the variance to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property; and*
- g. That the variance to be granted will not cause substantial detriment to the public good or impair the purposes, spirit, and intent of this zoning code or the comprehensive plan."*



Subject property

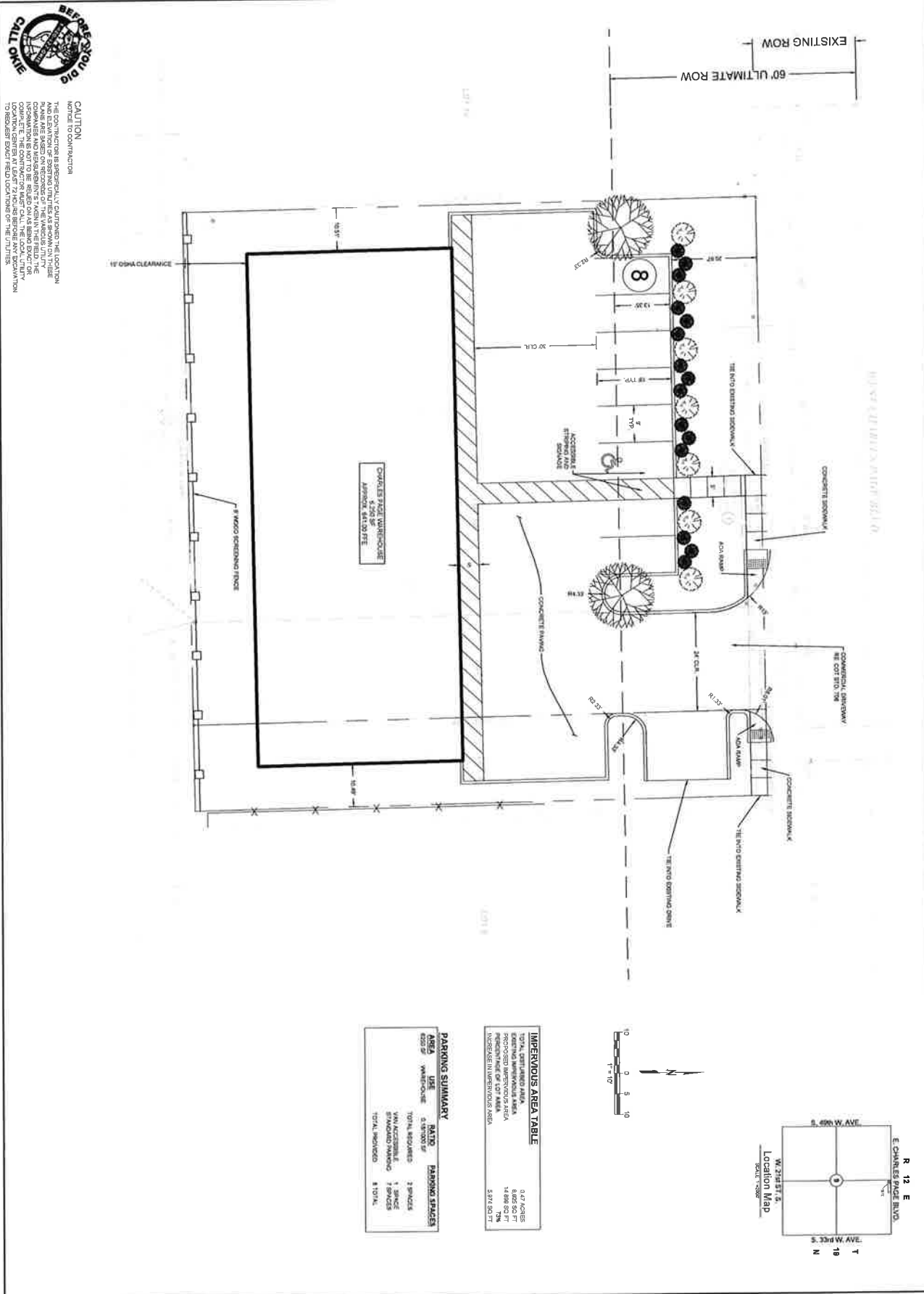


Facing West on Charles Page Boulevard



Facing East on Charles Page Boulevard

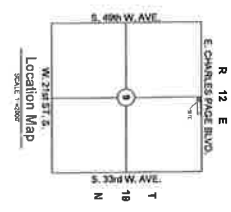
10.2



CAUTION
 NOTICE TO CONTRACTOR
 THE CONTRACTOR IS RESPONSIBLY CAUTIONED THE LOCATION
 OF ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD
 DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL BE
 RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL
 UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR
 SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY
 PERMITS AND APPROVALS FROM THE CITY OF TULSA.

IMPERVIOUS AREA TABLE

AREA	USE	DATE	PARKING SPACES
4200 SF	WAREHOUSE	0.07 ACRES	18 SPACES
14,880 SF	PROPOSED IMPERVIOUS AREA	0.27 ACRES	18 SPACES
14,880 SF	PERCENTAGE OF LOT AREA	74%	18 SPACES
14,880 SF	UNDERPAVE IN IMPERVIOUS AREA	100%	18 SPACES



REV	DATE	DESCRIPTION
1	08/10/2021	CONCEPTUAL SITE PLAN
2	10/10/2021	CONCEPTUAL SITE PLAN

CHARLES PAGE WAREHOUSE
 4008 W. CHARLES PAGE BLVD
 TULSA, OK 74127

WILSON CONSULTING
 1234 W. 10th St, Suite 100
 Tulsa, OK 74103
 Phone: (918) 555-1234
 Email: info@wilsonconsulting.com

Board Action:

On **MOTION** of **RADNEY**, the Board voted 4-0-0 (Bond, Radney, Ross, Van De Wiele "aye"; "nay"; no "abstentions"; Shelton absent) to **APPROVE** the request for a Special Exception to allow a duplex in an RS-5 District (Section 5.020, Table 5-2); Variance of the 25 foot setback for a Special Exception Use from R-zoned lots occupied by residential uses (Section 50303-B, Table Note 4); Variance of the required number of parking spaces (Section 55.020, Table 55-1), subject to conceptual plan 3.6; not intended to require the drive to the rear. The Board finds the hardship to be the small size and narrowness of the lot, and the undue burden of providing extra parking for such a small domicile. The Board finds that the requested Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare. In granting the Variance the Board finds that the following facts, favorable to the property owner, have been established:

- a. That the physical surroundings, shape, or topographical conditions of the subject property would result in unnecessary hardships or practical difficulties for the property owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
- b. That literal enforcement of the subject zoning code provision is not necessary to achieve the provision's intended purpose;
- c. That the conditions leading to the need of the requested variance are unique to the subject property and not applicable, generally, to other property within the same zoning classification;
- d. That the alleged practical difficulty or unnecessary hardship was not created or self-imposed by the current property owner;
- e. That the variance to be granted is the minimum variance that will afford relief;
- f. That the variance to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property; and
- g. That the variance to be granted will not cause substantial detriment to the public good or impair the purposes, spirit, and intent of this zoning code or the comprehensive plan; for the following property:

LT 4 BLK 16, BURGESS HILL ADDN, City of Tulsa, Tulsa County, State of Oklahoma

22746—Shane Hood

FILE COPY

Actin Requested:

Special Exception to allow a small (less than 250-person capacity) Indoor Commercial Assembly/Entertainment Use to sell and serve alcohol within 150 feet of a residential district; Special Exception to allow an Outdoor Commercial Assembly/Entertainment Use in a CH District (Section 15.020, Table 15-2).

LOCATION: 3924 West Charles Page Boulevard South **(CD 1)**

10/08/2019-1238 (5)

BOA-22746

FILE COPY

Presentation:

Shane Hood, 815 East 3rd Street, Tulsa, OK; stated the subject property consists of six lots that will be used for the event space. The building will hold about 89 people and there will be an outdoor area that is also used for entertainment. The event center requires 22 parking spaces, and there are 21 on the lot with an additional 22 parking spaces next door.

Interested Parties:

There were no interested parties present.

Comments and Questions:

None.

Board Action:

On **MOTION** of **BOND**, the Board voted 4-0-0 (Bond, Radney, Ross, Van De Wiele "aye"; "nay"; no "abstentions"; Shelton absent) to **APPROVE** the request for a **Special Exception** to allow a small (less than 250-person capacity) Indoor Commercial Assembly/Entertainment Use to sell and serve alcohol within 150 feet of a residential district; **Special Exception** to allow an Outdoor Commercial Assembly/Entertainment Use in a CH District (Section 15.020, Table 15-2), subject to conceptual plans 4.5 and 4.24 of the agenda packet. The Board finds that the requested Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare; for the following property:

LOT 4 BLK 1; LOT 5 BLK 1; LOT 6 BLK 1; LOT 7 BLK 1; LT 8 BLK 1; E. 1/2 OF LOT 9 BLK 1, HOME GARDENS SECOND ADDN - TULSA, City of Tulsa, Osage County, State of Oklahoma

NEW APPLICATIONS

22749—Magic Leaf, LLC

Action Requested:

Verification of the 1,000-foot spacing requirement for a medical marijuana dispensary from another medical marijuana dispensary (Section 40.225-D).

LOCATION: 4210 East 11th Street South **(CD 4)**

Presentation:

Jordan Towers, 4210 East 11th Street, Tulsa, OK; no formal presentation was made but the applicant was available for any questions from the Board.

Mr. Van De Wiele stated the Board is in receipt of a copy of the applicant's license on page 5.5 and the spacing exhibit on pages 5.6 and 5.7.

10/08/2019-1238 (6)

